

# CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

April 20, 2016  
1:00 PM

Bob Lamb  
Chairman

1. Call to order.
2. Determination of a quorum.
3. Approve minutes of the February 17, 2016 & April 6, 2016 Planning Commission meetings.
4. Consent Agenda:
  - a. Stover's Glen Section 2 [2016-1006] preliminary plat for 18 lots on 6.4 acres zoned RS-10 located along Blaze Drive, Charles Waldron developer.
  - b. Westlawn Section 3 [2016-1015] preliminary plat for 58 lots on 15.8 acres zoned PUD located along Veterans Parkway, D.R. Horton developer.
  - c. Bell Haven Cove Lot 1 [2016-2044] final plat for 1 lot on 18.2 acres zoned RM-16 located along Saint Andrews Drive, Ole South Properties developer.
  - d. The Crossings at Victory Station Lots 2 & 3 [2016-1011] preliminary plat for 2 lots on 11.6 acres zoned PUD located along Fortress Boulevard, Investment Partners LLC developer.
  - e. The Crossings at Victory Station [2016-2047] final plat for 2 lots on 11.6 acres zoned PUD located along Fortress Boulevard, Investment Partners LLC developer.
  - f. Perimeter Place South Lots 6 & 7 [2016-2039] final plat for 1 lot on 1.7 acres zoned CH located along Merchants Place., MidTN Collision Properties developer.
  - g. Brighton Park at Kingdom Ridge Section 3 [2016-2040] final plat for 32 lots on 8.3 acres zoned PRD located along Covenant Boulevard, Swanson Developments developer.

# MURFREESBORO PLANNING COMMISSION AGENDA

## PAGE 2

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- h. Brighton Park at Kingdom Ridge Section 4 [2016-2041] final plat for 43 lots on 14.3 acres zoned PRD located along Covenant Boulevard, Swanson Developments developer.
- i. Kingdom Ridge Section 7 [2016-2042] final plat for 28 lots on 11.3 acres zoned PUD located along Compassion Lane., Swanson Developments LP developer.
- j. Kingdom Ridge Section 8 [2016-2043] final plat for 27 lots on 20.2 acres zoned PRD located along Sapphire Drive, Swanson Developments LP developer.
- k. Beach and Farrer Lots 1 & 2 [2016-2048] final plat for 2 lots on 6.8 acres zoned CH & RM-16 located along John R Rice Boulevard, Beach and Farrer Properties developer.
- l. Blackman Meadows Section 3 [2016-2049] final plat for 6 lots on 6.3 acres zoned RS-12 located along Cloverhill Drive, Robert and Sherrill Latimer developer.
- m. Blackman Meadows Section 4 [2016-2050] final plat for 10 lots on 4.1 acres zoned RS-12 located along Cloverhill Drive, Robert and Sherrill Latimer developer.
- n. Three Rivers Section 6 [2016-2051] final plat for 24 lots on 11.2 acres zoned PRD located along Cason Lane, Starland Company developer.
- o. Stones River Manor [2016-3064] site plan for 31,900 ft<sup>2</sup> memory care unit and nursing home addition located on 14.2 acres zoned CH, RS-15 & OG-R located at 205 Haynes Drive, Stones River Manor Inc developer.
- p. Rutherford County Emergency Medical Services [2016-3072] site plan for 4,037 ft<sup>2</sup> public building on 1.10 acres zoned CM-R located at 604 East Burton Street, Rutherford County EMS developer.
- q. City Edge Flats Phase II [2016-3070] site plan for 58 dwelling units on 10.6 acres zoned RM-12 located along Willowbrook Drive, City Edge Holdings LLC developer.
- r. Mandatory Referral [2016-] for the abandonment of 15' portion of a public utility & drainage easement located along Conference Center Boulevard, Matt Taylor SEC applicant.

### 5. Gateway Design Overlay:

- a. Fountains at Gateway [2015-3002 & 15-6004] final design review for 11,248 ft<sup>2</sup> building located on 12.3 acres zoned MU & GDO-3 located along Medical Center Parkway, Hearthstone group LLC developer.

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## **PAGE 3**

**April 20, 2016**

- b.** Home 2 Suites & Tru Dual Flag [2016-3049 & 2016-6005] initial design review for 85,080 ft<sup>2</sup> hotel on 3.3 acres zoned L-I & GDO-1 located along North Thompson Lane, Boro Hotel Partners, LLC developer.
- c.** Alive Hospice (Waterstone Lot 13) [2016-3024 & 2016-6002] initial design review for 20,592 ft<sup>2</sup> building on 2.1 acres zoned CH, L-I & GDO located along Williams Drive, Alive Hospice developer.
- d.** Twin B Farms Lots 11-14 [2016-1014] master plan & preliminary plat for 4 lots on 7.6 acres zoned CH & GDO located along John R Rice Boulevard and Fortress Boulevard, Twin B Farms LP developer.
- e.** Twin B Farms Lots 11-14 [2016-2052] final plat for 4 lots on 7.6 acres zoned CH & GDO located along Fortress Boulevard, Twin B Farms developer.

### **6. Plats and Plans:**

- a.** Jarrell Property [2016-1013] master plan & preliminary plat for 8 lots on 7.3 acres zoned CH & RM-16 located along Memorial Boulevard, Nobles Quesenberry & Peppers developer.
- b.** Southpointe Business Campus Lot 23 [2016-3041] site plan for a 10,000 ft<sup>2</sup> discount store, a 1,000 ft<sup>2</sup> warehouse, and two 6,000 ft<sup>2</sup> automobile body shops on 2.14 acres zoned L-I located at 205 Southpointe Court, Jerrod Pedigo developer.
- c.** Three Rivers Mini Storage [2016-3073] site plan for 91,725 ft<sup>2</sup> self-storage facility on 7.3 acres zoned CF located along Cason Lane, Todd Harms developer.

### **7. New Business:**

- a.** Zoning application [2016-417] for approximately 5.6 acres located along West Northfield Boulevard and Sulphur Springs Road to amend the PCD, Tarver Properties Inc applicant.
- b.** Zoning application [2016-418] for approximately 22.5 acres located along Memorial Boulevard and Haynes Haven Lane to amend the PCD, National HealthCare Corp. applicant.

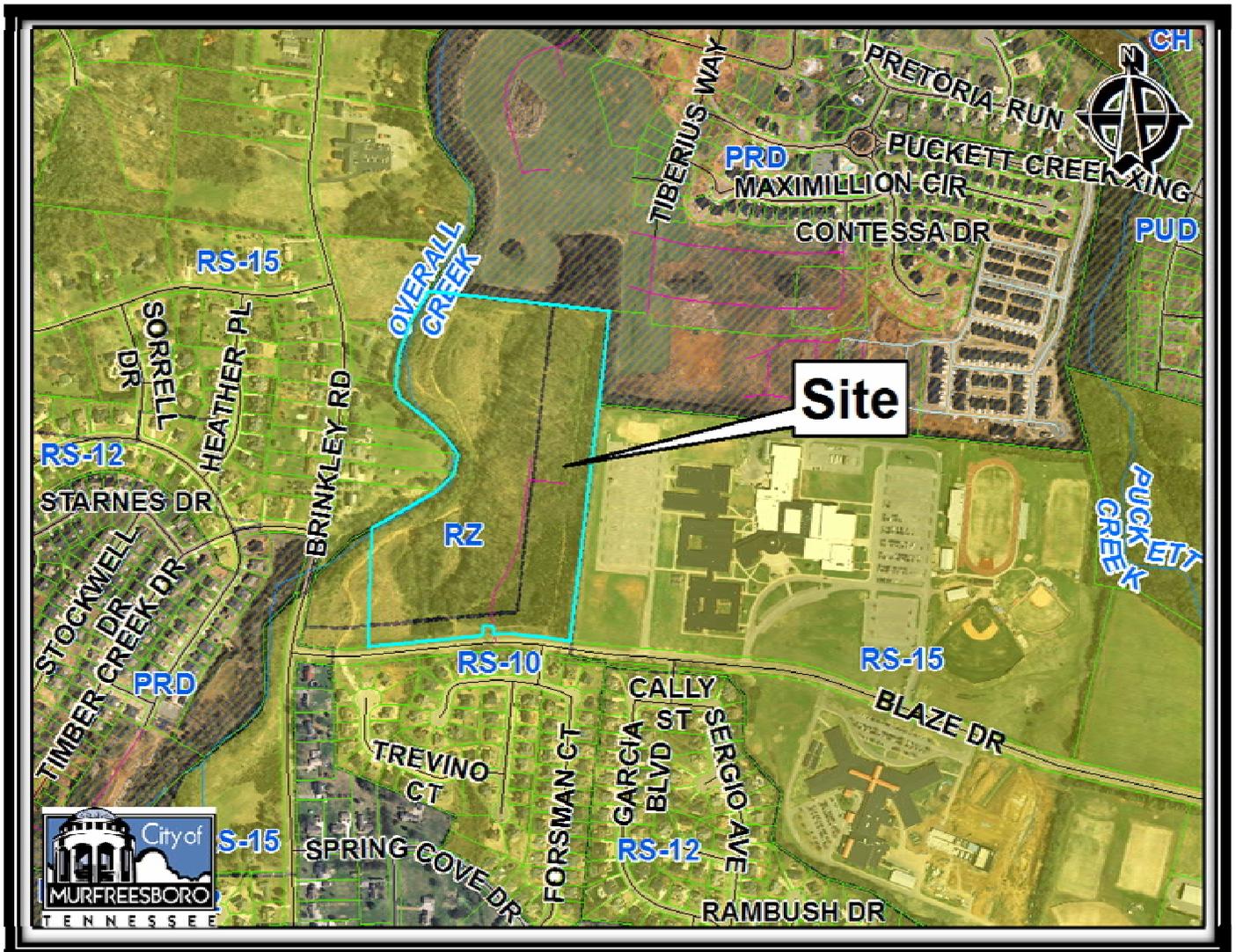
### **8. Staff Reports and Other Business:**

### **9. Adjourn.**

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.a. Stover's Glen Section 2 [2016-1006] preliminary plat for 18 lots on 6.4 acres zoned RS-10 located along Blaze Drive, Charles Waldron developer.**

This is the preliminary plat review for 18 lots on 6.44 acres zoned RS-10. The purpose of this plat is to create an 18 lot residential subdivision. These lots are a part of the Stover's Glen subdivision and have a minimum lot size of 10,000 square feet. Each of the proposed lots meets the minimum lot size requirement. Preliminary Plat approval shall not confer a vested right to proceed with development of the property as shown on the Preliminary Plat but rather shall authorize the applicant to submit Construction Plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends approval of the preliminary plans subject to all staff comments.



## **Staff Comments:**

- 1) Please confirm that lot 30 and lot 31 have sufficient buildable area.
- 2) Show full building envelope with the MBSLs labeled on the preliminary plat.
- 3) Clearly show the zoning line on the preliminary plat.
- 4) Add the following note: Sidewalks indicated along the front of each lot are the responsibility of the builder to construct, and those located along the common areas are the responsibility of the developer to construct.
- 5) Provide landscape plan for common area C to screen the rear of the homes along Blaze Drive.
- 6) Show benchmark location on preliminary plat.
- 7) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or KNoel@MurfreesboroTN.gov).
- 8) A preapplication meeting was not held for this project.
- 9) Blaze Drive is a substandard street. The developer is expected to participate in the improvements of the road through fees in lieu of construction in an amount to be determined by the city engineer.
- 10) Add street name signs to all intersections.
- 11) Show proposed contours in easement to the rear of lots 28-35.
- 12) All grading on lots should be complete prior to signing the final plat and the release of building permits.
- 13) Public infrastructure except final asphalt must be accepted by City prior to placement into warranty period and signing the final plat.
- 14) The work shown on the plans will be authorized by a Land Disturbance Permit.
- 15) Provide an Engineer of Record form.
- 16) An engineer's certification will be required for public infrastructure and stormwater facilities at the final plat.
- 17) Are there any possible limitations for development such as sink holes, rock outcrops, wetlands, excessive slopes, etc? If yes, then identify them on the plans.
- 18) Approval of this preliminary plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 19) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

## **Stormwater Comments:**

- 1) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations [www.murfreesborotn.gov/planning](http://www.murfreesborotn.gov/planning) and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.

- 2) This development is required to comply with the City's Stormwater Quality requirements.
- 3) Prior to any permit, submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements.
- 4) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Management Record Sheet.
- 5) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 6) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement.

### **Standard Staff Comments:**

- 1) This preliminary plat is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@ cudrc.com.
- 4) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@ cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
- 5) TDEC approved plans from CUDRC and a "Construction Start Notification" letter are to be issued to the contractor from CUDRC prior to the start of any water line construction.
- 6) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 7) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 8) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 9) Property is within the Overall Creek assessment district. Add this note to the plat.

10)Resubmit two sets of plans to MWSD for the review of the sewer.

11)Add the Release & Covenant Not to Sue note to the plat.

- a. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.

12)MWSD must receive contract prior to approving the plans.

13)Submit a copy of the final Grading & Drainage Plan to MWSD.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.b. Westlawn Section 3 [2016-1015] preliminary plat for 58 lots on 15.8 acres zoned PUD located along Veterans Parkway, D.R. Horton developer.**

This is the preliminary plat review for 58 lots on 15.84 acres zoned PUD. The purpose of this plat is to create a 57 lot subdivision. These lots are a part of the Westlawn subdivision and have a minimum lot size of 7,800 and 8,190 square feet. Each of the proposed lots meets the minimum lots size. Preliminary Plat approval shall not confer a vested right to proceed with development of the property as shown on the Preliminary Plat but rather shall authorize the applicant to submit Construction Plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends approval of the preliminary plans subject to all staff comments.



## **Staff Comments:**

- 1) Confirm the lot size meets minimum requirements per the PUD.
- 2) Provide detail of the handrail on top of the box.
- 3) Label the MBSLs on the building envelopes on the preliminary plat.
- 4) Add street classifications on the preliminary plat.
- 5) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or [KNoel@MurfreesboroTN.gov](mailto:KNoel@MurfreesboroTN.gov))
- 6) Due to the sharp curve near lots 66-70, curve warning signs will be required.
- 7) Add street name signs to all intersections.
- 8) Show proposed grading in the common area between lots 67 and 68 and between lots 52 and 53.
- 9) Details about the proposed box culvert should be provided with construction plans.
- 10) Public infrastructure except final asphalt must be accepted by City prior to placement into warranty period and signing the final plat.
- 11) The work shown on the plans will be authorized by a Land Disturbance Permit.
- 12) Provide an Engineer of Record form.
- 13) An engineer's certification will be required for public infrastructure and stormwater facilities at the final plat.
- 14) Add road names for roads labeled A, B, and C.
- 15) Approval of this preliminary plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 16) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations [www.murfreesborotn.gov/planning](http://www.murfreesborotn.gov/planning) and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- 17) As with all developments of more than one acre, this development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit.
- 18) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
- 19) Grading on lots must be complete before release of building permits.
- 20) Geotechnical reports on lots with fill will be required prior to release of building permits.

## **Stormwater Comments:**

- 1) This development is required to comply with the City's Stormwater Quality requirements.
- 2) Prior to any permit, submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements.

- 3) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Management Record Sheet.
- 4) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 5) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement.

**Standard Staff Comments:**

- 1) This preliminary plat is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

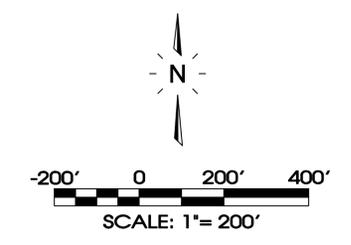
**Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
- 4) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@ cudrc.com.
- 5) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@ cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
- 6) TDEC approved plans from CUDRC and a "Construction Start Notification" letter are to be issued to the contractor from CUDRC prior to the start of any water line construction.
- 7) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 8) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 9) Property is within the Overall Creek assessment district. Add this note to the plat.
- 10) Resubmit two sets of plans to MWSD for the review of the sewer.
- 11) MWSD must receive contract and surety prior to approving the plans



MAP 93, PARCEL 1.06  
SPIVEY & HOLLINGSHEAD  
CONSTRUCTION  
R.B. 1218, PG. 2956  
ZONED: PUD

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET PROTECTION FILTER
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊙	HC SIGN
+	EXIST. SIGN POST	—	HEADWALL
○	EXIST. SEWER CLEANOUT	—	WINGED HEADWALL
○	EXIST. MANHOLE (SEWER & PHONE)	○	MANHOLE
⊕	EXIST. CATCH BASIN (STORM SEWER)	63.25 x	PROPOSED SPOT ELEVATION
⊗	EXIST. WATER/GAS VALVE	(63.25) x	EXIST. SPOT ELEVATION
⊠	EXIST. TELEPHONE RISER	⊙	POST INDICATOR VALVE
⊠	EXIST. GAS RISER	▽	REDUCER
⊠	ELECTRICAL ENCLOSURE	⊠	REMOTE FIRE DEPT. CONNECTION
⊙	EXIST. WATER METER	⚠	REVISION NUMBER
⊙	EXIST. UTILITY POLE	⊗	RIP RAP
⊙	EXIST. FIRE HYDRANT	↗	RUNOFF FLOW ARROW
⊙	BENCHMARK	↘	SEWER/STORM FLOW DIRECTION
⊙	BLOW OFF VALVE	➔	TRAFFIC ARROW
•	CONCRETE BOLLARD	➔	TURN LANE ARROWS
⊠	CATCH BASIN	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊠	CURB INLET	W	WATER METER
⊠	AREA DRAIN	W	WHEEL STOP
⊠	CONCRETE THRUST BLOCK	⊠	GREASE TRAP
⊠	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊠	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊠	FIRE HYDRANT	⊠	CONCRETE SIDEWALK
⊠	GAS METER	—	EXTRUDED CURB
⊠	GATE VALVE & BOX	—	CURB & GUTTER
⊠	EXTERIOR CLEANOUT	—	CONCRETE SWALE
—	EXISTING PHONE	—	PH
—	EXISTING ELECTRIC	—	OH
—	PROPERTY LINE	—	---
—	EASEMENTS	—	---
—	RIGHT OF WAY	—	ROW
—	EROSION CONTROL SILT FENCE	—	SF SF
—	EXISTING TREELINE	—	~
—	EXISTING FENCELINE	—	X X
—	MINIMUM BUILDING SETBACK LINE	—	MBSL
—	PHASE BOUNDARY	—	---
—	EXISTING GAS LINE	—	GAS
—	PROPOSED GAS LINE	—	GAS
—	EXISTING STORM	—	STM
—	PROPOSED STORM	—	STM
—	EXISTING CONTOUR LINES	—	601
—	PROPOSED CONTOUR LINES	—	601
—	EXISTING SANITARY SEWER	—	SS
—	PROPOSED SANITARY SEWER	—	SS
—	EXISTING WATER	—	W W
—	PROPOSED WATER	—	W W



**SFC, Inc.**  
ENGINEERING • SURVEYING • LAND PLANNING  
850 MIDDLE TENNESSEE BOULEVARD  
MURFREESBORO, TENNESSEE 37129  
E-MAIL: MTA@SFC-CIVIL.COM FAX: (615) 895-2567

**REVIEW SET**  
(Not Intended For Construction)

Westlawn  
Section 3

Murfreesboro, Tennessee

REVISIONS:


DRAWN: SJA, CFB3  
DATE: 3-31-16  
CHECKED:  
MAT  
FILE NAME:  
15264phase1  
SCALE:  
1"=200'  
JOB NO.  
15264  
SHEET:  
2 of 17



**Legend:**

□	EXIST. CONCRETE MONUMENT	□	INLET PROTECTION FILTER
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊙	HC SIGN
+	EXIST. SIGN POST	—	HEADWALL
○	EXIST. SEWER CLEANOUT	—	WINGED HEADWALL
○	EXIST. MANHOLE (SEWER & PHONE)	○	MANHOLE
⊕	EXIST. CATCH BASIN (STORM SEWER)	63.25 x	PROPOSED SPOT ELEVATION
⊗	EXIST. WATER/GAS VALVE	(63.25) x	EXIST. SPOT ELEVATION
⊞	EXIST. TELEPHONE RISER	●	POST INDICATOR VALVE
⊞	EXIST. GAS RISER	▽	REDUCER
⊞	ELECTRICAL ENCLOSURE	⊞	REMOTE FIRE DEPT. CONNECTION
⊞	EXIST. WATER METER	⊞	REVISION NUMBER
⊞	EXIST. UTILITY POLE	⊞	RIP RAP
⊞	EXIST. FIRE HYDRANT	→	RUNOFF FLOW ARROW
⊞	BENCHMARK	→	SEWER/STORM FLOW DIRECTION
⊞	BLOW OFF VALVE	→	TRAFFIC ARROW
●	CONCRETE BOLLARD	→	TURN LANE ARROWS
⊞	CATCH BASIN	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊞	CURB INLET	W	WATER METER
⊞	AREA DRAIN	W	WHEEL STOP
⊞	CONCRETE THRUST BLOCK	W	GREASE TRAP
⊞	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊞	FIRE DEPT. CONNECTION	#1	DRAINAGE PIPE DESIGNATION
⊞	FIRE HYDRANT	—	CONCRETE SIDEWALK
⊞	GAS METER	—	EXTRUDED CURB
⊞	GATE VALVE & BOX	—	CURB & GUTTER
○	EXTERIOR CLEANOUT	—	CONCRETE SWALE

EXISTING PHONE	PH
EXISTING ELECTRIC	EH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	x---
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS GAS
PROPOSED GAS LINE	GAS GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W

**Developers:**  
D.R. Horton Inc.  
7175 Nolensville Rd., Suite 202  
Nolensville, TN 37135  
Contact: David Reisen

**Owner:**  
Res. Funding Solutions III, LLC  
PO Box 58607  
Atlanta, GA 30343-0607

**Land Data:**  
57 Lots on 15.94± Acres

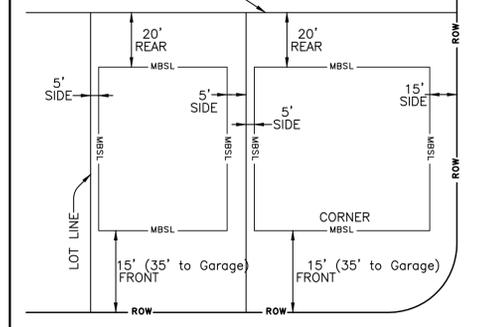
**Deed Reference:**  
R.Bk. 1214, Pg. 3357  
Tax Map 93, P/O Parcel 1.00

**Zoning:** PUD

**Flood Map:**  
No portion of this site lies within the 100 Year Flood Zone per Map 47149C0235H Dated January 5, 2007.

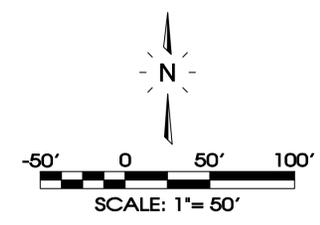
Approved by the Murfreesboro Planning Commission, with such conditions as are indicated in the minutes of the Commission on \_\_\_\_.

Preliminary Plat approval shall not constitute final approval for recording purposes.



- NOTES:**
- 1) Main utility trench & conduit # & sizes are shown for location & coordination only. Coordinate final location, # & size of conduits with provider. Gas, CATV, and telephone shown were designed by those respective utilities.
  - 2) Gasline is shown for coordination only. Coordinate final location, size, & crossings with Atmos Gas.
  - 3) Waterline design to be provided by Consolidated Utility District's consultant. Waterline shown is for graphic purposes only and does not represent a design. The locations of all fire hydrants and waterlines will be determined by C.U.D. in compliance with the current Subdivision Regulations.
  - 4) Sidewalks will be responsibility of lot owner/builder in accordance with Subdivision Regulations.
  - 5) MPE's are due to Local Drainage.

**TYPICAL MINIMUM BUILDING SETBACKS**  
N.T.S.



**APPROVED FOR CONSTRUCTION**  
THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
**MURFREESBORO WATER AND SEWER DEPARTMENT**  
UNDER THE AUTHORITY DELEGATED BY THE  
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
DIVISION OF WATER POLLUTION CONTROL  
DIVISION OF WATER SUPPLY  
AND IS HEREBY APPROVED FOR CONSTRUCTION.

THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES WILL REACH THE DESIGNED GOALS.

APPROVAL DATE \_\_\_\_\_  
APPROVAL EXPIRES IN 12 MONTHS

BY \_\_\_\_\_  
**FOR SANITARY SEWER ONLY**

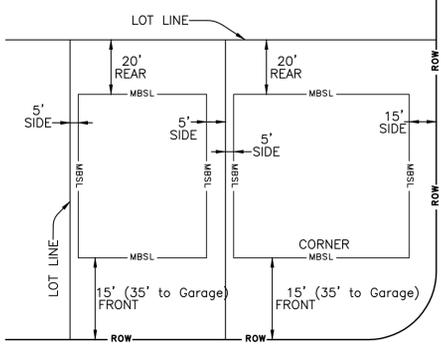
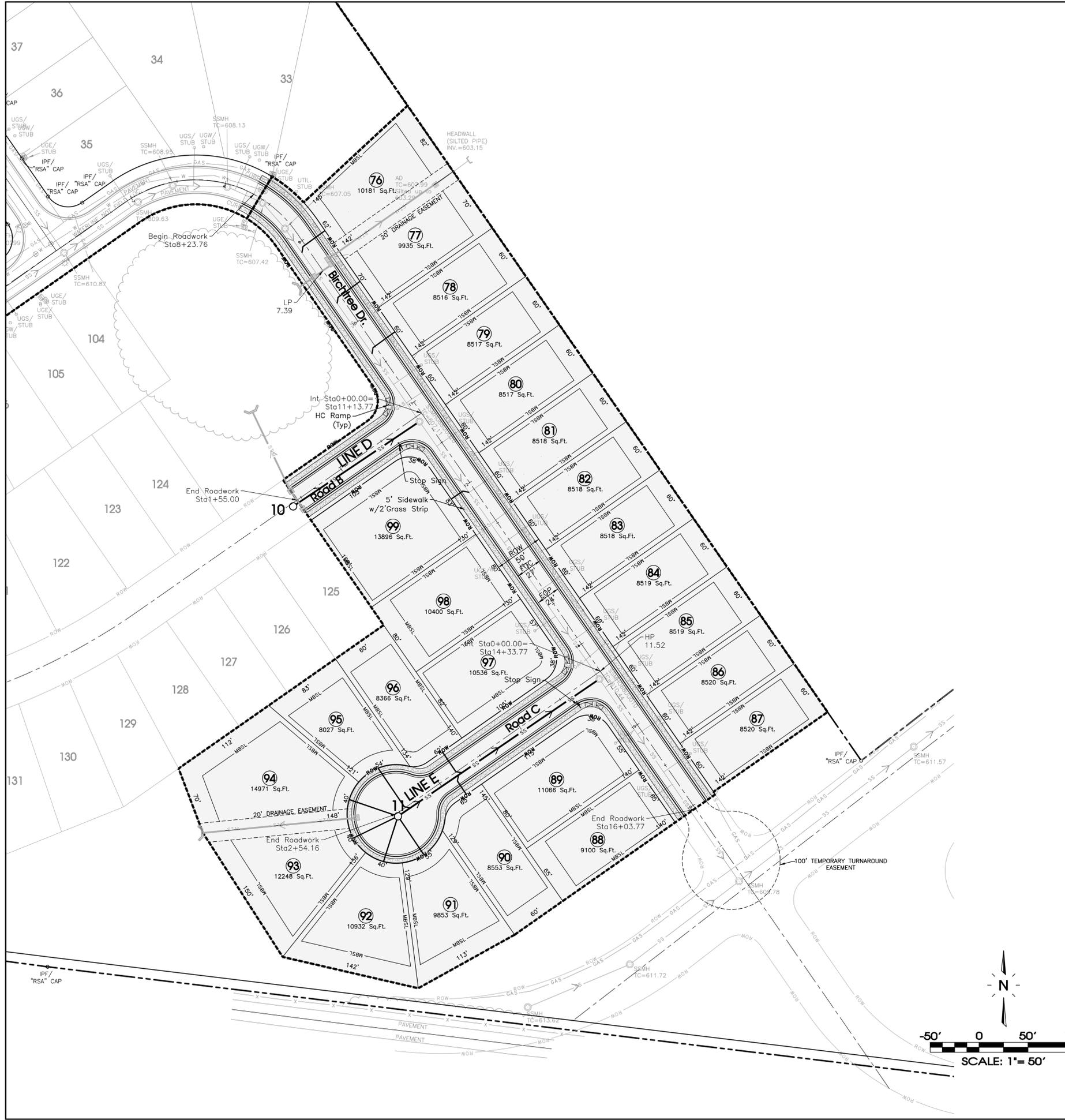
**Water Provider: Consolidated Utility District Of Rutherford County**

**SFC, Inc.**  
SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129  
PHONE: (615) 890-7901 E-MAIL: MTA@SFC-CIVIL.COM FAX: (615) 895-2567  
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

**Westlawn Section 3**  
Murfreesboro, Tennessee

**Preliminary Plat**

5 of 17



**TYPICAL MINIMUM BUILDING SETBACKS**  
N.T.S.

- NOTES:**
- 1) Main utility trench & conduit # & sizes are shown for location & coordination only. Coordinate final location, # & size of conduits with provider. Gas, CATV, and telephone shown were designed by those respective utilities.
  - 2) Gasline is shown for coordination only. Coordinate final location, size, & crossings with Atmos Gas.
  - 3) Waterline design to be provided by Consolidated Utility District's consultant. Waterline shown is for graphic purposes only and does not represent a design. The locations of all fire hydrants and waterlines will be determined by C.U.D. in compliance with the current Subdivision Regulations.
  - 4) Sidewalks will be responsibility of lot owner/builder in accordance with Subdivision Regulations.
  - 5) MPE's are due to Local Drainage.

**Legend:**

□	EXIST. CONCRETE MONUMENT	□	INLET PROTECTION FILTER
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊙	HC SIGN
+	EXIST. SIGN POST	—	HEADWALL
○	EXIST. SEWER CLEANOUT	—	WINGED HEADWALL
○	EXIST. MANHOLE (SEWER & PHONE)	○	MANHOLE
⊕	EXIST. CATCH BASIN (STORM SEWER)	63.25 x	PROPOSED SPOT ELEVATION
⊗	EXIST. WATER/GAS VALVE	(63.25) x	EXIST. SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	●	POST INDICATOR VALVE
⊕	EXIST. GAS RISER	▽	REDUCER
⊕	ELECTRICAL ENCLOSURE	⊕	REMOTE FIRE DEPT. CONNECTION
⊕	EXIST. WATER METER	⚠	REVISION NUMBER
○	EXIST. UTILITY POLE	⊕	RIP RAP
⊕	EXIST. FIRE HYDRANT	→	RUNOFF FLOW ARROW
⊕	BENCHMARK	↘	SEWER/STORM FLOW DIRECTION
⊕	BLOW OFF VALVE	→	TRAFFIC ARROW
●	CONCRETE BOLLARD	↘	TURN LANE ARROWS
⊕	CATCH BASIN	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	CURB INLET	⊕	WATER METER
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	#1	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE & BOX	⊕	CURB & GUTTER
○	EXTERIOR CLEANOUT	⊕	CONCRETE SWALE

EXISTING PHONE	— PH —
EXISTING ELECTRIC	— OH —
PROPERTY LINE	— — — — —
EASEMENTS	— — — — —
RIGHT OF WAY	— ROW —
EROSION CONTROL SILT FENCE	— SF — SF —
EXISTING TREELINE	— — — — —
EXISTING FENCELINE	— x — x —
MINIMUM BUILDING SETBACK LINE	— MBSL —
PHASE BOUNDARY	— — — — —
EXISTING GAS LINE	— GAS — GAS —
PROPOSED GAS LINE	— GAS — GAS —
EXISTING STORM	— STM — STM —
PROPOSED STORM	— STM — STM —
EXISTING CONTOUR LINES	— 601 —
PROPOSED CONTOUR LINES	— 601 —
EXISTING SANITARY SEWER	— SS —
PROPOSED SANITARY SEWER	— SS —
EXISTING WATER	— W — W —
PROPOSED WATER	— W — W —

**Developers:**  
D.R. Horton Inc.  
7175 Nolensville Rd., Suite 202  
Nolensville, TN 37135  
Contact: David Reisen

**Owner:**  
Res. Funding Solutions III, LLC  
PO Box 58607  
Atlanta, GA 30343-0607

**Land Data:**  
57 Lots on 15.94± Acres

**Deed Reference:**  
R.Bk. 1214, Pg. 3357  
Tax Map 93, P/O Parcel 1.00

**Zoning:** PUD

**Flood Map:**  
No portion of this site lies within the 100 Year Flood Zone per Map 47149C0235H Dated January 5, 2007.

Approved by the Murfreesboro Planning Commission, with such conditions as are indicated in the minutes of the Commission on \_\_\_\_\_.

Preliminary Plat approval shall not constitute final approval for recording purposes.

**All streets to utilize decorative streetlights & street signs.**

**Water Provider: Consolidated Utility District Of Rutherford County**

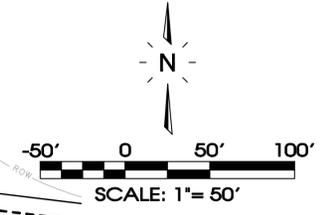
**APPROVED FOR CONSTRUCTION**  
THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE **MURFREESBORO WATER AND SEWER DEPARTMENT** UNDER THE AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL AND IS HEREBY APPROVED FOR CONSTRUCTION.

THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES WILL REACH THE DESIGNED GOALS.

APPROVAL DATE \_\_\_\_\_  
APPROVAL EXPIRES IN 12 MONTHS

BY \_\_\_\_\_

**FOR SANITARY SEWER ONLY**



**SFC, Inc.** SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129  
PHONE: (615) 890-7901 E-MAIL: MTA@SFC-CIVIL.COM FAX: (615) 895-2567  
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

**Westlawn Section 3**  
Murfreesboro, Tennessee

**Preliminary Plat**

REVISIONS:  
DRAWN: SJA, CFB3  
DATE: 3-31-16  
CHECKED: MAT  
FILE NAME: 15264phase1  
SCALE: 1"=50'  
JOB NO. 15264  
SHEET: 6 of 17

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.c. Bell Haven Cove Lot 1 [2016-2044] final plat for 1 lot on 18.2 acres zoned RM-16 located along Saint Andrews Drive, Ole South Properties developer.**

This is the final plat review for Bell Haven Cove Lot 1. The property is zoned RM-16. The Planning Commission has approved a two phased site plan for a multi-family development located on this property, located west of Saint Andrews Drive. The purpose of this plat is to create a lot by combining two tax parcels into one lot. Staff recommends any approval of this final plat be subject to all staff comments.



### **Staff Comments:**

- 1) Revise title to more correctly reflect the platting exercise, not as an amendment plat (it's a final plat and a resubdivision plat).
- 2) Add void and vacate note for the previously recorded final plat.

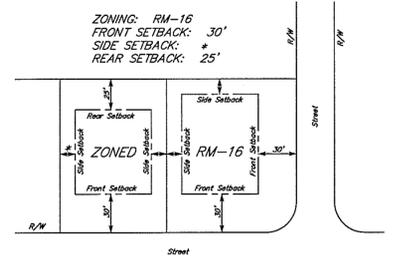
### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in both .dwg or .dgn vector format as well as in .pdf format. Projection should be in Tennessee State Plane, NAD 83 (U.S. feet). .dwg and .dgn layers should be identified per Gerald Lee. For additional questions contact: [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov).
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) Submit plat to CUDRC for review and comment.

WACAD 105 Land Project 2024 NEW SALEM DEVELOPMENT/Town of Belle Haven Cove Lot 1 Amendment Plat Book 39, Page 110, ACAD 109

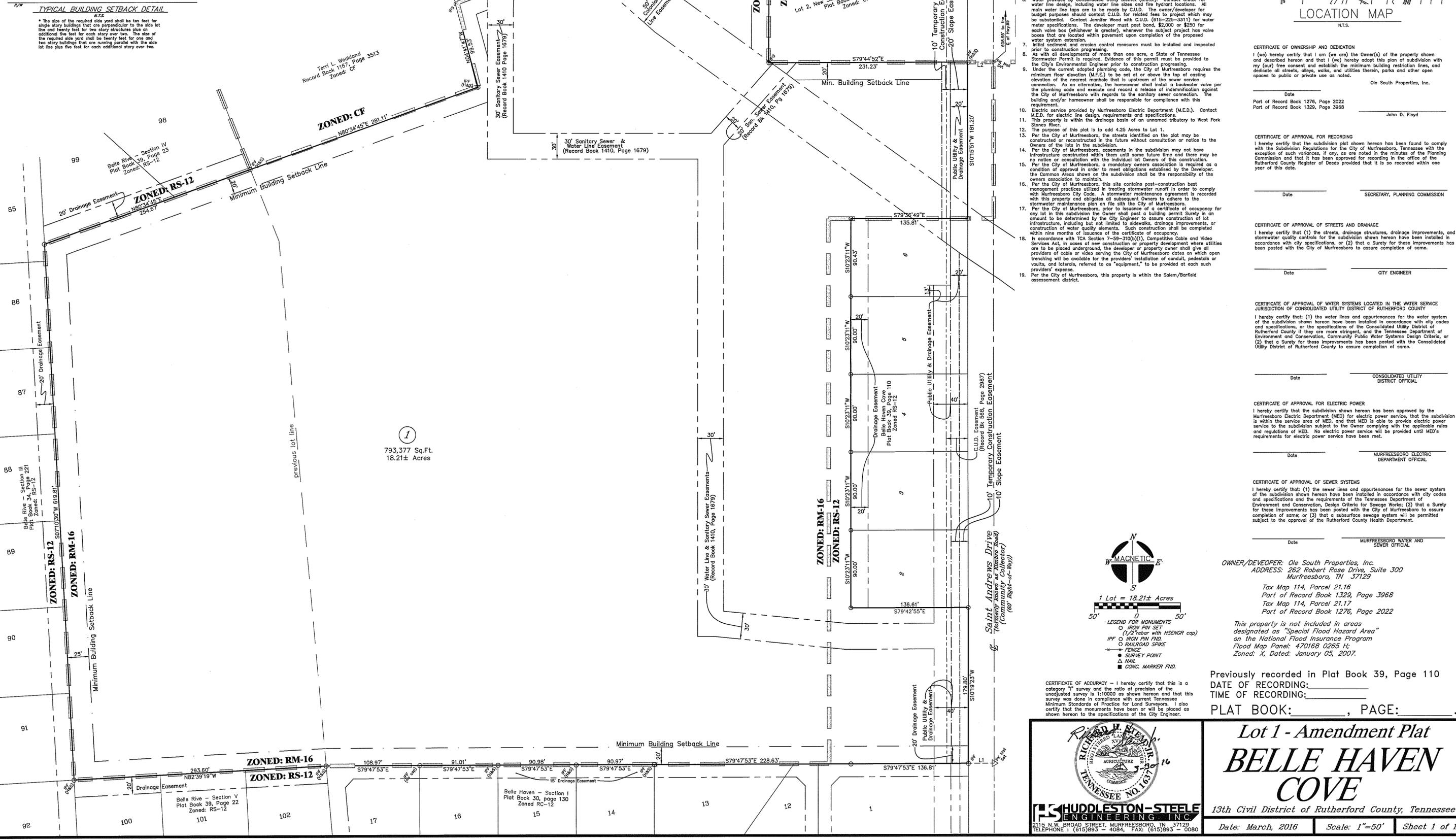
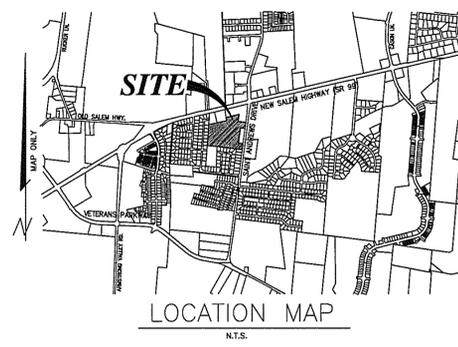


LINE TABLE

LINE	BEARING	DISTANCE
L1	S79°47'53"E	30.12
L2	S79°44'52"E	30.06

Lot 1, New Salem Strategic Investments, LP  
Plat Book 39, Page 43  
Zoned: CF

BENCHMARK  
ELEV: 229.01  
(on South side of New Salem Highway,  
Approx. 170' east of St. Andrews Drive)



1  
793,377 Sq.Ft.  
18.21± Acres

- ELABORATE NOTES**
- In Tennessee, it is a requirement per 'The Underground Utility Damage Prevention Act' that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One-Call system can be notified by calling toll free 1-800-351-1111.
  - Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing construction.
  - It is the responsibility of each builder to design and construct a suitable grading and drainage system which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
  - Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
  - Public utility and drainage easements shown hereon are intended to indicate an assessment for construction, operation, and maintenance of public utilities and drainages; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.
  - Water provided by Consolidated Utility District (C.U.D.). Contact C.U.D. for water line design, including water line sizes and fire hydrant locations. All main water line taps are to be made by C.U.D. The owner/developer for budget purposes should contact C.U.D. for related fees to project which may be substantial. Contact Jennifer Wood with C.U.D. (615-225-3311) for water meter specifications. The developer must post bond, \$2,000 or \$250 for each valve box (whichever is greater), whenever the subject project has valve boxes that are located within pavement upon completion of the proposed water system extension.
  - Initial sediment and erosion control measures must be installed and inspected prior to construction progressing.
  - As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing.
  - Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with records to the sanitary sewer connection. The building and/or homeowner shall be responsible for compliance with this requirement.
  - Electric service provided by Murfreesboro Electric Department (M.E.D.). Contact M.E.D. for electric line design, requirements and specifications.
  - This property is within the drainage basin of an unnamed tributary to West Fork Stones River.
  - The purpose of this plat is to add 4.25 Acres to Lot 1.
  - Per the City of Murfreesboro, the streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the Owners of the lots in the subdivision.
  - Per the City of Murfreesboro, easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.
  - Per the City of Murfreesboro, a mandatory owners association is required as a condition of approval in order to meet obligations established by the Developer. The Common Area shown on the subdivision shall be the responsibility of the owners association to maintain.
  - Per the City of Murfreesboro, this site contains post-construction best management practices utilized in treating stormwater runoff in order to comply with Murfreesboro City Code. A stormwater maintenance agreement is recorded with this property and obligates all subsequent Owners to adhere to the stormwater maintenance plan on file with the City of Murfreesboro.
  - Per the City of Murfreesboro, prior to issuance of a certificate of occupancy for any lot in this subdivision the Owner shall post a building permit Surety in an amount to be determined by the City Engineer to assure construction of lot infrastructure, including but not limited to sidewalks, drainage improvements, or construction of water quality elements. Such construction shall be completed within nine months of issuance of the certificate of occupancy.
  - In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
  - Per the City of Murfreesboro, this property is within the Salem/Barfield assessment district.

**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
I (we) hereby certify that I (am we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utility lines, parks and other open spaces to public or private use as noted.  
Ole South Properties, Inc.

Date \_\_\_\_\_  
Part of Record Book 1276, Page 2022  
Part of Record Book 1329, Page 3968  
John D. Floyd

**CERTIFICATE OF APPROVAL FOR RECORDING**  
I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date \_\_\_\_\_ SECRETARY, PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE**  
I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date \_\_\_\_\_ CITY ENGINEER

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY**  
I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County, if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.

Date \_\_\_\_\_ CONSOLIDATED UTILITY DISTRICT OFFICIAL

**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**  
I hereby certify that the subdivision shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the Owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.

Date \_\_\_\_\_ MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**  
I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date \_\_\_\_\_ MURFREESBORO WATER AND SEWER OFFICIAL

**OWNER/DEVELOPER:** Ole South Properties, Inc.  
**ADDRESS:** 262 Robert Rose Drive, Suite 300  
Murfreesboro, TN 37129  
Tax Map 114, Parcel 21.16  
Part of Record Book 1329, Page 3968  
Tax Map 114, Parcel 21.17  
Part of Record Book 1276, Page 2022

This property is not included in areas designated as "Special Flood Hazard Area" on the National Flood Insurance Program Flood Map Panel: 470168 0265 H. Zoned: X, Dated: January 05, 2007.

Previously recorded in Plat Book 39, Page 110  
DATE OF RECORDING: \_\_\_\_\_  
TIME OF RECORDING: \_\_\_\_\_  
PLAT BOOK: \_\_\_\_\_, PAGE: \_\_\_\_\_



**Lot 1 - Amendment Plat**  
**BELLE HAVEN COVE**  
13th Civil District of Rutherford County, Tennessee  
Date: March, 2016 Scale: 1"=50' Sheet 1 of 1

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.d. The Crossings at Victory Station Lots 2 & 3 [2016-1011] preliminary plat for 2 lots on 11.6 acres zoned PUD located along Fortress Boulevard, Investment Partners LLC developer.**

This is the preliminary plat review for 2 lots on 11.59 acres zoned PUD and is being reviewed as an integrated subdivision/site plan. The Planning Commission approved a site plan in March 2015 for an assisted care living facility, memory care and independent living. The PUD was amended to allow the proposed uses. The purpose of this plat is to create 2 lots as a part of The Crossings at Victory Station commercial subdivision. Preliminary Plat approval shall not confer a vested right to proceed with development of the property as shown on the Preliminary Plat but rather shall authorize the applicant to submit Construction Plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends approval of the preliminary plans subject to all staff comments.



## **Staff Comments:**

- 1) This is an integrated plat.
- 2) Add street classifications to preliminary plat.
- 3) Show zoning districts for abutting properties on the preliminary plat.
- 4) Add setback diagram to the preliminary plat.
- 5) Remove the Certificate of Approval for the Planning Department.
- 6) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or [KNoel@MurfreesboroTN.gov](mailto:KNoel@MurfreesboroTN.gov))
- 7) This development is required to comply with all stormwater quality requirements. Those requirements can be met at the site plan level.
- 8) Show area to the west of lot 1 as potential future right of way.
- 9) Extend access easement either on lot 1 or lot 2 over to the west property line to give access to a future Rucker Lane extension.
- 10) Are there any possible limitations for development such as sink holes, rock outcrops, wetlands, excessive slopes, etc? If yes, then identify them on the plans.
- 11) Show the traffic control elements on the preliminary plat and on the construction plans.
- 12) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations [www.murfreesborotn.gov/planning](http://www.murfreesborotn.gov/planning) and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities. Stormwater Comments:

## **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan, as Rucker Lane is planned to be improved.
- 3) Send a copy of the entire set of staff-approved plans in both .dwg or .dgn vector format as well as in .pdf format. Projection should be in Tennessee State Plane, NAD 83 (U.S. feet). .dwg and .dgn layers should be identified per Gerald Lee. For additional questions contact: [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov).
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

## **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial.
- 4) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 5) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 6) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 7) Property is within the Overall Creek assessment district. Add this note to the plat.
- 8) Resubmit two sets of plans to MWSD for the review of the sewer.
- 9) Add the Release & Covenant Not to Sue note to the plat.
  - a. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- 10) MWSD must receive contract and surety prior to approving the plans.
- 11) Sewer must extend the length of the north property line of lot 2.
- 12) Show 30' sanitary sewer easement for existing and new.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.e. The Crossings at Victory Station [2016-2047] final plat for 2 lots on 11.6 acres zoned PUD located along Fortress Boulevard, Investment Partners LLC developer.**

This is the final plat review for The Crossings at Victory Station subdivision located along Fortress Boulevard. The property is zoned PUD. The purpose of this plat is to create a 2 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



### **Staff Comments:**

- 1) Remove constructed elements from the final plat.
- 2) Place circle around lot numbers.
- 3) Add street classifications to final plat.
- 4) Add benchmark location to final plat.
- 5) Revise title block and renumber lots as there is already a Lot 1 for The Crossings at Victory Station.
- 6) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or [KNoel@MurfreesboroTN.gov](mailto:KNoel@MurfreesboroTN.gov))
- 7) This development is required to comply with all stormwater quality requirements. Those requirements can be met at the site plan level.
- 8) Show area to the west of lot 1 as potential future right of way.
- 9) Extend access easement either on lot 1 or lot 2 over to the west property line to give access to a future Rucker Lane extension.
- 10) Add the name of the owner under the "Certificate of Ownership and Dedication".
- 11) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."
- 12) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan, as Rucker Lane is planned to be improved.
- 3) Send a copy of the entire set of staff-approved plans in both .dwg or .dgn vector format as well as in .pdf format. Projection should be in Tennessee State Plane, NAD 83 (U.S. feet). .dwg and .dgn layers should be identified per Gerald Lee. For additional questions contact: [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov).
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

## **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial.
- 4) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 5) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 6) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 7) Property is within the Overall Creek assessment district. Add this note to the plat.
- 8) Resubmit two sets of plans to MWSD for the review of the sewer.
- 9) Add the Release & Covenant Not to Sue note to the plat.
  - a. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- 10) MWSD must receive contract and surety prior to approving the plans.
- 11) Sewer must extend the length of the north property line of lot 2.
- 12) Show 30' sanitary sewer easement for existing and new.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

- 4.f. Perimeter Place South Lots 6 & 7 [2016-2039] final plat for 1 lot on 1.7 acres zoned CH located along Merchants Place, MidTN Collision Properties developer.**

This is the final plat review for Perimeter Place South commercial subdivision located along Merchants Place and Perimeter Place Drive. The property is zoned CH. The purpose of this plat is to combine Lots 6 and 7 into one lot of record. Staff recommends any approval of this final plat be subject to all staff comments.

### **Staff Comments:**

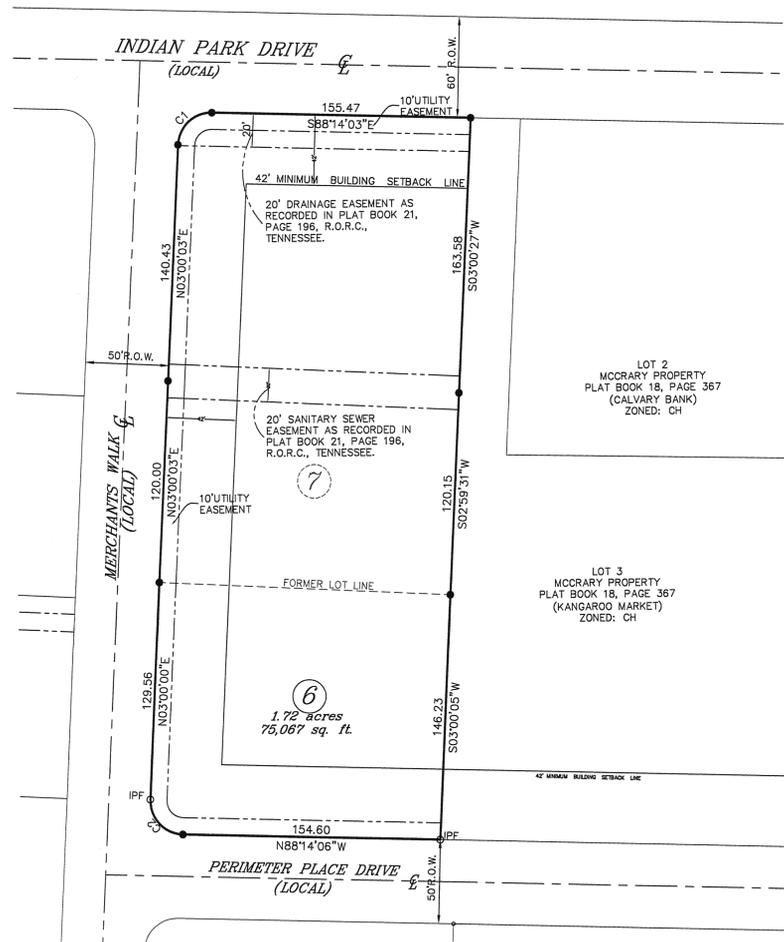
- 1) Add void and vacate note to final plat for the previously recorded plats.
- 2) Show and label all MBSLs on lot 6 on the final plat.
- 3) Remove Certificate of Approval for Electric Power from final plat.
- 4) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan, as Rucker Lane is planned to be improved.
- 3) Send a copy of the entire set of staff-approved plans in both .dwg or .dgn vector format as well as in .pdf format. Projection should be in Tennessee State Plane, NAD 83 (U.S. feet). .dwg and .dgn layers should be identified per Gerald Lee. For additional questions contact: [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov).
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@ cudrc.com](mailto:subdivisions@ cudrc.com).
- 4) Change Release & Covenant note to the following Release & Covenant Not to Sue note:
  - a. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.

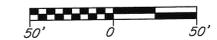


THE PURPOSE OF THIS PLAT IS TO COMBINE LOT 6 OF PLAT BOOK 21, PAGE 196, R.O.R.C., TENNESSEE AND LOT 7 OF PLAT BOOK 34, PAGE 96, R.O.R.C., TENNESSEE

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	88°36'58"	20.00	30.93	27.94	N47°27'00"E
C2	91°14'44"	20.00	31.85	28.59	N42°37'00"W

LOT 7 PREVIOUSLY RECORDED IN PLAT BOOK 34, PAGE 96, R.O.R.C., TENNESSEE.  
 LOT 6 PREVIOUSLY RECORDED IN PLAT BOOK 21, PAGE 196, R.O.R.C., TENNESSEE.

ZONING: CH (COMMERCIAL HIGHWAY)  
 FRONT SETBACK: 42'  
 SIDE SETBACK: 0'  
 REAR SETBACK: 20'



TOTAL ACREAGE - 1.72 AC. ±  
 75,067 SQ. FT. ±

- LEGEND
- IPS ○ IRON PIN SET
  - IPF ○ IRON PIN FND.
  - RAILROAD SPIKE
  - \* FENCE
  - SURVEY POINT
  - ▲ NAIL
  - CONC. MARKER FND.

THIS PARCEL IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY-PANEL NO. 470168-0270-H

OWNER: MIDTREN COLLISION PROPERTIES LLC.  
 C/O DANIEL T. WALLACE  
 ADDRESS: 1806 WATERFORD ROAD  
 MURFREESBORO, TN 37129  
 TAX MAP: 113N, GROUP B PARCELS: 6 & 7  
 FLOOD MAP PANEL: 470168 0270 H ZONE: X  
 FLOOD MAP DATED: JANUARY 5, 2007

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.



LOCATION MAP  
 N.T.S.

**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Record Book: 846 Date: \_\_\_\_\_  
 Page: 3318 OWNER: DANIEL T. WALLACE

**CERTIFICATE OF APPROVAL FOR RECORDING**  
 I hereby certify that the subdivision plat shown hereon has been found to comply with the subdivision regulations for the City of Murfreesboro, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date: \_\_\_\_\_ SECRETARY, PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE**  
 I hereby certify that (1) the streets, drainage structures and drainage improvements for the subdivision shown hereon have been installed in accordance with City specifications, or (2) that a surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: \_\_\_\_\_ CITY ENGINEER

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS**  
 I hereby certify that (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with City codes and specifications and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design criteria, or (2) that a surety for these improvements has been posted with the City of Murfreesboro to assure completion of same and that the land shown to be subdivided hereon is within the water service jurisdiction of Consolidated Utility District.

Date: \_\_\_\_\_ CONSOLIDATED UTILITY DISTRICT OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**  
 I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with City codes and specifications and the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the local health authority.

Date: \_\_\_\_\_ MURFREESBORO WATER AND SEWER DEPARTMENT OFFICIAL

**CERTIFICATE FOR APPROVAL FOR ELECTRIC POWER**  
 I hereby certify that the subdivision plat shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.

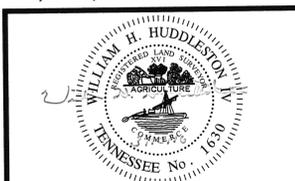
Date: \_\_\_\_\_ MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

- PLAT NOTES**
- It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
  - Parcels may be subject to additional easements and/or restrictions either recorded or by prescription that a complete title search may reveal.
  - Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation and maintenance of public utilities and drainageways including, but not limited to, sanitary sewers, forced mains, water lines, telephone signal conduits, electric conductors, drainage pipes and natural gas lines.
  - In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call System may be notified by calling toll free 1-800-351-1111.
  - (B.S.T., M.E.D., M.W.S.D., U.C.G. Easements) = Belisouth Telecommunications, Murfreesboro Electric Department, Murfreesboro Water and Sewer Department, United Cities Gas Easements.
  - Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.

Any house or structure with a building drain to the public sanitary sewer with a floor elevation at any point below the elevation of the center of the street may be subject to Murfreesboro City Code Section 33-35 (1)(1) which requires the owner(s) to execute a Release and Indemnification Agreement in favor of the City as a prerequisite to connecting to water and/or sewer services.

DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK: \_\_\_\_\_, PAGE: \_\_\_\_\_

CERTIFICATE OF ACCURACY - I hereby certify that this is a category "T" survey and the ratio of precision of the unadjusted survey is 1:10000 as shown hereon.



WILLIAM H. HUDDLESTON  
 ENGINEERING INC.  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 TELEPHONE: (615)893-4084, FAX: (615)893-0080

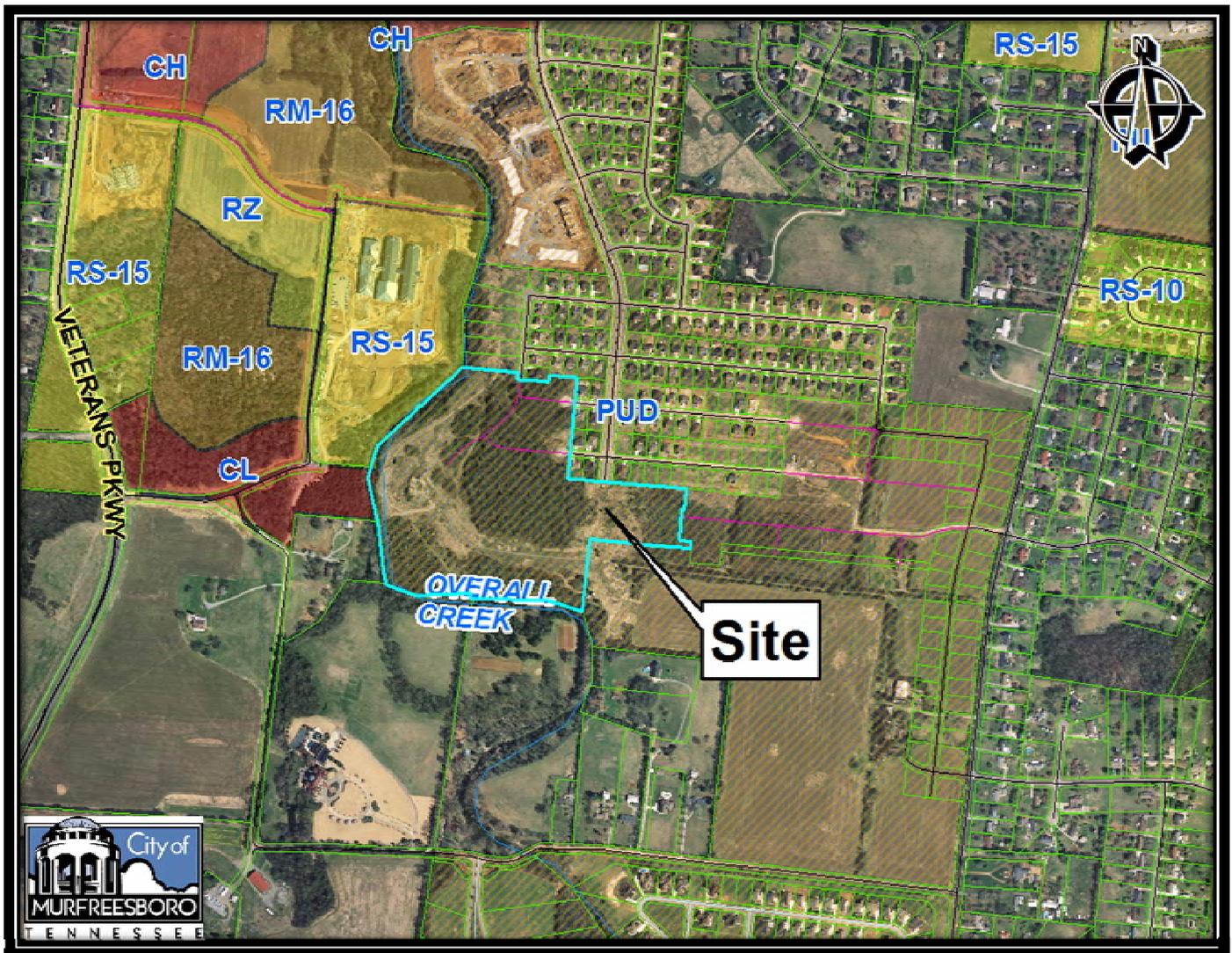
**COMBINATION PLAT**  
**LOTS 6 & 7,**  
**PERIMETER PLACE**  
**SOUTH**

11TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.  
 DATE: FEBRUARY, 2016 SCALE 1"=50' SH. 1 OF 1

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.g. Brighton Park at Kingdom Ridge Section 3 [2016-2040] final plat for 32 lots on 8.3 acres zoned PRD located along Covenant Boulevard, Swanson Developments developer.**

This is the final plat review for Brighton Park at Kingdom Ridge Section 3 single family residential subdivision located along Covenant Boulevard. The property is zoned PRD. These lots are a part of the Brighton Park subdivision and have a minimum lot size of 8,000 square feet. Each of the proposed lots meets the minimum lot size requirement. The purpose of this plat is to create a 32 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



## **Staff Comments:**

- 1) Revise Note 15 to the following: Sidewalks indicated along the front of each lot are the responsibility of the builder to construct, and those located along the common areas are the responsibility of the developer to construct.
- 2) Show benchmark location on the final plat.
- 3) Clarify flood hazard note.
- 4) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or KNoel@MurfreesboroTN.gov).
- 5) This development is required to comply with the City's Stormwater Quality requirements.
- 6) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 7) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 8) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 9) Add the Notation of future street construction- "The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the Owners of the lots in the subdivision."
- 10) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."
- 11) Add the Notation of owners association- "A mandatory owners association is required as a condition of approval in order to meet obligations established by the Developer."
- 12) Approval of this final plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 13) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

## **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.

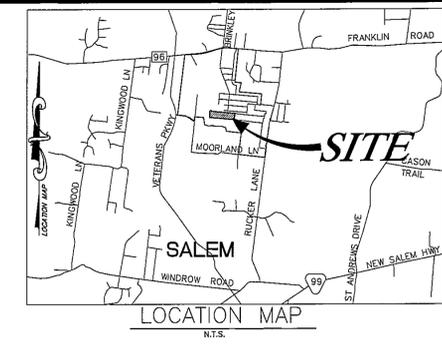
- 3) Send a copy of the entire set of staff-approved plans in pdf format to [mely@murfreesborotn.gov](mailto:mely@murfreesborotn.gov). Send dwg and dgn layers to [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov) with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

**Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service, domestic, fire and/or irrigation, is provided by CUDRC.
- 3) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 4) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@cudrc.com](mailto:subdivisions@ cudrc.com).
- 5) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 6) MWSD must receive contract and surety prior to signing the plat.

PLAT NOTES

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from its structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in this subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.
- Water service, domestic and fire protection, are provided by Consolidated Utility District (C.U.D.). The owner/developer should contact C.U.D. for related fees to project which may be substantial. All main waterline taps are to be made by C.U.D. See plans for Water Line requirements.
- As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing.
- A Land Disturbance Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing.
- An erosion prevention and sediment control plan will be required with an application for a Land Disturbance Permit. This plan will include a temporary sediment basin.
- Appropriate street signs must be placed prior to the release of building permits by the Planning and Engineering Department.
- Construction Plans will be subject to review and approval by the City Engineer and Murfreesboro Water and Sewer Department.
- Final approval subject to approval of construction drawings and hydraulic calculations by M.E.S.D.
- Property is within the Overall Creek Assessment District.
- All builders must first receive approval from the Planning Staff prior to the issuance of any building permit in order to ensure compliance with the architectural requirements of the approved PUD.
- Sidewalks indicated along the front of subdivision lots will be the responsibility of the future owners (not the developer) of the adjoining lots to construct.
- Per this City of Murfreesboro, this development is required to comply with the City's Stormwater Quality requirements. Prior to any permit submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements and submit a Stormwater Management Record Sheet. Submit an EPSC inspection report prior to signing of final plat. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement. A Quality Assessment Quality control of the EPSC/SWPPP will be required. EPSC plans should be in 3 phases. A temporary sediment basin will be required. Provide design and calculations on EPSC/SWPPP.
- Per the City of Murfreesboro, an Owners Association must be responsible for the maintenance of all common elements including stormwater management areas and landscaped medians. A mandatory owners association is required as a condition of approval in order to meet obligations established by the Developer.
- Per the City of Murfreesboro, the Final Plat for Kingdom Ridge Section 8 will need to be signed and recorded prior to the recording of Brighton Park At Kingdom Ridge, Section III.
- Per the City of Murfreesboro, grading on lots must be complete before release of building permits.
- Per the City of Murfreesboro, geotechnical reports on lots with fill will be required prior to release of building permits.
- Per the City of Murfreesboro, construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations.
- Per the City of Murfreesboro, construction plans shall be submitted to the City Engineer's office for review and approval for all subdivision requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- Per the City of Murfreesboro, in accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
- Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- Per the City of Murfreesboro, prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- Per the City of Murfreesboro, any street in this subdivision may be extended into adjoining property at any time without additional notice or consultation. The streets identified on this plat may be constructed or reconstructed in the future without consultation or notice to the Owners of the lots in the subdivision.



CERTIFICATE OF OWNERSHIP AND DEDICATION  
 I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utilities therein, parks and other open spaces to public or private use as noted.  
 SWANSON DEVELOPMENTS, LP  
 Date \_\_\_\_\_  
 Part of Record Book 811, Page 2367  
 Part of Record Book 350, Page 638  
 Deborah S. Kirk, President

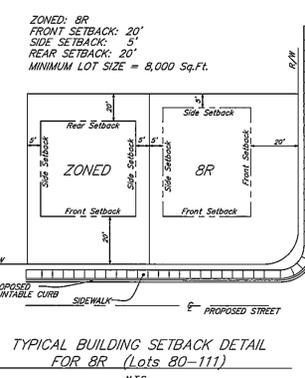
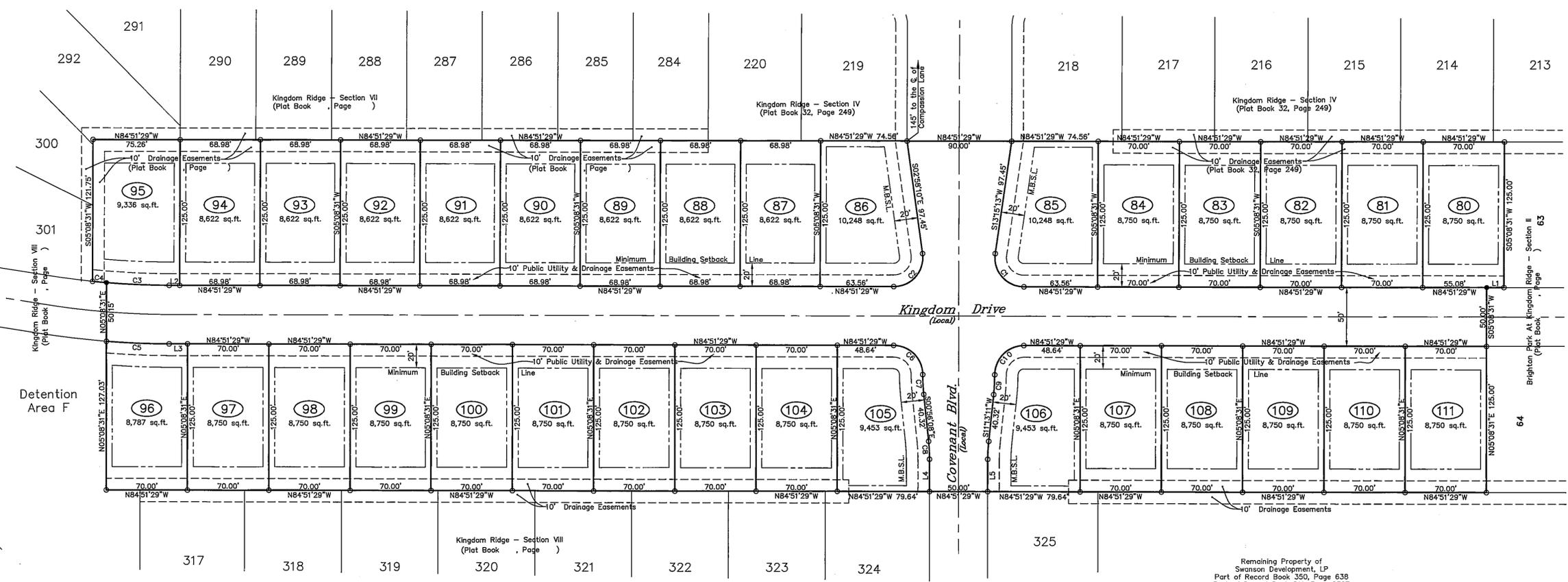
CERTIFICATE OF APPROVAL FOR RECORDING  
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.  
 Date \_\_\_\_\_  
 SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE  
 I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.  
 Date \_\_\_\_\_  
 CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY  
 I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.  
 Date \_\_\_\_\_  
 CONSOLIDATED UTILITY DISTRICT OFFICIAL

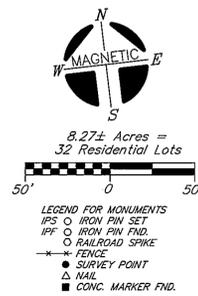
CERTIFICATE OF APPROVAL FOR ELECTRIC POWER  
 I hereby certify that the subdivision shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the Owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.  
 Date \_\_\_\_\_  
 MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS  
 I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.  
 Date \_\_\_\_\_  
 MURFREESBORO WATER AND SEWER OFFICIAL



CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	98°06'42"	25.00	42.81	37.77	S35°48'08"E
C2	98°06'42"	25.00	42.81	37.77	N48°05'10"E
C3	4°36'11"	675.00	54.23	54.21	S82°33'23"E
C4	1°01'20"	675.00	12.04	12.04	S79°44'38"E
C5	4°17'08"	725.00	54.22	54.21	S82°42'56"E
C6	89°53'12"	25.00	39.22	35.32	N39°54'53"W
C7	5°27'51"	163.00	16.97	16.96	S02°02'47"W
C8	6°04'40"	145.00	15.38	15.37	N02°06'11"E
C9	5°57'51"	163.00	16.97	16.96	N08°14'15"E
C10	89°53'12"	25.00	39.22	35.32	S50°11'55"W

LINE	BEARING	LENGTH
L1	N84°51'29"W	14.92
L2	N84°51'29"W	9.10
L3	N84°51'29"W	15.83
L4	S05°08'31"W	27.67
L5	S05°08'31"W	27.67



OWNER: Swanson Developments, LP  
 Attn: Joe Swanson, Jr.  
 ADDRESS: 1188 Park Avenue  
 Murfreesboro, TN 37129  
 Tax Map 100, Part of Parcel 13.00  
 Part of Record Book 350, Page 638  
 Part of Record Book 811, Page 2367  
 A PORTION OF THESE LOTS ARE PARTIALLY LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 470168, PANEL NO. 0255H, ZONE: X, DATED: 01/05/07.

CERTIFICATE OF ACCURACY - I hereby certify that this is a category "I" survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors. I also certify that the monuments have been or will be placed as shown hereon to the specifications of the City Engineer.

**SHUDDLESTON-STEELE ENGINEERING, INC.**  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING: 855-4264, FAX: 855-0090

DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK: \_\_\_\_\_, PAGE: \_\_\_\_\_

**FINAL PLAT-Section III**  
**BRIGHTON PARK AT KINGDOM RIDGE**  
 7th & 12th Civil Districts of Rutherford County, Tennessee  
 Date: March, 2016 Scale: 1"=50' Sheet 1 of 1

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.h. Brighton Park at Kingdom Ridge Section 4 [2016-2041] final plat for 43 lots on 14.31 acres zoned PRD located along Covenant Boulevard, Swanson Developments developer.**

This is the final plat review for Brighton Park at Kingdom Ridge Section 4 single family residential subdivision located along Covenant Boulevard. The property is zoned PRD. These lots are a part of the Brighton Park at Kingdom Ridge subdivision and have minimum lot sizes of 8,000, 12,000, and 15,000 square feet. Each of the proposed lots meets the minimum lot size requirements. The purpose of this plat is to create a 43 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



## **Staff Comments:**

- 1) Label MBSLs with the building envelopes on final plat.
- 2) Confirm that lot 136 is sufficient for a buildable lot on the final plat.
- 3) Show benchmark location on the final plat.
- 4) Revise the number of common areas to 2 on the final plat.
- 5) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or [KNoel@MurfreesboroTN.gov](mailto:KNoel@MurfreesboroTN.gov).
- 6) This development is required to comply with the City's Stormwater Quality requirements.
- 7) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 8) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 9) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 10) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."
- 11) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

## **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to [mely@murfreesborotn.gov](mailto:mely@murfreesborotn.gov). Send dwg and dgn layers to [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov) with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video

serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

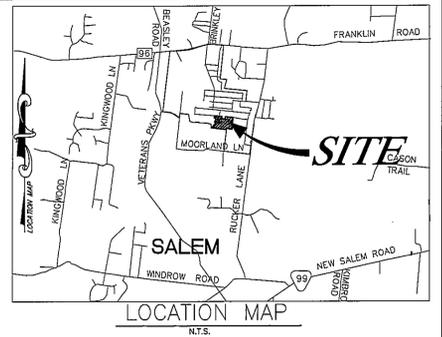
**Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 4) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@cudrc.com](mailto:subdivisions@ cudrc.com).
- 5) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 6) MWSD must receive contract and surety prior to signing the plat.

**PLAT NOTES**

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or presentation, that a complete title search may reveal.
- Public utility and drainage easements where shown herein are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways; including, but not limited to, sanitary sewers, forcemans, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.
- Water service, domestic and fire protection, are provided by Consolidated Utility District (C.U.D.). The owner/developer should contact C.U.D. for related fees to project which may be substantial. All main waterline taps are to be made by C.U.D. See plans by C.U.D. for Water Line requirements.
- Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casing elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
- Appropriate street signs must be placed prior to the release of building permits by the Planning and Engineering Department.
- Property is within the Overall Creek Assessment District.
- All builders must first receive approval from the Planning Staff prior to the issuance of each building permit in order to ensure compliance with the architectural requirements of the approved PUD.
- Per the City of Murfreesboro, sidewalks indicated along the front of each lot are the responsibility of the builder to construct and those located along the common areas are the responsibility of the developer to construct.
- Per the City of Murfreesboro, an Owners Association must be responsible for the maintenance of all common elements including stormwater management areas and landscaped medians. The common areas shown on the subdivision shall be the responsibility of the owners association to maintain.
- Per the City of Murfreesboro, any street in this subdivision may be extended into adjoining property at any time without additional notice or consultation. The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the Owners of the lots in the subdivision.
- Per the City of Murfreesboro, a mandatory owners association is required as a condition of approval in order to meet obligations established by the Developer. The common areas shown on the subdivision shall be the responsibility of the owners association to maintain.
- Per the City of Murfreesboro, this site contains post-construction best management practices utilized in treating stormwater runoff in order to comply with Murfreesboro City Code. A stormwater maintenance agreement is recorded with this property and obligates all subsequent Owners to adhere to the stormwater maintenance plan on file with the City of Murfreesboro.
- The purpose of this plat is to create 43 Single Family Residential Lots and 1 Common Area- Detention Pond Lot.
- Per the City of Murfreesboro, this development is required to comply with the City's Stormwater Quality requirements.
- The required water quality protection area along Overall Creek shall conform to all limitations and restrictions as set forth under Chapter 275 of the Murfreesboro City Code.

CURVE TABLE					CURVE TABLE					LINE TABLE				
CURVE	DELTA	RADIUS	ARC	CHORD	BEARING	CURVE	DELTA	RADIUS	ARC	CHORD	BEARING	LINE	BEARING	LENGTH
C1	153°36'	285.00	9.42	9.42	N85°48'17"W	C9	88°23'42"	25.00	38.57	34.85	N50°58'40"E	L1	N84°51'29"W	10.01
C2	68°31'54"	25.00	38.53	34.90	N50°52'34"E	C10	91°36'18"	25.00	39.97	35.85	S39°03'20"E	L2	N84°51'29"W	15.84
C3	91°28'06"	25.00	39.81	35.81	S39°07'28"E	C11	88°23'42"	25.00	38.57	34.86	S50°56'40"W	L3	N84°51'29"W	5.00
C4	88°23'42"	25.00	38.57	34.86	S50°56'40"W	C12	91°36'18"	25.00	39.97	35.85	N39°03'20"W	L4	N44°01'18"W	3.33
C5	91°36'18"	25.00	39.97	35.85	N39°03'20"W	C13	9°09'04"	285.00	45.52	45.47	S80°16'57"E	L5	N84°51'29"W	1.86
C6	71°4'49"	235.00	29.72	29.70	S47°38'43"E	C14	15°02'16"	285.00	74.80	74.59	S68°11'16"E	L6	N06°44'49"E	20.00
C7	32°07'32"	235.00	131.76	130.04	S67°19'53"E	C15	16°23'03"	285.00	81.50	81.22	S52°28'37"E	L7	N84°51'29"W	30.79



**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
 I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utilities therein, parks and other open spaces to public or private use as noted.  
 SWANSON DEVELOPMENTS, LP  
 Date: \_\_\_\_\_  
 Part of Record Book 811, Page 2367  
 Part of Record Book 350, Page 638  
 Deborah S. Kirk, President

**CERTIFICATE OF APPROVAL FOR RECORDING**  
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.  
 Date: \_\_\_\_\_  
 SECRETARY, PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE**  
 I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these Improvements has been posted with the City of Murfreesboro to assure completion of same.  
 Date: \_\_\_\_\_  
 CITY ENGINEER

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY**  
 I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these Improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.  
 Date: \_\_\_\_\_  
 CONSOLIDATED UTILITY DISTRICT OFFICIAL

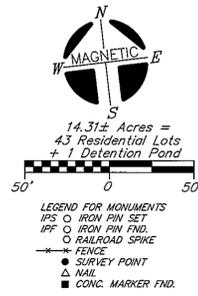
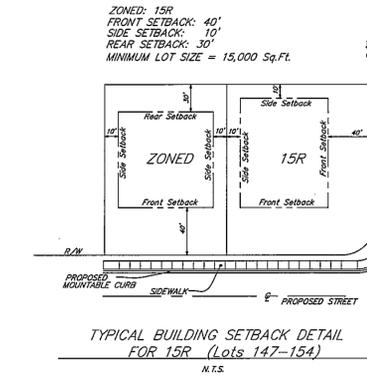
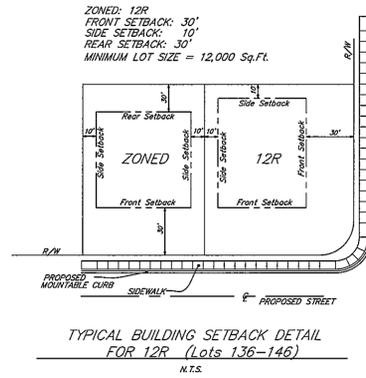
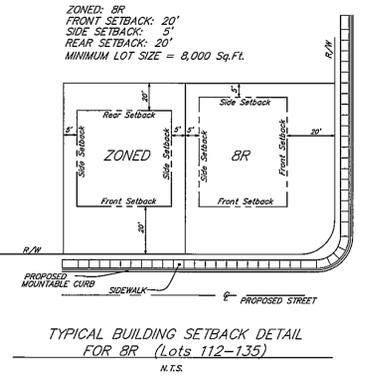
**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**  
 I hereby certify that the subdivision shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the Owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.  
 Date: \_\_\_\_\_  
 MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**  
 I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these Improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.  
 Date: \_\_\_\_\_  
 MURFREESBORO WATER AND SEWER OFFICIAL

Remaining Property of Swanson Developments, LP  
 Part of Record Book 350, Page 638  
 Part of Record Book 811, Page 2367  
 Reserved For Future Development

Sandra Jean Wallman  
 Record Book 156, page 2560  
 Lot 1, Kenneth Robinson Subdivision  
 Plat Book 25, Page 128  
 Zoned: RM (County)

Wm. Kenneth Robinson  
 Record Book 1278, Page 1909  
 Zoned: RM (County)



OWNER: Swanson Developments, LP  
 Attn: Joe Swanson, Jr.  
 ADDRESS: 1188 Park Avenue  
 Murfreesboro, TN 37129  
 Tax Map 100, Part of Parcel 13.00  
 Part of Record Book 811, Page 2367  
 Part of Record Book 350, Page 638

**Richard H. Huddleston, P.E.**  
 REGISTERED PROFESSIONAL ENGINEER  
 AGRICULTURAL MECHANICAL ENGINEERING  
 TENNESSEE NO. 16797-8

**Huddleston-Steele Engineering, Inc.**  
 3115 N.W. Broad Street, Murfreesboro, TN 37129  
 SURVEYING: 893-4084, FAX: 893-0080

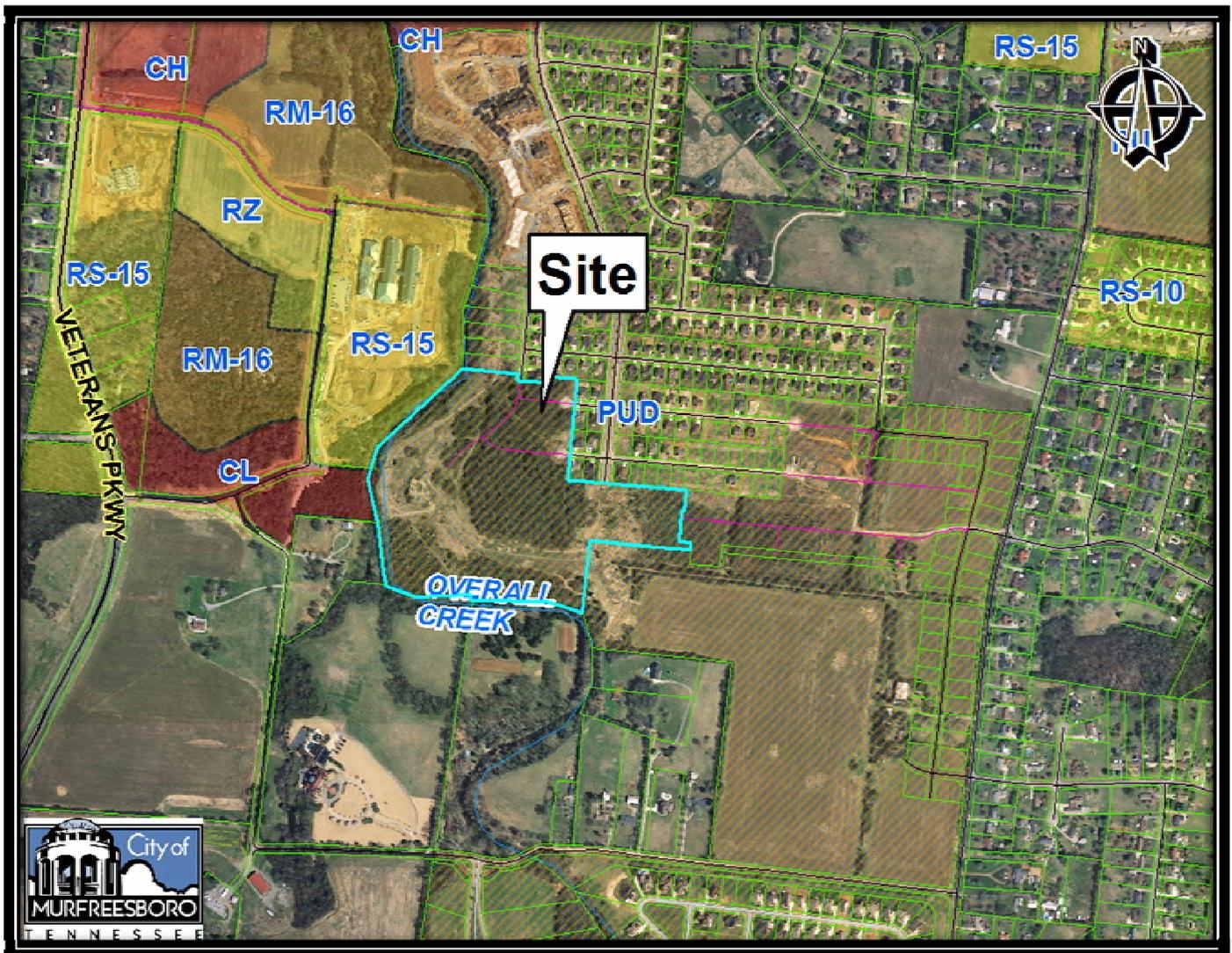
**FINAL PLAT-Section IV**  
**BRIGHTON PARK AT KINGDOM RIDGE**  
 7th & 12th Civil Districts of Rutherford County, Tennessee  
 Date: March, 2016 Scale: 1"=50' Sheet 1 of 1

DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK: \_\_\_\_\_, PAGE: \_\_\_\_\_

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

- 4.i. Kingdom Ridge Section 7 [2016-2042] final plat for 28 lots on 11.3 acres zoned PRD located along Compassion Lane, Swanson Developments LP developer.**

This is the final plat review for Kingdom Ridge Section 7 single family residential subdivision located along Compassion Lane. The property is zoned PRD. These lots are a part of the Kingdom Ridge subdivision and have minimum lot sizes of 8,000 and 12,000 square feet. Each of the proposed lots meets the minimum lot size requirement. The purpose of this plat is to create a 28 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



## **Staff Comments:**

- 1) Show benchmark location on final plat.
- 2) Add street classification for Sapphire Drive on final plat.
- 3) Confirm the building envelope for lot 279 is sufficient.
- 4) Label MBSLs with the building envelopes on the final plat.
- 5) Revise the flood map designation to indicate that some of these lots are indeed in the flood zone.
- 6) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or KNoel@MurfreesboroTN.gov).
- 7) This development is required to comply with the City's Stormwater Quality requirements.
- 8) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 9) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 10) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 11) Add the Notation of possible flooding- "Development or modification of the land by Owners, Developers, or other parties within the floodway delineated on the plat is limited in accordance with the requirements of the National Flood Insurance Program and development within the areas of special flood hazard shall be protected in such a manner that any structure shall be protected against flood damage to at least the regulatory flood elevation of \_\_\_\_\_ or as shown on the table below." (This elevation shall be stated in the notation or in a table if there is more than one applicable elevation on the plat.).
- 12) Add the Notation of no-fill certification- "A "no-fill" certification by a registered engineer licensed by the State of Tennessee will be required prior to the issuance of a certificate of occupancy for any structure constructed upon any lot or lots that extend into a regulatory floodway or area of pooling water".
- 13) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."

14) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

**Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X and AE, outside and inside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format. Send dwg and dgn layers to [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov) with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

**Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

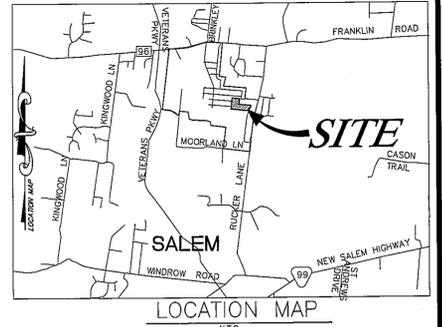
- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 4) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@ cudrc.com](mailto:subdivisions@ cudrc.com).
- 5) MWSD must receive surety prior to signing the plat.

Lot No.	F.E.M.A. 100 Yr Flood Elevation	Min. Pad Elevation (MPE)	Minimum Finished Floor Elev. (FFE)
293	604.8	604.8	605.8
294	604.7	604.7	605.7
295	604.6	604.6	605.6
296	604.5	604.5	605.5
297, 298	604.4	604.4	605.4
299	604.3	604.3	605.3

NOTE: These lots required M.P.E. for drainage purposes. Required Minimum Building Pad Elevations must extend to the right-of-way.)

**PLAT NOTES**

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three or more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. The utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot owners of this construction.
- Water service, domestic and fire protection, are provided by Consolidated Utility District (C.U.D.). The owner/developer should contact C.U.D. for related fees to project which may be substantial. All main waterline taps are to be made by C.U.D. See plans by C.U.D. for Water Line requirements.
- Under the current adopted zoning code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- In accordance with Title Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
- Appropriate street signs must be placed prior to the release of building permits by the Planning and Engineering Department.
- Construction Plans will be subject to review and approval by the City Engineer and Murfreesboro Water and Sewer Department.
- Final approval subject to approval of construction drawings and hydraulic calculations by M.W.S.D.
- Property is within the Overall Creek Assessment District.
- All builders must first receive approval from the Planning Staff prior to the issuance of each building permit in order to ensure compliance with the architectural requirements of the approved PUD.
- Per the City of Murfreesboro, sidewalks indicated along the front of each lot are the responsibility of the builder to construct and those located along the common areas are the responsibility of the owners association to maintain.
- Per the City of Murfreesboro, a mandatory owners association is required as a condition of approval in order to meet obligations established by the Developer. The common areas shown on the subdivision shall be the responsibility of the owners association to maintain.
- Per the City of Murfreesboro, this site contains post-construction best management practices utilized in treating stormwater runoff in order to comply with Murfreesboro City Code. A stormwater maintenance agreement is recorded with this property and obligates all subsequent Owners to adhere to the stormwater maintenance plan on file with the City of Murfreesboro.
- The purpose of this plat is to create 28 Single Family Residential Lots and 1 Common Area Lot.
- Per the City of Murfreesboro, this development is required to comply with the City's Stormwater Quality requirements.
- The required water quality protection area along Overall Creek shall conform to all limitations and restrictions as set forth under Chapter 276 of the Murfreesboro City Code.



**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
 I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utilities therein, parks and other open spaces to public or private use as noted.

SWANSON DEVELOPMENTS, LP  
 Date: \_\_\_\_\_  
 Part of Record Book 811, Page 2367  
 Part of Record Book 350, Page 638  
 Deborah S. Kirk, President

**CERTIFICATE OF APPROVAL FOR RECORDING**  
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date: \_\_\_\_\_  
 SECRETARY, PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE**  
 I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: \_\_\_\_\_  
 CITY ENGINEER

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY**  
 I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.

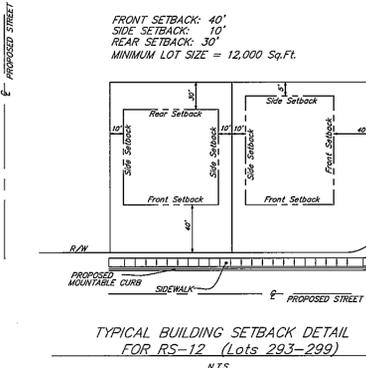
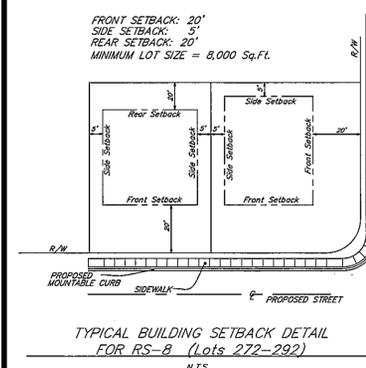
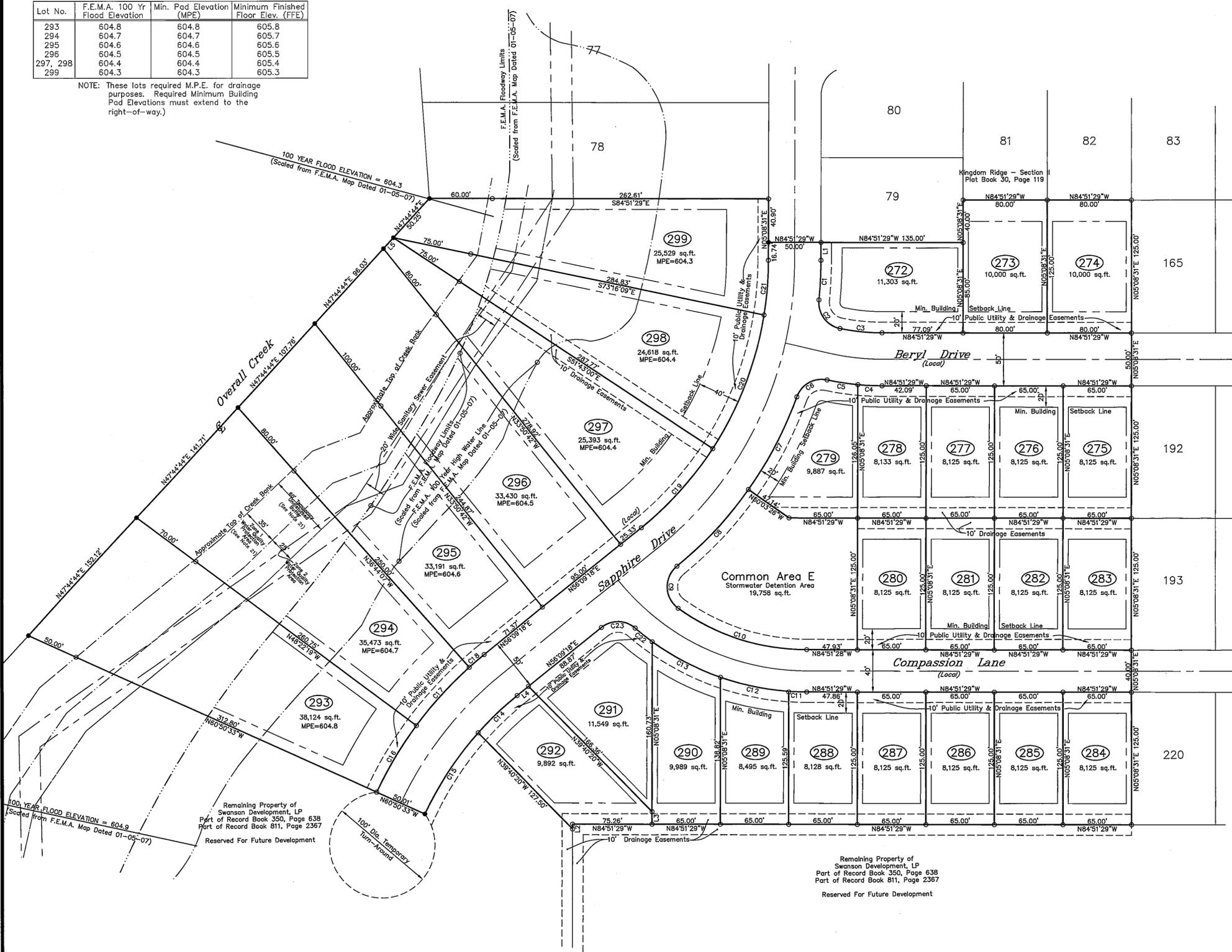
Date: \_\_\_\_\_  
 CONSOLIDATED UTILITY DISTRICT OFFICIAL

**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**  
 I hereby certify that the subdivision shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.

Date: \_\_\_\_\_  
 MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**  
 I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date: \_\_\_\_\_  
 MURFREESBORO WATER AND SEWER OFFICIAL

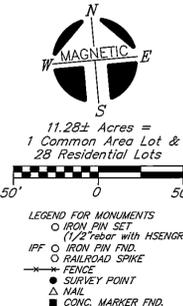


**CURVE TABLE**

CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	54°21'11"	375.00	37.33	37.31	N07°59'37"E
C2	84°12'07"	25.00	36.74	33.52	S31°12'22"E
C3	11°30'04"	200.00	40.15	40.08	S79°06'27"E
C4	51°5'31"	250.00	22.94	22.94	S82°13'43"E
C5	8°44'45"	250.00	29.43	29.42	S76°13'36"E
C6	81°56'14"	25.00	35.75	32.78	S66°10'40"W
C7	15°01'01"	375.00	37.33	37.31	N07°59'37"E
C8	15°18'10"	374.97	37.33	37.31	N08°00'47"E
C9	105°59'54"	25.00	46.25	39.93	S03°09'21"W
C10	35°23'05"	211.00	130.31	128.25	S67°09'56"E
C11	3°54'54"	251.00	17.15	17.15	S82°54'02"E
C12	15°11'11"	251.00	66.53	66.33	S73°20'59"E
C13	16°47'12"	251.00	73.54	73.28	S67°21'48"E
C14	91°2'40"	318.56	51.21	51.16	S51°32'58"W
C15	16°33'36"	318.56	92.07	91.75	S38°59'50"W
C16	11°24'37"	368.56	73.40	73.28	S38°55'22"W
C17	11°38'12"	368.56	74.85	74.73	S47°26'47"W
C18	2°53'26"	368.56	18.59	18.59	S54°42'36"W
C19	17°52'18"	325.00	101.37	100.96	N47°13'09"E
C20	23°59'58"	325.00	136.13	135.14	N26°17'01"E
C21	9°08'31"	325.00	51.86	51.80	N08°42'47"E
C22	44°22'12"	251.00	20.63	20.60	S48°37'05"E
C23	78°54'42"	25.00	34.72	32.00	N84°03'20"W

**LINE TABLE**

LINE	BEARING	LENGTH
L1	N05°08'31"E	16.74
L2	S05°08'31"W	4.55
L3	N05°08'31"E	11.92
L4	N56°09'18"E	13.93
L5	N47°44'44"E	13.89



OWNER: Swanson Developments, LP  
 Attn: Joe Swanson, Jr.  
 ADDRESS: 1188 Park Avenue  
 Murfreesboro, TN 37129

Tax Map 100, Part of Parcel 13.01  
 Part of Record Book 811, Page 2367  
 Part of Record Book 350, Page 638

THESE LOTS ARE NOT LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 47016B, PANEL NO. 0255 H, ZONE X, DATED: 01/05/07.

**CERTIFICATE OF ACCURACY** - I hereby certify that this is a category "Y" survey and that the precision of the unadjusted survey is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors. I also certify that the monuments have been or will be placed as shown hereon to the specifications of the City Engineer.

**RUDDLESTON-STEEL ENGINEERING INC.**  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING : 893 - 4084, FAX: 893 - 0080

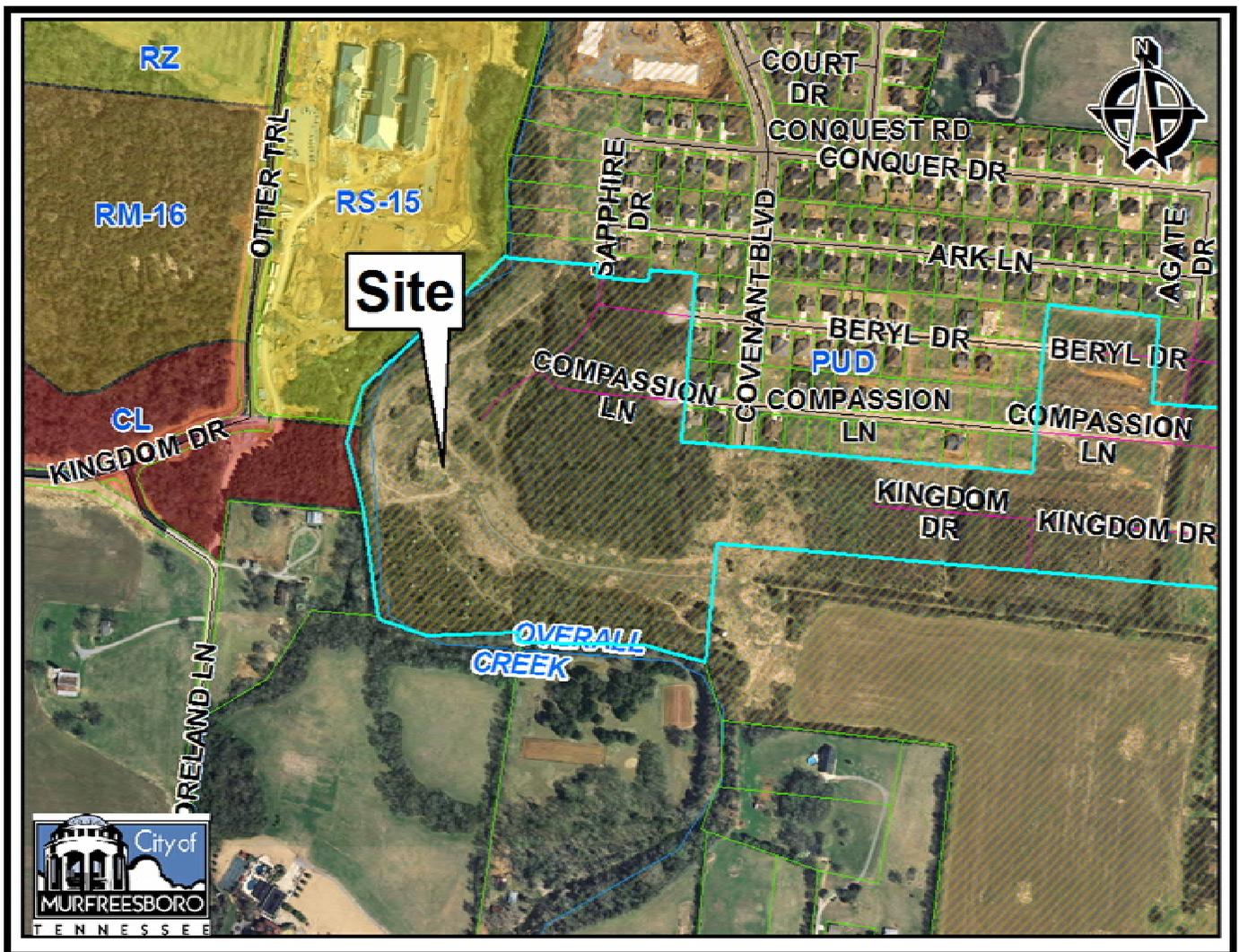
DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK: \_\_\_\_\_, PAGE: \_\_\_\_\_

**FINAL PLAT - Section VII**  
**KINGDOM RIDGE**  
 7th & 12th Civil Districts of Rutherford County, Tennessee  
 Date: March, 2016 Scale: 1"=50' Sheet 1 of 1

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.j. Kingdom Ridge Section 8 [2016-2042] final plat for 27 lots on 20.2 acres zoned PRD located along Sapphire Drive, Swanson Developments LP developer.**

This is the final plat review for Kingdom Ridge Section 8 single family residential subdivision located along Sapphire Drive and Covenant Boulevard. The property is zoned PRD. These lots are a part of the Kingdom Ridge subdivision and have minimum lot sizes of 8,000, 12,000, and 15,000 square feet. Each of the proposed lots meets the minimum lot size requirements. The purpose of this plat is to create a 27 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



## **Staff Comments:**

- 1) Confirm that there is sufficient buildable area and lot depth for lots 315 and 316.
- 2) Label MBSLs with the building envelopes on final plat.
- 3) Lots 302 and 303 shall not be permitted for construction until such time that a bridge crossing Overall Creek and connecting Kingdom Ridge to Overall Creek Elementary School is constructed.
- 4) Revise Note 15 to the following: Sidewalks indicated along the front of each lot are the responsibility of the builder to construct, and those located along the common areas are the responsibility of the developer to construct.
- 5) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or KNoel@MurfreesboroTN.gov).
- 6) This development is required to comply with the City's Stormwater Quality requirements.
- 7) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 8) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 9) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 10) Add the Notation of possible flooding- "Development or modification of the land by Owners, Developers, or other parties within the floodway delineated on the plat is limited in accordance with the requirements of the National Flood Insurance Program and development within the areas of special flood hazard shall be protected in such a manner that any structure shall be protected against flood damage to at least the regulatory flood elevation of \_\_\_\_\_ or as shown on the table below." (This elevation shall be stated in the notation or in a table if there is more than one applicable elevation on the plat.).
- 11) Add the Notation of no-fill certification- "A "no-fill" certification by a registered engineer licensed by the State of Tennessee will be required prior to the issuance of a certificate of occupancy for any structure constructed upon any lot or lots that extend into a regulatory floodway or area of pooling water".
- 12) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."

- 13) Approval of this final plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 14) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X and AE, outside and inside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to [mely@murfreesborotn.gov](mailto:mely@murfreesborotn.gov). Send dwg and dgn layers to [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov) with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service, domestic, fire and/or irrigation, is provided by CUDRC.
- 3) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 4) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@ cudrc.com](mailto:subdivisions@ cudrc.com).
- 5) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 6) MWSD must receive contract and surety prior to signing the plat.

CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	15°25'31"	318.56	83.30	88.02	S39°00'12"W
C2	0°40'43"	318.56	3.77	3.77	S30°43'24"W
C3	15°12'10"	318.56	84.53	84.28	S22°46'57"W
C4	91°03'52"	25.00	39.73	35.68	S30°21'04"E
C5	3°20'58"	675.00	39.46	39.45	S77°33'29"E
C6	1°01'20"	675.00	12.04	12.04	S79°44'38"E
C7	14°34'43"	368.56	93.78	93.53	S22°55'42"W
C8	88°28'40"	25.00	38.61	34.88	N59°52'40"E
C9	8°48'07"	480.00	73.74	73.67	N80°17'03"W
C10	8°48'07"	420.00	64.52	64.46	N80°17'03"W
C11	78°38'37"	25.00	34.31	31.68	N36°33'41"W
C12	15°00'48"	275.00	72.06	71.85	S04°44'46"E
C13	18°54'20"	275.00	90.74	90.33	S21°42'20"E
C14	2°20'47"	275.00	11.26	11.26	S32°19'53"E
C15	5°25'31"	375.00	35.51	35.49	S38°17'02"E
C16	14°03'25"	375.00	92.02	91.79	S45°57'38"E
C17	14°23'25"	375.00	94.18	93.94	S50°11'06"E
C18	14°00'12"	375.00	91.65	91.42	S74°22'54"E
C19	3°28'29"	375.00	22.74	22.74	S83°07'14"E
C20	69°54'28"	25.00	30.50	28.65	N48°54'15"W
C21	18°46'48"	275.00	90.13	89.73	S24°20'24"E
C22	10°17'31"	275.00	49.40	49.33	S38°52'33"E
C23	4°41'23"	725.00	59.34	59.33	S78°13'41"E
C24	105°41'09"	25.00	48.11	39.85	S51°15'28"W
C25	31°56'08"	225.00	125.41	123.79	S17°32'13"E
C26	31°20'45"	325.00	177.80	175.59	S49°10'40"E
C27	16°16'05"	325.00	92.28	91.97	S72°59'05"E
C28	3°44'22"	325.00	21.21	21.21	S82°59'18"E
C29	90°00'00"	25.00	39.27	35.36	N50°08'31"E
C30	101°51'25"	25.00	44.44	38.62	S45°47'12"E
C31	9°37'47"	285.00	49.56	49.50	S89°15'59"W
C32	11°51'25"	235.00	48.63	48.55	S89°12'48"W
C33	104°28'39"	25.00	45.59	39.53	S31°02'46"W
C34	22°49'45"	225.00	89.65	89.06	S32°36'28"E
C35	1°49'17"	285.00	9.06	9.06	N85°46'08"W

Lot No.	F.E.M.A. 100 Yr Flood Elevation	Min. Pad Elevation (MPE)	Minimum Finished Floor Elev. (FFE)
302	604.9	604.9	605.9
303	605.3	605.3	606.3
304	605.9	605.9	606.9
305	606.4	606.4	607.4
306	607.1	607.1	608.1
307	607.9	607.9	608.9
308	608.7	608.7	609.7
309	609.1	609.1	610.1
310	609.4	609.4	610.4
311	609.6	609.6	610.6
312	609.8	609.8	610.8
313	610.1	610.1	611.1
314	610.3	610.3	611.3
315	610.5	610.5	611.5
316	610.7	610.7	611.7

F.E.M.A. Required Elevations

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I hereby certify that the subdivision shown herein has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the Owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.

Date: \_\_\_\_\_  
 MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown herein have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: \_\_\_\_\_  
 CITY ENGINEER

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utilities therein, public and other open spaces to public or private use as noted.

Date: \_\_\_\_\_  
 SWANSON DEVELOPMENTS, LP  
 Deborah S. Kirk, President

CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

I hereby certify that (1) the water lines and appurtenances for the water system of the subdivision shown herein have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.

Date: \_\_\_\_\_  
 CONSOLIDATED UTILITY DISTRICT OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown herein has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

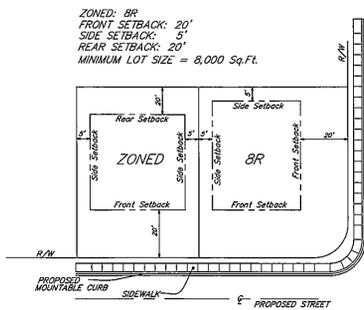
Date: \_\_\_\_\_  
 SECRETARY, PLANNING COMMISSION



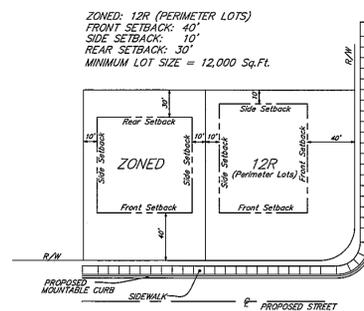
PLAT NOTES

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will carry away surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements shown herein are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conduits, drainage pipes, and natural gas lines. Easements in this subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot owners of this construction.
- Water service, domestic and fire protection, are provided by Consolidated Utility District (C.U.D.). The owner/developer should contact C.U.D. for related fees to project which may be substantial. All main waterline taps are to be made by C.U.D. See plans by C.U.D. for Water Line requirements.
- As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing.
- A Land Disturbance Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing.
- Erosion prevention and sediment control measures are required with an application for a Land Disturbance Permit. This plan will include a temporary sediment basin.
- Appropriate street signs must be placed prior to the release of building permits by the Planning and Engineering Department.
- Construction Plans will be subject to review and approval by the City Engineer and Murfreesboro Water and Sewer Department.
- Water and/or sewer main construction drawings and hydraulics must be submitted to MWS/D for detailed review and approval separate from planning commission review. Final approval subject to approval of construction drawings and hydraulic calculations by MWS/D.
- Property is within the Overall Creek Assessment District.
- All builders must first receive approval from the Planning Staff prior to the issuance of each building permit in order to ensure compliance with the architectural requirements of the approved FUD.
- Sidewalks indicated along the front of subdivision lots will be the responsibility of the future owners (not the developer) of the adjoining lots to construct.
- Per this City of Murfreesboro, this development is required to comply with the City's Stormwater Quality requirements. Prior to any permit submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements and submit a Stormwater Management Record Sheet. Submit an EPSC inspection report prior to signing of final plat. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities and Maintenance and Inspection and Assessment Quality Assurance plan. The control of the EPSC/SWPPP will be required. EPSC plans should be in 3 phases. A temporary sediment basin will be required. Provide design and calculations on EPSC/SWPPP.
- Per the City of Murfreesboro, an Owners Association must be responsible for the maintenance of all common elements including stormwater management areas and landscaped medians.
- Per the City of Murfreesboro, the Final Plat for Kingdom Ridge Section 7 will need to be signed and recorded prior to the recording of Kingdom Ridge Section 8.
- Per the City of Murfreesboro, grading on lots must be complete before release of building permits.
- Per the City of Murfreesboro, geotechnical reports on lots will be required prior to release of building permits.
- Per the City of Murfreesboro, construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations [www.murfreesboro.gov/planning](http://www.murfreesboro.gov/planning) and shall be submitted to the City Engineer's office for review and approval for all subdivision requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- Per the City of Murfreesboro, in accordance with TCA Section 7-59-310(b)(1), Competitive Bids and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
- Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of existing elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- The required water quality protection area along Overall Creek shall conform to all limitations and restrictions as set forth under Chapter 276 of the Murfreesboro City Code.
- Per the City of Murfreesboro, prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- Lots 302 and 303 will not be released for permits until the adjacent roadway (Kingdom Drive) and the associated bridge are constructed.
- Per the City of Murfreesboro, the front half of the homes and associated lot on Lots 302-316 shall be graded to drain to the street so that the storm runoff from the driveway and half of the house can be captured and treated.
- Per the City of Murfreesboro, public infrastructure except final asphalt must be accepted by City prior to placement into warranty period and signing the final plat.
- Per Murfreesboro Water and Sewer Department, proposed sanitary sewer services on existing trunk line for Lot 320 will be by contractor and shall utilize an inside drop bowl.
- Per Murfreesboro Water and Sewer Department, driveways for Lots 311-314 and 320-324 must be on east side of lot.
- Per Murfreesboro Water and Sewer Department, driveways for Lots 317-319 must be on west side of lot.
- Per Murfreesboro Water and Sewer Department, Contractor shall verify the locations of all existing sanitary sewer services to each lot along existing 18" main line. Contractor shall extend services as needed.

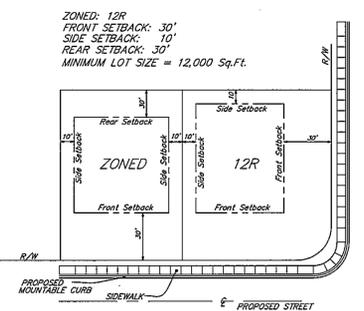
LINE	BEARING	LENGTH
L1	S84°41'07"E	3.46
L2	S84°41'07"E	15.25
L3	N18°29'04"E	10.52
L4	N34°32'50"W	14.44
L5	S87°41'42"W	35.52
L6	N01°15'14"E	34.27
L7	S83°17'08"W	15.70
L8	S83°17'08"W	15.48
L9	N84°51'29"W	5.00
L10	N83°10'42"W	10.30
L11	N09°36'45"W	1.75



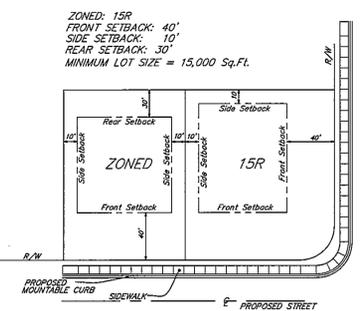
TYPICAL BUILDING SETBACK DETAIL FOR BR (Lots 300+301) N.T.S.



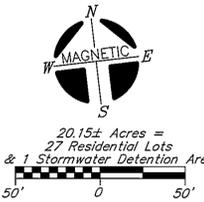
TYPICAL BUILDING SETBACK DETAIL FOR 12R (Lots 302 & 303) N.T.S.



TYPICAL BUILDING SETBACK DETAIL FOR 12R (Lots 317-326) N.T.S.



TYPICAL BUILDING SETBACK DETAIL FOR 15R (Lots 304-316) N.T.S.



OWNER: Swanson Developments, LP  
 Attn: Joe Swanson, Jr.  
 ADDRESS: 1188 Park Avenue  
 Murfreesboro, TN 37129

Tax Map 100, Part of Parcels 13.00 & 13.01  
 Part of Record Book 811, Page 2367  
 Part of Record Book 350, Page 638

A PORTION OF THESE LOTS ARE PARTIALLY LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 470168, PANEL NO. 0255H, ZONE: AE & X, DATED: 01/05/07.

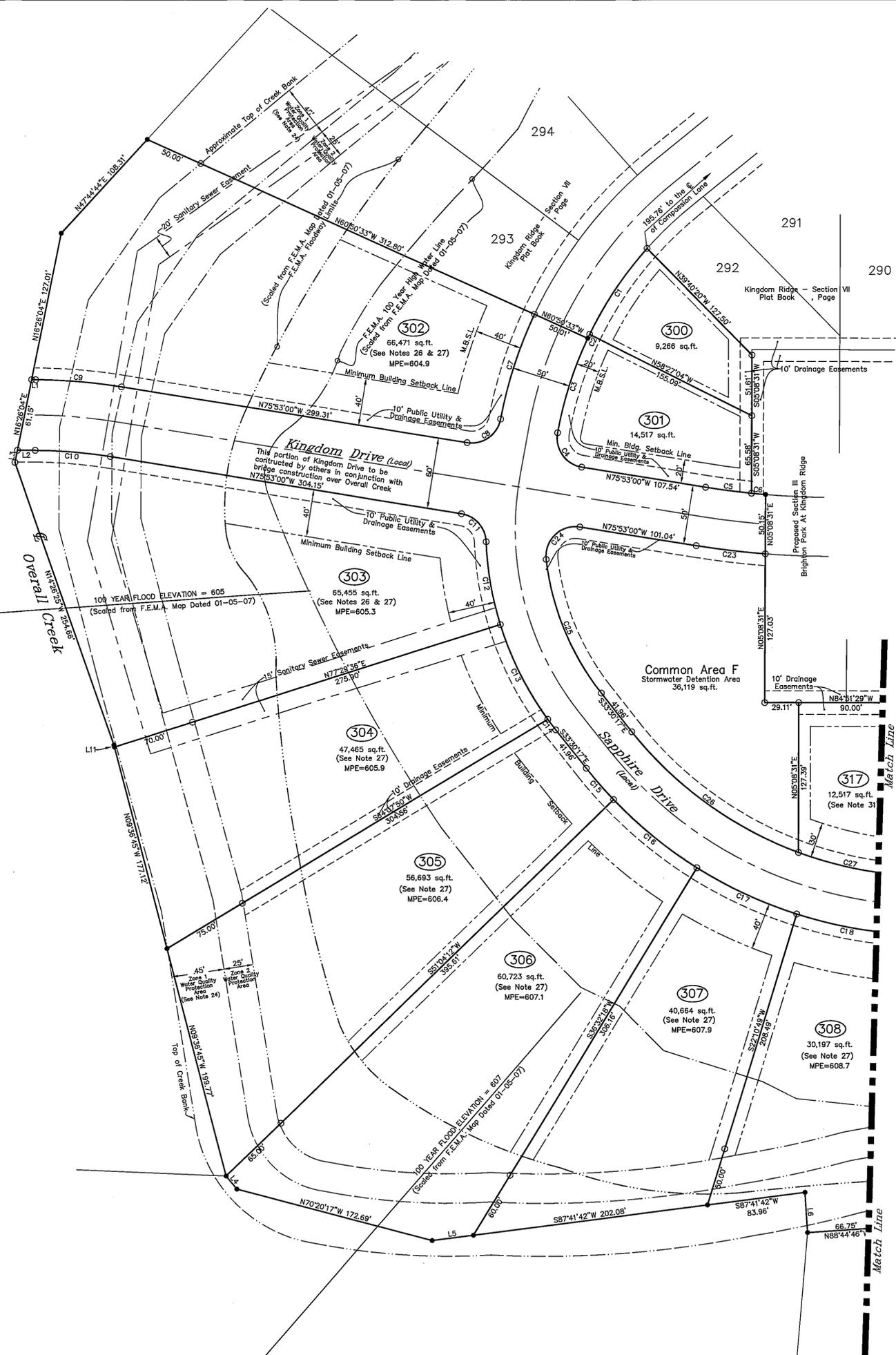
CERTIFICATE OF ACCURACY - I hereby certify that this is a category "1" survey and the ratio of precision of the unadjusted survey is 1:10000 as shown herein and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors. I also certify that the monuments have been or will be placed as shown herein to the specifications of the City Engineer.

Richard H. Steele  
 ENGINEERING, INC.  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING : 893 - 4084, FAX: 893 - 0080

DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK: \_\_\_\_\_, PAGE: \_\_\_\_\_

FINAL PLAT-Section VIII  
**KINGDOM RIDGE**

7th & 12th Civil Districts of Rutherford County, Tennessee  
 Date: March, 2016 Scale: 1"=50' Sheet 1 of 2



**CURVE TABLE**

CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	15°52'53"	318.56	88.30	88.02	S30°00'12"W
C2	0°40'43"	318.56	3.77	3.77	S30°43'24"W
C3	15°12'10"	318.56	84.53	84.28	S22°46'57"W
C4	91°03'52"	25.00	39.73	35.68	S30°21'04"E
C5	3°20'58"	675.00	39.46	39.45	S77°33'29"E
C6	1°01'20"	675.00	12.04	12.04	S79°44'38"E
C7	14°34'43"	368.56	83.78	83.53	S22°55'42"W
C8	89°28'40"	25.00	35.51	35.48	S59°52'40"E
C9	8°48'07"	480.00	73.74	73.67	N80°17'03"W
C10	8°48'07"	420.00	64.52	64.46	N80°17'03"W
C11	78°38'37"	25.00	34.31	31.68	N36°33'41"W
C12	15°00'48"	275.00	72.06	71.85	S04°44'46"E
C13	18°54'20"	275.00	90.74	90.33	S21°42'20"E
C14	2°20'47"	275.00	11.26	11.26	S22°19'53"E
C15	9°25'31"	375.00	35.51	35.48	S36°13'02"E
C16	14°03'35"	375.00	92.02	91.79	S45°57'36"E
C17	14°23'25"	375.00	94.18	93.94	S60°11'08"E
C18	14°00'12"	375.00	91.65	91.42	S74°22'54"E
C19	3°28'29"	375.00	22.74	22.74	S83°07'14"E
C20	69°54'28"	25.00	30.50	28.65	N49°54'15"W
C21	18°46'46"	275.00	80.13	89.73	S24°20'24"E
C22	10°17'31"	275.00	49.40	49.33	S38°52'33"E
C23	4°41'32"	725.00	59.34	59.33	S78°13'41"E
C24	105°41'09"	25.00	46.11	39.85	S51°16'26"W
C25	31°56'08"	225.00	125.41	123.79	S17°32'13"E
C26	31°20'45"	325.00	177.80	175.59	S49°10'40"E
C27	16°16'05"	325.00	92.28	91.97	S72°59'05"E
C28	3°44'22"	325.00	21.21	21.21	S82°59'18"E
C29	9°20'00"	25.00	39.27	35.36	N50°03'31"E
C30	10°51'25"	25.00	44.44	38.82	S45°47'12"E
C31	9°57'47"	285.00	49.56	49.50	S88°15'59"W
C32	11°51'25"	235.00	46.63	46.55	S89°12'48"W
C33	104°28'39"	25.00	45.59	39.53	S31°02'46"W
C34	22°49'45"	225.00	89.65	89.06	S32°36'28"E
C35	1°49'17"	285.00	9.06	9.06	N89°48'08"W

**LINE TABLE**

LINE	BEARING	LENGTH
L1	S84°41'07"E	3.46
L2	S84°41'07"E	15.25
L3	N16°28'04"E	10.52
L4	N34°32'50"W	14.44
L5	S87°41'42"W	35.52
L6	N01°15'14"E	34.27
L7	S83°17'08"W	15.70
L8	S83°17'08"W	15.48
L9	N84°51'29"W	5.00
L10	N83°10'42"W	10.30
L11	N09°36'45"W	1.75

**F.E.M.A. Required Elevations**

Lot No.	F.E.M.A. 100 Yr Flood Elevation	Min. Pad Elevation (MPE)	Minimum Finished Floor Elev. (FFE)
302	604.9	604.9	605.9
303	605.3	605.3	606.3
304	605.9	605.9	606.9
305	606.4	606.4	607.4
306	607.1	607.1	608.1
307	607.9	607.9	608.9
308	608.7	608.7	609.7
309	609.1	609.1	610.1
310	609.4	609.4	610.4
311	609.6	609.6	610.6
312	609.8	609.8	610.8
313	610.1	610.1	611.1
314	610.3	610.3	611.3
315	610.5	610.5	611.5
316	610.7	610.7	611.7



20.15± Acres = 27 Residential Lots & 1 Stormwater Detention Area

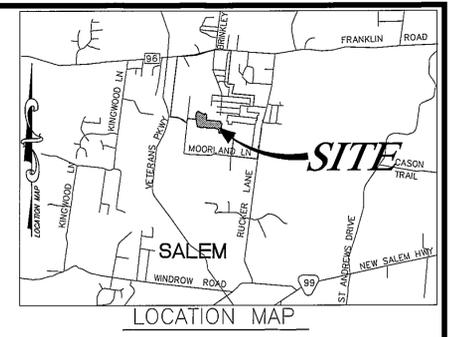
OWNER: Swanson Developments, LP  
 Attn: Joe Swanson, Jr.  
 ADDRESS: 1188 Park Avenue  
 Murfreesboro, TN 37129

Tax Map 100, Part of Parcels 13.00 & 13.01  
 Part of Record Book 811, Page 2367  
 Part of Record Book 350, Page 638

A PORTION OF THESE LOTS ARE PARTIALLY LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 470168, PANEL NO. 02554, ZONE: AE & X, DATED: 01/05/07.

**PLAT NOTES**

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from its structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways including, but not limited to, sanitary sewers, forcemains, water lines, telephone lines, electric conductors, drainage pipes, and natural gas lines. Easements in this subdivision may not have infrastructure constructed within them until some later time and they may be subject to construction with the individual lot owners of this subdivision.
- Water service, domestic and fire protection, are provided by Consolidated Utility District (C.U.D.). The owner/developer should contact C.U.D. for related fees to project which may be substantial. All main waterline taps are to be made by C.U.D. subject to C.U.D. for Water Line requirements.
- As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing.
- A Land Disturbance Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing.
- An erosion prevention and sedimentation plan will be required with an application for a Land Disturbance Permit. This plan will include a temporary sediment basin. Appropriate street signs must be provided prior to the release of building permits by the Planning and Engineering Department.
- Construction Plans will be subject to review and approval by the City Engineer and Murfreesboro Water and Sewer Department.
- Water and/or sewer main construction drawings and hydraulics must be submitted to MWD for detailed review and approval separate from planning commission review. Final approval subject to approval of construction drawings and hydraulic calculations by M.W.S.D.
- Property is within the Overall Creek Assessment District.
- All builders must first receive approval from the Planning Staff prior to the issuance of each building permit in order to ensure compliance with the architectural requirements of the approved subdivision plat to be constructed.
- Sidewalks indicated along the front of subdivision lots will be the responsibility of the future owners (not the developer) in accordance with the Subdivision Regulations and Stormwater Management Ordinance. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement, a Quality Assessment, Quality control of the EPSC/SWPPP will be required. EPSC plans should be in 3 phases. A temporary sediment basin will be required. Provide design and calculations on EPSC/SWPPP.
- Per the City of Murfreesboro, an Owners Association must be responsible for the maintenance of all common elements including stormwater management areas and landscaped medians.
- Per the City of Murfreesboro, the Final Plat for Kingdom Ridge Section 7 will be subject to sign-off and recorded prior to the recording of Kingdom Ridge Section 8.
- Per the City of Murfreesboro, grading on lots must be completed before release of building permits.
- Per the City of Murfreesboro, geotechnical reports on lots with fill will be required prior to release of building permits.
- Per the City of Murfreesboro, construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations [www.murfreesborotn.gov/planning](http://www.murfreesborotn.gov/planning) and shall be submitted to the City Engineer's office for review and approval for all subdivision requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- Per the City of Murfreesboro, in accordance with TCA Section 7-59-310(b)(1), Competitive Bids and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense, in accordance with the City of Murfreesboro Code.
- Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of existing elevation of the manhole for the recording of Kingdom Ridge Section 8. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- The required water quality protection area along Overall Creek shall conform to all limitations and restrictions as set forth under Chapter 27 of the Murfreesboro City Code.
- Per the City of Murfreesboro, prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- Lots 302 and 303 will not be released for permits until the adjacent roadway (Kingdom Drive) and the associated bridge are constructed.
- Per the City of Murfreesboro, the front half of the homes and associated lot on Lots 302-316 shall be graded to drain to the street so that the storm runoff from the driveway and half of the house can be captured and treated.
- Per the City of Murfreesboro, public infrastructure except final asphalt must be accepted by City prior to placement into warranty period and signing the final plat.
- Per Murfreesboro Water and Sewer Department, proposed sanitary sewer services on existing trunk line for Lot 320 will be by contractor and shall utilize an inside drop box.
- Per Murfreesboro Water and Sewer Department, driveways for Lots 311-314 and 320-324 must be on east side of lot.
- Per Murfreesboro Water and Sewer Department, driveways for Lots 317-319 must be on west side of lot.
- Per Murfreesboro Water and Sewer Department, Contractor shall verify the locations of all existing sanitary sewer services to each lot along existing 18" main line. Contractor shall extend services as needed.



**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utilities thereon, parks and other open spaces to public or private use as noted.

SWANSON DEVELOPMENTS, LP  
 Date: \_\_\_\_\_  
 Part of Record Book 811, Page 2367  
 Part of Record Book 350, Page 638  
 Deborah S. Kirk, President

**CERTIFICATE OF APPROVAL FOR RECORDING**

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date: \_\_\_\_\_  
 SECRETARY, PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE**

I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: \_\_\_\_\_  
 CITY ENGINEER

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY**

I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.

Date: \_\_\_\_\_  
 CONSOLIDATED UTILITY DISTRICT OFFICIAL

**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**

I hereby certify that the subdivision shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the Owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.

Date: \_\_\_\_\_  
 MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date: \_\_\_\_\_  
 MURFREESBORO WATER AND SEWER OFFICIAL

**CERTIFICATE OF ACCURACY** - I hereby certify that this is a category 7 survey and the precision of the unadjusted survey is 1:10000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards for Land Surveyors. I also certify that the monuments have been or will be placed as shown hereon to the specifications of the City Engineer.



DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK: \_\_\_\_\_, PAGE: \_\_\_\_\_

**FINAL PLAT - Section VIII**

# KINGDOM RIDGE

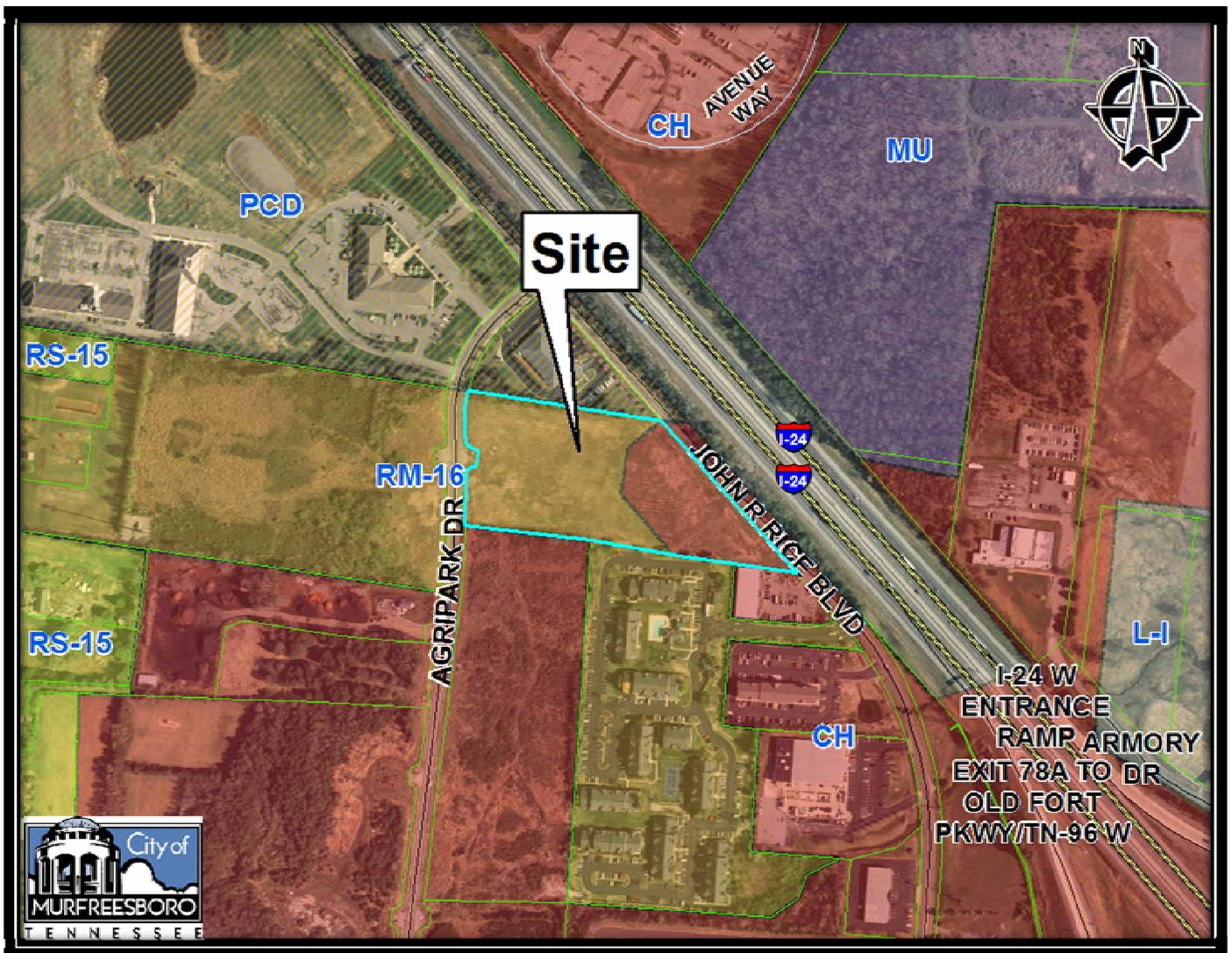
7th & 12th Civil Districts of Rutherford County, Tennessee

Date: March, 2016 Scale: 1"=50' Sheet 2 of 2

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

- 4.k. Beach and Farrer Lots 1 and 2 [2016-2048] final plat for 2 lots on 6.83 acres zoned CH and RM-16 located along John R. Rice Boulevard, Beach and Farrer Properties developer.

This is the final plat review for Beach and Farrer Lots 1 and 2 commercial subdivision located along John R. Rice Boulevard. The property is zoned CH and RM-16. The purpose of this plat is to create a 2 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



### **Staff Comments:**

- 1) Remove the minimum lot size comment under site data for RM-16. The minimum lot size only needs to apply for single family developments.
- 2) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or [KNoel@MurfreesboroTN.gov](mailto:KNoel@MurfreesboroTN.gov)).
- 3) John R Rice Blvd is a substandard street. The developer will participate in the future improvements with dedication of any required Right of Way, Temporary construction easements and slope easements and fees in lieu of construction in an amount to be determined by the city engineer to be paid prior to any permits being issued for the site.
- 4) This development is required to comply with all stormwater quality requirements. Those requirements can be met at the site plan level.
- 5) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 6) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 7) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is affected by the City's Major Thoroughfare Plan, as Agripark Lane is already constructed.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to [mely@murfreesborotn.gov](mailto:mely@murfreesborotn.gov). Send dwg and dgn layers to [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov) with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@cudrc.com](mailto:subdivisions@ cudrc.com).
- 4) The developer is financially responsible for providing water and sewer service to each lot.

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE \_\_\_\_\_ ARADVAN AFRAKTEH, CHIEF MANAGER  
RECORD BOOK 1285, PAGE 3820 STAR LAND COMPANY, LLC  
A TENNESSEE LIMITED LIABILITY COMPANY

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC, INC. \_\_\_\_\_  
DATE \_\_\_\_\_ REGISTERED SURVEYOR

TENN. R.L.S. No. \_\_\_\_\_

**CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE**

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CITY ENGINEER

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS**

CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION  
I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CONSOLIDATED UTILITY DISTRICT  
OF RUTHERFORD COUNTY OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE \_\_\_\_\_ MURFREESBORO WATER AND SEWER OFFICIAL

**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE \_\_\_\_\_ MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

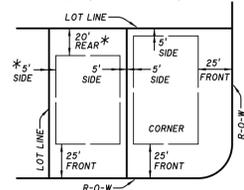
DATE \_\_\_\_\_ PLANNING COMMISSION SECRETARY

**\* REQUIRED MINIMUM BUILDING PAD & MINIMUM FINISHED FLOOR ELEVATION**

LOT NOS.	MIN. BLDG. PAD ELEV.	MIN. FIN. FLOOR ELEV.	REASON
456-460	628.0	629.0	LOCAL DRAINAGE
449-451	629.0	630.0	LOCAL DRAINAGE
441-448, 452, 453	630.0	631.0	LOCAL DRAINAGE

LOTS SHOWN IN THE TABLE ABOVE ARE NOT WITHIN A F.E.M.A. 100 YEAR FLOOD HAZARD AREA. MINIMUM BUILDING PADS & FLOOR ELEVATIONS HAVE BEEN ESTABLISHED TO PROTECT THE HOMEOWNER FROM POSSIBLE HIGH WATER IN NEARBY LOCAL DRAINAGE SYSTEMS.

\* SIDE OR REAR SETBACK ABUTTING AN ALLEY (PRIVATE ROADWAY) IS 10 FT.



**TYPICAL MINIMUM BUILDING SETBACKS FOR THIS SECTION OF P.R.D.**  
N.T.S.

**LEGEND**

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)

DATE OF RECORDING: \_\_\_\_\_  
TIME OF RECORDING: \_\_\_\_\_  
PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

**CURVE DATA**

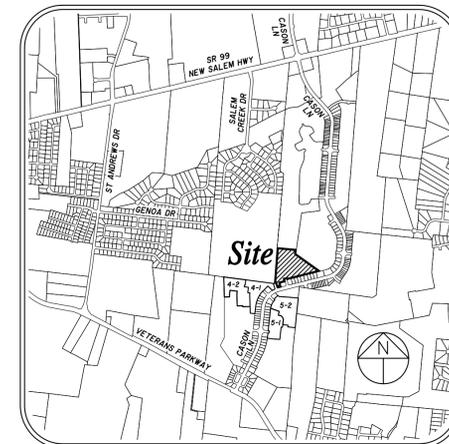
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	0°55'00"	510.00'	8.16'	4.08'	8.16'	S75°43'12"W
C2	85°08'30"	20.00'	29.72'	18.37'	27.06'	N62°10'03"W
C3	7°26'49"	275.00'	35.74'	17.90'	35.72'	N23°19'58"W
C4	18°35'14"	520.00'	168.69'	85.09'	167.95'	N04°31'41"W
C5	246°25'19"	50.00'	215.04'	76.38'	83.67'	S52°31'25"E
C6	66°25'19"	50.00'	57.96'	32.73'	54.77'	S37°58'35"W
C7	18°35'14"	480.00'	155.72'	78.55'	155.03'	S04°31'41"E
C8	92°00'00"	25.00'	39.27'	25.00'	35.36'	S58°49'18"E
C9	29°01'16"	230.00'	116.50'	59.53'	115.26'	N61°40'04"E
C10	75°36'55"	50.00'	65.99'	38.79'	61.30'	N09°20'59"E
C11	244°09'38"	50.00'	213.07'	79.77'	84.73'	S86°22'40"E
C12	40°28'33"	270.00'	190.74'	99.54'	186.80'	S55°56'25"W
C13	98°02'23"	25.00'	40.16'	25.91'	35.98'	S30°09'50"W

**LINE DATA**

LINE	BEARING	DISTANCE
L1	N13°49'18"W	20.00'
L2	S04°45'56"W	28.65'
L3	S13°49'18"E	10.00'
L4	S13°49'18"E	10.00'

**LOT AREAS**

LOT	SQ. FT.	ACRES
439	8,404	0.193
440	8,525	0.196
441	8,695	0.200
442	8,750	0.201
443	9,388	0.216
444	10,081	0.231
445	9,323	0.214
446	8,406	0.193
447	10,871	0.250
448	19,519	0.448
449	23,485	0.539
450	25,157	0.578
451	16,318	0.375
452	10,960	0.252
453	13,077	0.300
454	17,040	0.391
455	15,697	0.360
456	22,151	0.509
457	22,918	0.526
458	10,642	0.244
459	10,269	0.236
460	12,551	0.288
461	11,405	0.262
462	12,499	0.287



**LOCATION MAP**  
N.T.S.

**GENERAL NOTES**

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 24 SINGLE FAMILY LOTS, 2 COMMON AREA LOTS FOR USE AS STORMWATER MANAGEMENT AREAS, AND 1 COMMON AREA LOT FOR USE AS A DRAINAGE EASEMENT AND PRIVATE DRIVE.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT UG02-484 (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 4748C0285H, EFFECTIVE DATE 11/15/2007.
- ANY MINIMUM FINISHED FLOOR ELEVATION (MIN. FFE) SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE. PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTY IS ZONED PRD. MINIMUM BUILDING SETBACKS FOR THIS SITE ARE: FRONT = 25 FT. / SIDE = 5 FT. / REAR = 20 FT. SIDE OR REAR ABUTTING ALLEY = 10 FT. CORNER LOTS HAVE 2 FRONTS AND 2 SIDES.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER TO THE STREET OR TO OTHER QUALIFIED PERSONS AS HE DEEMS APPROPRIATE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
- ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
- THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THEREFORE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
- ALL COMMON AREAS IN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN.
- A HOMEOWNERS ASSOCIATION WAS CREATED IN R.B.K. 592, PG. 1029, AND THE LATEST DECLARATION OF COVENANTS & RESTRICTIONS AMENDED IN R.B.K. 1283, PG. 3026.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THIS SECTION OF THE THREE RIVERS P.R.D. IS PART OF "THE VILLAGES OF THREE RIVERS".
- THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN REDUCING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ADHERE TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.
- THIS PROPERTY IS WITHIN THE SALEM/BARFIELD AND THREE RIVERS ASSESSMENT DISTRICTS.
- DRIVEWAY SHOWN ON LOT 462 IS AN APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY THE CITY TRAFFIC ENGINEER.

**FINAL PLAT**

**Section 6  
Three Rivers  
SUBDIVISION**

CITY OF MURFREESBORO, TENNESSEE  
12th CIVIL DISTRICT OF RUTHERFORD COUNTY

**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE  
WWW.SEC-CIVIL.COM

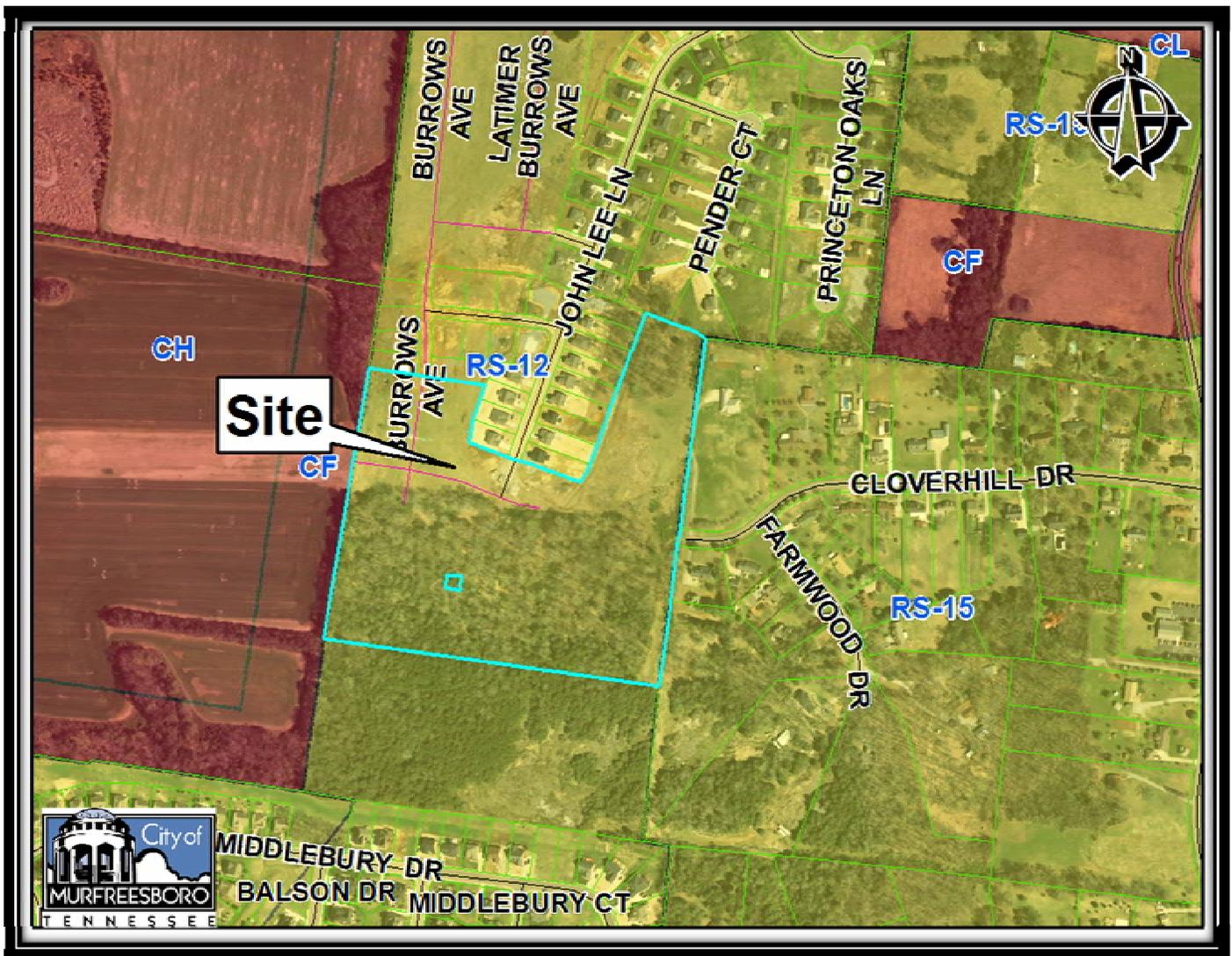
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 07106 DATE: 3-24-16 FILE: ThreeRiversSec6Plat DRAWN BY: ACAD/JWG SCALE: 1" = 50' SHEET 1 OF 1

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

- 4.I. Blackman Meadows Section 3 [2016-2049] final plat for 6 lots on 6.3 acres zoned RS-12 located along Cloverhill Drive and John Lee Lane, Robert and Sherrill Latimer developer.**

This is the final plat review for Blackman Meadows Section 3 single family residential subdivision located along Cloverhill Drive. The property is zoned RS-12. These lots are a part of the Blackman Meadows subdivision and have a minimum lot size of 12,000 square feet. Each of the proposed lots meets the minimum lot size requirement. The purpose of this plat is to create a 6 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



### **Staff Comments:**

- 1) Add common area to lot area table on the final plat.
- 2) Label MBSLs with the building envelopes on the final plat.
- 3) Show benchmark location on final plat.
- 4) Blackman Meadows Section 3 must be recorded prior to or simultaneously with Blackman Meadows Section 4.
- 5) Add the following note: Sidewalks indicated along the front of each lot are the responsibility of the builder to construct, and those located along the common areas are the responsibility of the developer to construct.
- 6) This development is required to comply with the City's Stormwater Quality requirements.
- 7) Approval of this final plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 8) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format. Send dwg and dgn layers to [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov) with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@ cudrc.com](mailto:subdivisions@ cudrc.com).

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE \_\_\_\_\_  
 RECORD BOOK 1453, PAGE 2948  
 ROBERT L. LATIMER, CHIEF MANAGER  
 BLACKMAN MEADOWS VENTURE, LLC  
 A TENNESSEE LIMITED LIABILITY COMPANY

HOMEOWNERS ASSOCIATION RECORDED IN R.B.K. 1245, PG. 3182, AND AMENDED IN R.B.K. 1355, PG. 1382

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. INC. \_\_\_\_\_  
 DATE \_\_\_\_\_ REGISTERED SURVEYOR

TENN. P.L.S. No. \_\_\_\_\_

**CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE**

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CITY ENGINEER

**CERTIFICATE FOR APPROVAL OF WATER SYSTEMS**

CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CONSOLIDATED UTILITY DISTRICT  
 OF RUTHERFORD COUNTY OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE \_\_\_\_\_ MURFREESBORO WATER AND SEWER OFFICIAL

**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**

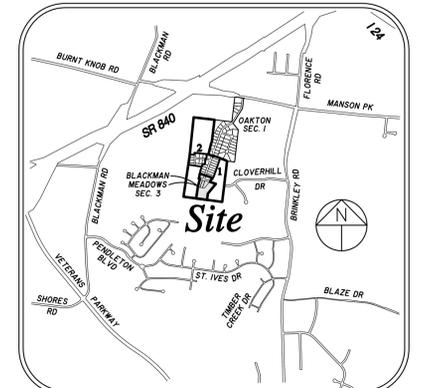
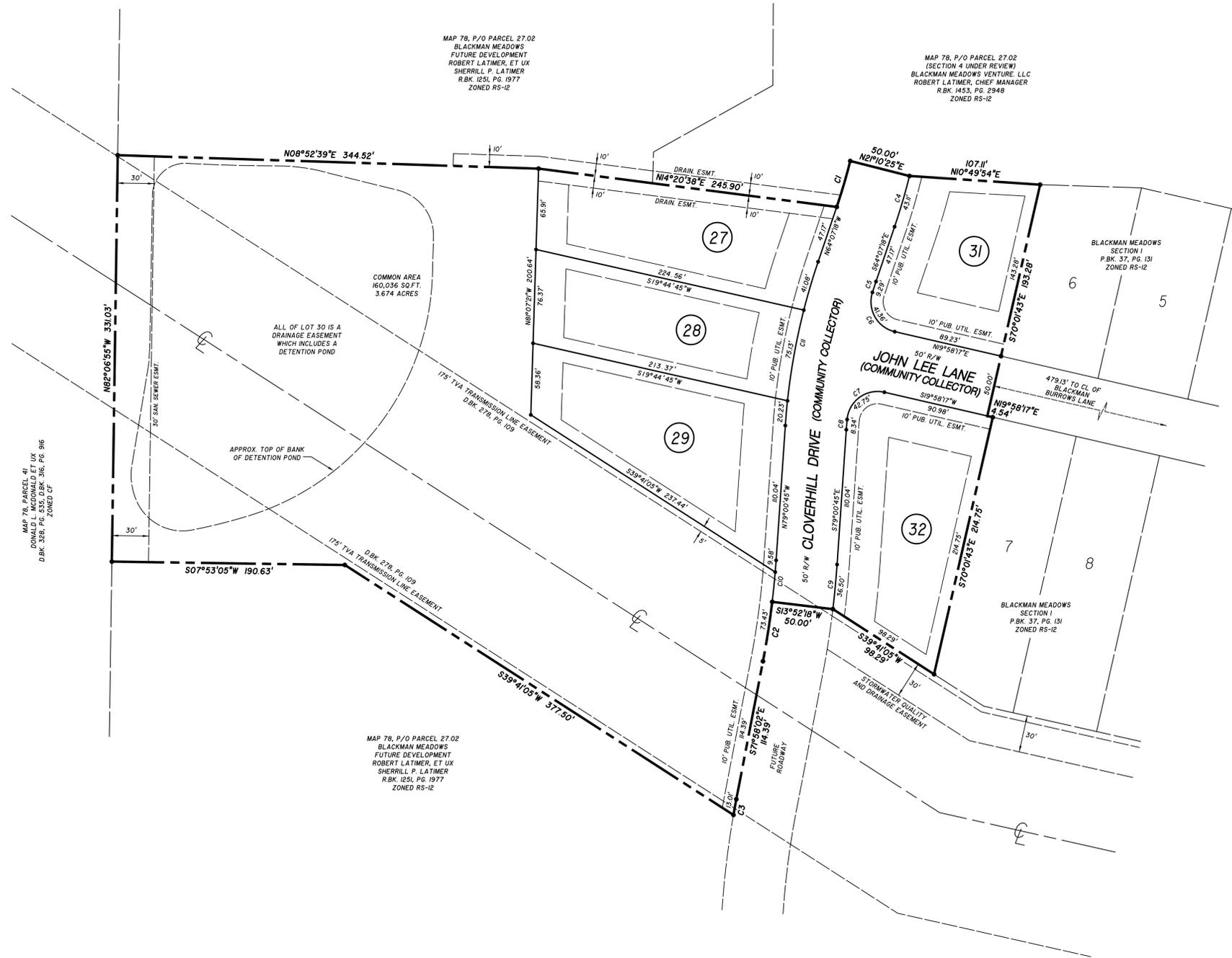
I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE \_\_\_\_\_ MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE \_\_\_\_\_ PLANNING COMMISSION SECRETARY



LOCATION MAP  
N.T.S.

**GENERAL NOTES**

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 5 SINGLE FAMILY LOTS, AND 1 COMMON AREA LOT FOR USE AS STORMWATER MANAGEMENT.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT UGB02-187 (IAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON FEMA FIRM MAP NO. 47149C0255 H, EFFECTIVE DATE JANUARY 5, 2007.
- THIS PROPERTY IS WITHIN THE OVERALL CREEK SANITARY SEWER ASSESSMENT DISTRICT.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTY IS ZONED RS-12. MINIMUM BUILDING SETBACKS FOR THIS PROPERTY ARE AS FOLLOWS:  
 FRONT = 35' / SIDE = 10' / REAR = 25'  
 CORNER LOTS HAVE 2 FRONTS AND 2 SIDES.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES, C.I.D. WATER, AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
- ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
- THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THIS SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
- ANY COMMON AREAS IN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN TREATING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ADHERE TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.

DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

**FINAL PLAT**

**Section 3  
 Blackman Meadows  
 SUBDIVISION**

CITY OF MURFREESBORO, TENNESSEE  
 7th CIVIL DISTRICT OF RUTHERFORD COUNTY

**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
 ENGINEERING • SURVEYING • LAND PLANNING  
 LANDSCAPE ARCHITECTURE  
 WWW.SEC-CIVIL.COM 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
 PHONE (615) 890-7901 • FAX (615) 895-2567

**OWNER/DEVELOPER:**  
 BLACKMAN MEADOWS VENTURE, LLC  
 ROBERT LATIMER, CHIEF MANAGER  
 5312 WEST TRIMBLE ROAD  
 MILTON, TN 37180-4307

**DEED REFERENCE:**  
 PROPERTY MAP 78, P/O PARCEL 27.02  
 RECORD BOOK 1453, PG. 2948, R.O.R.C.

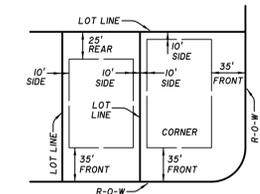
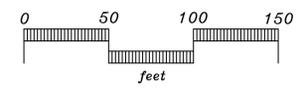
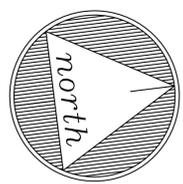
**SITE DATA:**  
 TOTAL AREA SECTION 3 = 6.302 ACRES  
 NO. OF SINGLE FAMILY LOTS = 5  
 AREA IN RIGHT-OF-WAY = 0.557 ACRES  
 AREA IN 1 COMMON AREA LOT = 3.674 ACRES  
 ZONING = RS-12  
 MINIMUM LOT SIZE = 12,000 SQ.FT.

**CURVE DATA**

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	4°42'17"	475.00'	39.00'	19.51'	38.99'	N66°28'27"W
C2	4°09'40"	675.00'	49.02'	24.52'	49.01'	S74°02'52"E
C3	1°01'40"	725.00'	13.01'	6.50'	13.01'	S72°28'52"E
C4	4°42'17"	585.00'	45.11'	21.57'	43.10'	S66°28'27"E
C5	1°07'14"	475.00'	9.29'	4.65'	9.29'	S64°40'55"E
C6	94°47'11"	25.00'	41.36'	27.18'	36.80'	N67°21'52"E
C7	97°58'38"	25.00'	42.75'	28.75'	37.73'	S29°01'03"E
C8	1°00'24"	475.00'	8.34'	4.17'	8.34'	S78°30'34"E
C9	2°53'04"	725.00'	36.50'	18.25'	36.49'	S77°34'13"E
C10	2°53'04"	675.00'	33.98'	16.99'	33.98'	N77°34'13"W
C11	14°53'27"	525.00'	136.45'	68.61'	136.06'	N71°34'02"W

**LOT AREAS**

LOT	SQ. FT.	ACRES
27	17,886	0.411
28	16,355	0.375
29	20,684	0.475
31	14,705	0.338
32	20,592	0.473

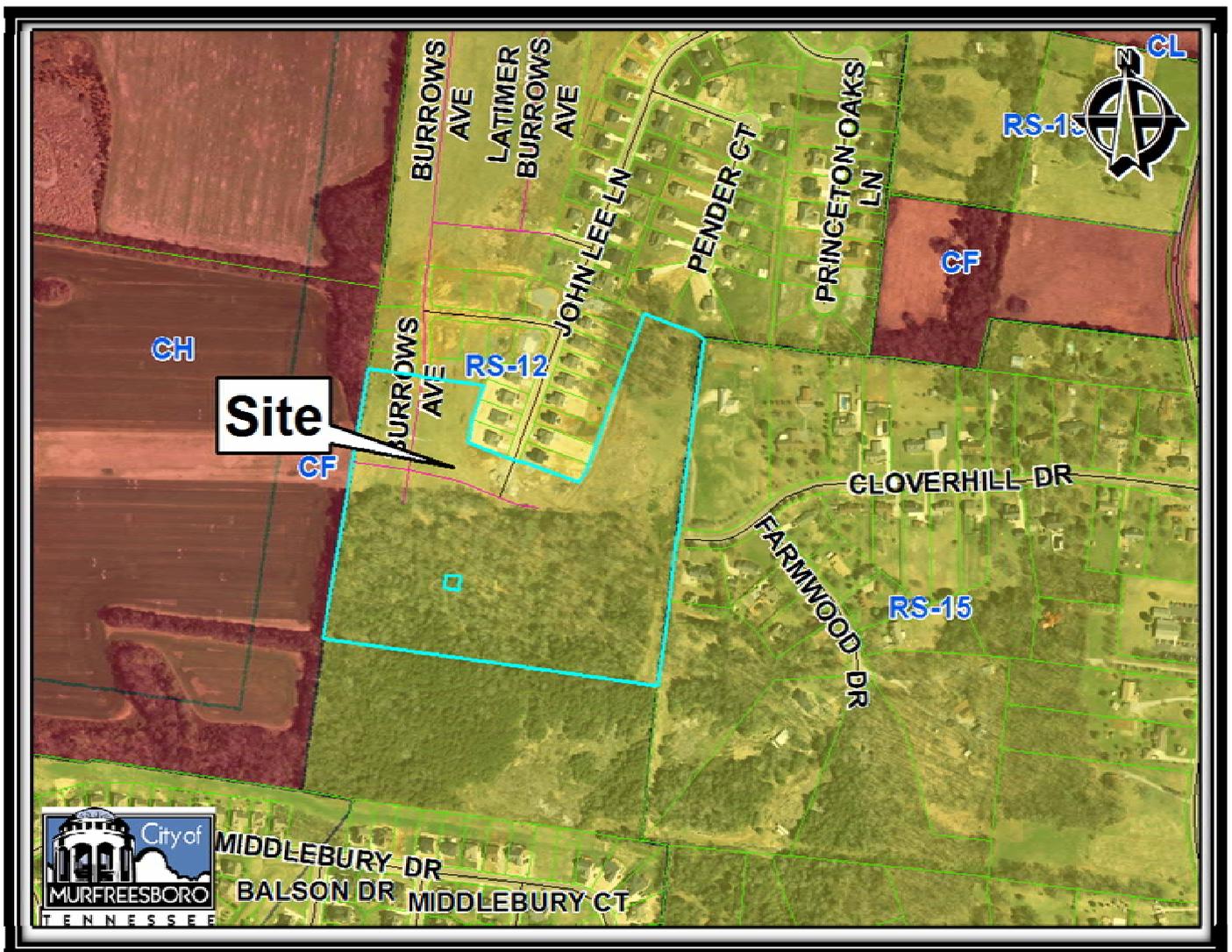


RS-12 MINIMUM BUILDING SETBACKS  
N.T.S.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.m. Blackman Meadows Section 4 [2016-2050] final plat for 10 lots on 4.1 acres zoned RS-12 located along Cloverhill Drive, Robert and Sherrill Latimer developer.**

This is the final plat review for Blackman Meadows Section 4 single family residential subdivision located along Cloverhill Drive and Burrows Ave. The property is zoned RS-12. These lots are a part of the Blackman Meadows subdivision and have a minimum lot size of 12,000 square feet. Each of the proposed lots meets the minimum lot size requirement. The purpose of this plat is to create a 10 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



### **Staff Comments:**

- 1) Confirm that lot 38 is a buildable lot.
- 2) Label MBSLs with the buildable envelopes on the final plat.
- 3) Revise building envelope for lot 36 as a corner lot with two fronts and two sides instead of a rear.
- 4) Blackman Meadows Section 3 must be recorded prior to or simultaneously with Blackman Meadows Section 4.
- 5) Add the following note: Sidewalks indicated along the front of each lot are the responsibility of the builder to construct, and those located along the common areas are the responsibility of the developer to construct.
- 6) This development is required to comply with the City's Stormwater Quality requirements.
- 7) Approval of this final plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 8) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format. Send dwg and dgn layers to [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov) with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.

- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@cudrc.com](mailto:subdivisions@ cudrc.com).

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE \_\_\_\_\_  
 RECORD BOOK 1453, PAGE 2948  
 ROBERT L. LATIMER, CHIEF MANAGER  
 BLACKMAN MEADOWS VENTURE, LLC  
 A TENNESSEE LIMITED LIABILITY COMPANY

HOMEOWNERS ASSOCIATION RECORDED IN R.B.K. 1245, PG. 3182, AND AMENDED IN R.B.K. 1355, PG. 1382.

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

DATE \_\_\_\_\_ REGISTERED SURVEYOR  
 TENN. R.L.S. No. \_\_\_\_\_

**CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE**

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CITY ENGINEER

**CERTIFICATE FOR APPROVAL OF WATER SYSTEMS**

CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION  
 I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CONSOLIDATED UTILITY DISTRICT  
 OF RUTHERFORD COUNTY OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE \_\_\_\_\_ MURFREESBORO WATER AND SEWER OFFICIAL

**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

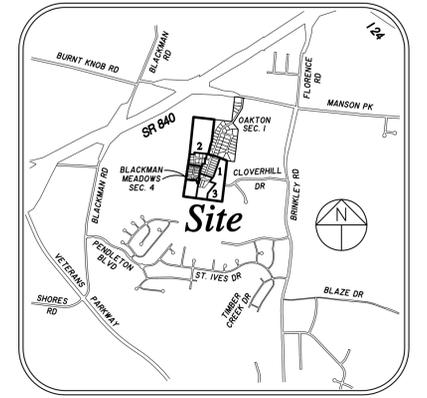
DATE \_\_\_\_\_ MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

**CERTIFICATE OF APPROVAL FOR RECORDING**

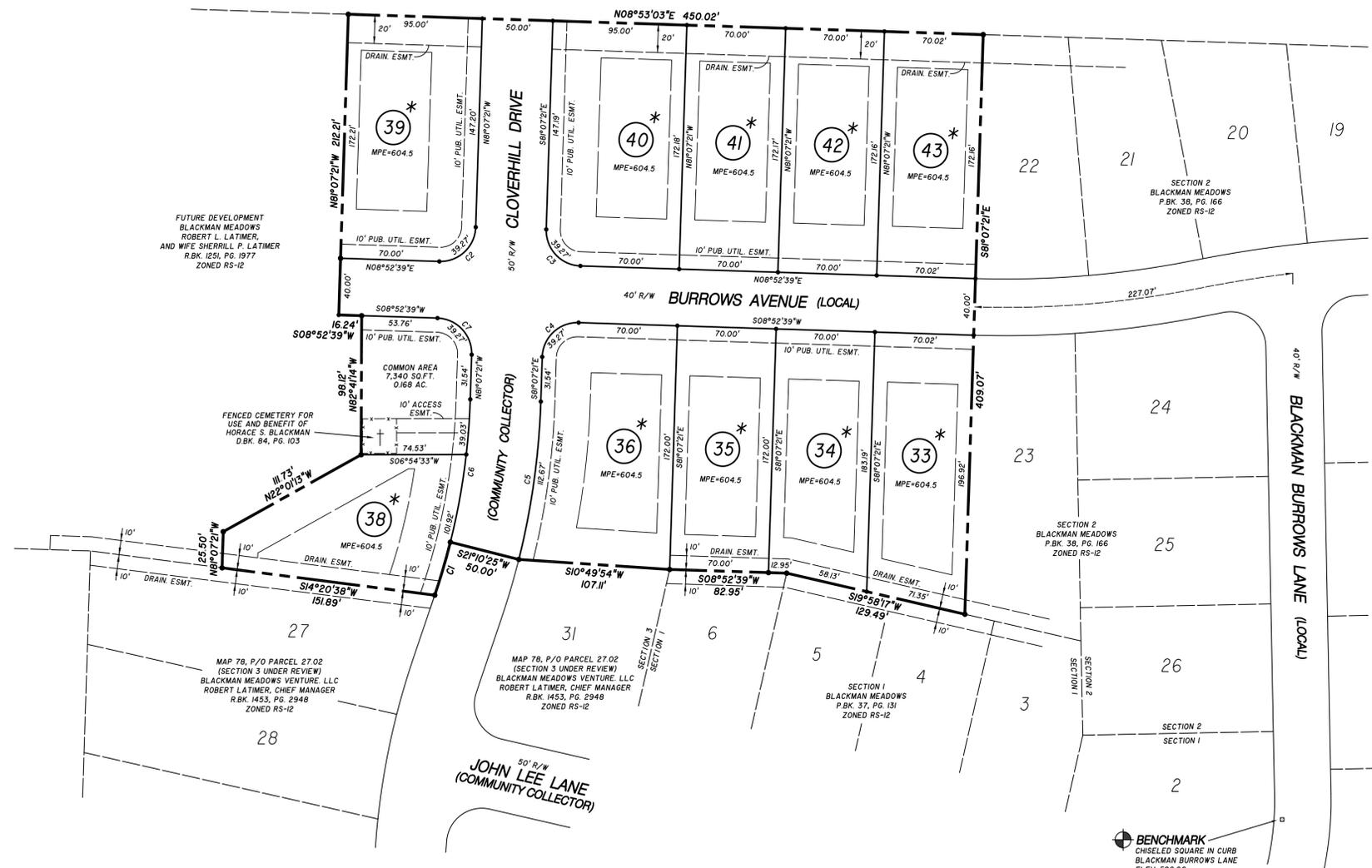
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE \_\_\_\_\_ PLANNING COMMISSION SECRETARY

MAP 78, PARCEL 41  
 DONALD L. McDONALD, ET UX  
 D.B.K. 328, PG. 535, D.B.K. 316, PG. 916  
 ZONED CF



LOCATION MAP  
 N.T.S.

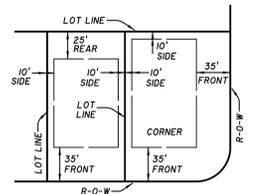


**GENERAL NOTES**

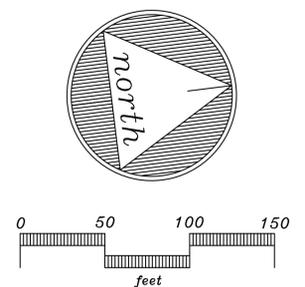
- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 10 SINGLE FAMILY LOTS AND 1 COMMON AREA LOT WITH A FENCED IN CEMETERY AREA.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT UG802-187 (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON FEMA FIRM MAP NO. 47145C0255 H, EFFECTIVE DATE JANUARY 5, 2007.
- THIS PROPERTY IS WITHIN THE OVERALL CREEK SANITARY SEWER ASSESSMENT DISTRICT.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTY IS ZONED RS-12. MINIMUM BUILDING SETBACKS FOR THIS PROPERTY ARE AS FOLLOWS:  
 FRONT = 35' / SIDE = 10' / REAR = 25'  
 CORNER LOTS HAVE 2 FRONTS AND 2 SIDES.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUYER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES, C.I.D. WATER, AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
- ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
- THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
- ANY COMMON AREAS IN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN TREATING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ADHERE TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.

**LEGEND**

- IRON PIN (FOUND)
- IRON PIN SET (NEW)



RS-12 MINIMUM BUILDING SETBACKS  
 N.T.S.



**CURVE DATA**

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	44°42'17"	475.00'	39.00'	19.51'	38.99'	S86°28'27"E
C2	90°00'00"	25.00'	39.27'	25.00'	35.36'	N36°07'21"W
C3	90°00'00"	25.00'	39.27'	25.00'	35.36'	N53°52'39"E
C4	90°00'00"	25.00'	39.27'	25.00'	35.36'	S36°07'21"E
C5	12°17'46"	925.00'	112.67'	96.55'	112.45'	S74°58'28"E
C6	12°17'46"	475.00'	101.94'	51.17'	101.74'	N74°58'28"W
C7	90°00'00"	25.00'	39.27'	25.00'	35.36'	S53°52'39"W

**\* MINIMUM PAD ELEVATION REQUIRED**

LOT NO.	MIN. BLDG. PAD ELEV.	REASON
33	604.5	SEWER
34	604.5	SEWER
35	604.5	SEWER
36	604.5	SEWER
38	604.5	SEWER
39	604.5	SEWER
40	604.5	SEWER
41	604.5	SEWER
42	604.5	SEWER
43	604.5	SEWER

NOTE: THESE LOTS ARE NOT IN A 100 YEAR F.E.M.A. FLOOD HAZARD AREA. MINIMUM PAD ELEVATIONS HAVE BEEN ESTABLISHED TO ENABLE THE STRUCTURE TO WORK WITH THE SANITARY SEWER DESIGN.

**LOT AREAS**

LOT	SQ. FT.	ACRES
33	13,307	0.305
34	12,359	0.284
35	12,040	0.276
36	16,501	0.379
38	12,062	0.277
39	16,225	0.372
40	16,224	0.372
41	12,052	0.277
42	12,052	0.277
43	12,054	0.277

**OWNER/DEVELOPER:**  
 BLACKMAN MEADOWS VENTURE, LLC  
 ROBERT LATIMER, CHIEF MANAGER  
 5312 WEST TRIMBLE ROAD  
 MILTON, TN 3718-4307

**DEED REFERENCE:**  
 PROPERTY MAP 78, P/O PARCEL 27.02  
 RECORD BOOK 1453, PG. 2948, R.O.R.C.

**SITE DATA:**  
 TOTAL AREA SECTION 4 = 4.073 ACRES  
 NO. OF SINGLE FAMILY LOTS = 10  
 AREA IN RIGHT-OF-WAY = 0.811 ACRES  
 AREA IN 1 COMMON AREA LOT = 0.168 ACRES  
 ZONING = RS-12  
 MINIMUM LOT SIZE = 12,000 SQ.FT.

**FINAL PLAT**

**Section 4  
 Blackman Meadows  
 SUBDIVISION**

CITY OF MURFREESBORO, TENNESSEE  
 7th CIVIL DISTRICT OF RUTHERFORD COUNTY

**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
 ENGINEERING • SURVEYING • LAND PLANNING  
 LANDSCAPE ARCHITECTURE  
 WWW.SEC-CIVIL.COM  
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
 PHONE (615) 890-7901 • FAX (615) 895-2567

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.n. Three Rivers Section 6 [2016-2051] final plat for 24 lots on 11.23 acres zoned PRD located along Cason Lane, Starland Company developer.**

This is the final plat review for Three Rivers Section 6 single-family residential subdivision located along Cason Lane and Pepper Branch Drive. The property is zoned PRD. These lots are a part of the Three Rivers subdivision and have a minimum lot size of 8,400 square feet. Each of the proposed lots meets the minimum lot size requirement. The purpose of this plat is to create a 24 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



### **Staff Comments:**

- 1) Label the MBSLs with the building envelopes on the final plat.
- 2) Revise the number of common areas to 2 on the final plat.
- 3) Revise the minimum lot size for this area of the PRD development to 8,400sqft on the final plat.
- 4) Place a note on the final plat that 50% of all homes in this area will need to have side loaded garages.
- 5) Add the following note: Sidewalks indicated along the front of each lot are the responsibility of the builder to construct, and those located along the common areas are the responsibility of the developer to construct.
- 6) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or KNoel@MurfreesboroTN.gov).
- 7) Remove all constructed elements including pavement, and curbing from the final plat.
- 8) Asterisk is missing on lot 441 for the required minimum building pad and finished floor elevation.
- 9) This development is required to comply with the City's Stormwater Quality requirements.
- 10) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 11) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 12) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 13) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.

- 3) Send a copy of the entire set of staff-approved plans in pdf format to [mely@murfreesborotn.gov](mailto:mely@murfreesborotn.gov). Send dwg and dgn layers to [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov) with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

**Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 4) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@ cudrc.com](mailto:subdivisions@ cudrc.com).
- 5) MWSD must receive surety prior to signing the plat.

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE \_\_\_\_\_ ARADVAN AFRAKTEH, CHIEF MANAGER  
RECORD BOOK 1285, PAGE 3820 STAR LAND COMPANY, LLC  
A TENNESSEE LIMITED LIABILITY COMPANY

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC, INC. \_\_\_\_\_  
DATE \_\_\_\_\_ REGISTERED SURVEYOR

TENN R.L.S. No. \_\_\_\_\_

**CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE**

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CITY ENGINEER

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS**

CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION  
I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CONSOLIDATED UTILITY DISTRICT  
OF RUTHERFORD COUNTY OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE \_\_\_\_\_ MURFREESBORO WATER AND SEWER OFFICIAL

**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE \_\_\_\_\_ MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

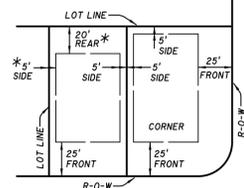
DATE \_\_\_\_\_ PLANNING COMMISSION SECRETARY

**\* REQUIRED MINIMUM BUILDING PAD & MINIMUM FINISHED FLOOR ELEVATION**

LOT NOS.	MIN. BLDG. PAD ELEV.	MIN. FIN. FLOOR ELEV.	REASON
456-460	628.0	629.0	LOCAL DRAINAGE
449-451	629.0	630.0	LOCAL DRAINAGE
441-448, 452, 453	630.0	631.0	LOCAL DRAINAGE

LOTS SHOWN IN THE TABLE ABOVE ARE NOT WITHIN A F.E.M.A. 100 YEAR FLOOD HAZARD AREA. MINIMUM BUILDING PADS & FLOOR ELEVATIONS HAVE BEEN ESTABLISHED TO PROTECT THE HOMEOWNER FROM POSSIBLE HIGH WATER IN NEARBY LOCAL DRAINAGE SYSTEMS.

\* SIDE OR REAR SETBACK ABUTTING AN ALLEY (PRIVATE ROADWAY) IS 10 FT.



**TYPICAL MINIMUM BUILDING SETBACKS FOR THIS SECTION OF P.R.D.**  
N.T.S.

**LEGEND**

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)

DATE OF RECORDING: \_\_\_\_\_  
TIME OF RECORDING: \_\_\_\_\_  
PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

**CURVE DATA**

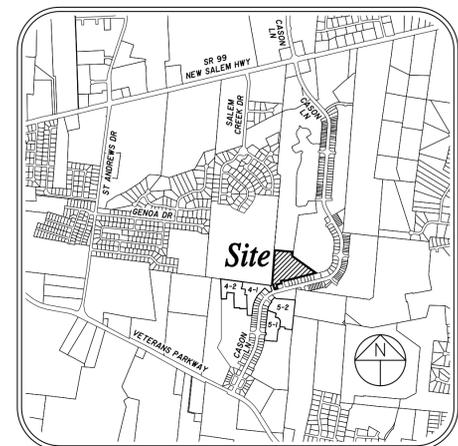
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	0°55'00"	510.00'	8.16'	4.08'	8.16'	S75°43'12"W
C2	85°08'30"	20.00'	29.72'	18.37'	27.06'	N62°10'03"W
C3	7°26'49"	275.00'	35.74'	17.90'	35.72'	N23°19'58"W
C4	18°35'14"	520.00'	168.69'	85.09'	167.95'	N04°31'41"W
C5	246°25'19"	50.00'	215.04'	76.38'	83.67'	S52°31'25"E
C6	66°25'19"	50.00'	57.96'	32.73'	54.77'	S37°58'35"W
C7	18°35'14"	480.00'	155.72'	78.55'	155.03'	S04°31'41"E
C8	92°00'00"	25.00'	39.27'	25.00'	35.36'	S58°49'18"E
C9	29°01'16"	230.00'	116.50'	59.53'	115.26'	N61°40'04"E
C10	75°36'55"	50.00'	65.99'	38.79'	61.30'	N09°20'59"E
C11	244°09'38"	50.00'	213.07'	79.77'	84.73'	S86°22'40"E
C12	40°28'33"	270.00'	190.74'	99.54'	186.80'	S55°56'25"W
C13	98°02'23"	25.00'	40.16'	25.91'	35.98'	S30°09'50"W

**LINE DATA**

LINE	BEARING	DISTANCE
L1	N13°49'18"W	20.00'
L2	S04°45'56"W	28.65'
L3	S13°49'18"E	10.00'
L4	S13°49'18"E	10.00'

**LOT AREAS**

LOT	SQ. FT.	ACRES
439	8,404	0.193
440	8,525	0.196
441	8,695	0.200
442	8,750	0.201
443	9,388	0.216
444	10,081	0.231
445	9,323	0.214
446	8,406	0.193
447	10,871	0.250
448	19,519	0.448
449	23,485	0.539
450	25,157	0.578
451	16,318	0.375
452	10,960	0.252
453	13,077	0.300
454	17,040	0.391
455	15,697	0.360
456	22,151	0.509
457	22,918	0.526
458	10,642	0.244
459	10,269	0.236
460	12,551	0.288
461	11,405	0.262
462	12,499	0.287



**LOCATION MAP**

N.T.S.

**GENERAL NOTES**

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 24 SINGLE FAMILY LOTS, 2 COMMON AREA LOTS FOR USE AS STORMWATER MANAGEMENT AREAS, AND 1 COMMON AREA LOT FOR USE AS A DRAINAGE EASEMENT AND PRIVATE DRIVE.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT UG002-484 (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 4748C0285H, EFFECTIVE DATE 11/15/2007.
- ANY MINIMUM FINISHED FLOOR ELEVATION (MNFEE) SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE. PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTY IS ZONED PRD. MINIMUM BUILDING SETBACKS FOR THIS SITE ARE: FRONT = 25 FT. / SIDE = 5 FT. / REAR = 20 FT. CORNER LOTS HAVE 2 FRONTS AND 2 SIDES.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER TO THE STREET OR TO OTHER QUALIFIED PERSONS AS HE DEEMS APPROPRIATE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
- ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
- THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THEREBY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
- ALL COMMON AREAS IN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN.
- A HOMEOWNERS ASSOCIATION WAS CREATED IN R.B.K. 592, PG. 1029, AND THE LATEST DECLARATION OF COVENANTS & RESTRICTIONS AMENDED IN R.B.K. 1283, PG. 3026.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THIS SECTION OF THE THREE RIVERS P.R.D. IS PART OF "THE VILLAGES OF THREE RIVERS".
- THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN REDUCING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ADHERE TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.
- THIS PROPERTY IS WITHIN THE SALEM/BARFIELD AND THREE RIVERS ASSESSMENT DISTRICTS.
- DRIVEWAY SHOWN ON LOT 462 IS AN APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY THE CITY TRAFFIC ENGINEER.

**FINAL PLAT**

**Section 6  
Three Rivers  
SUBDIVISION**

CITY OF MURFREESBORO, TENNESSEE  
12th CIVIL DISTRICT OF RUTHERFORD COUNTY

**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE

WWW.SEC-CIVIL.COM

850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 07106 DATE: 3-24-16 FILE: ThreeRiversSec6Plat DRAWN BY: ACAD/JWG SCALE: 1" = 50' SHEET 1 OF 1

**OWNER:**

STAR LAND COMPANY, LLC  
5644 FRANKLIN PIKE CIRCLE  
BRENTWOOD, TN 37027  
MAP 14, P/O PARCEL 15.02  
R.B.K. 1285, PG. 3820

**SITE DATA:**

TOTAL AREA = 11,233 ACRES  
AREA IN PUBLIC RIGHT-OF-WAY = 1,136 ACRES  
AREA IN PRIVATE ROADWAY = 0,178 ACRES  
AREA IN 3 COMMON AREAS = 2,610 ACRES  
NO. OF LOTS = 24  
MINIMUM LOT SIZE = 7,200 SQ.FT.  
ZONING = PRD

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

- 4.o. Stones River Manor [2016-3064] site plan for 31,900 square foot memory care unit and nursing home addition on 14.23 acres zoned RS-15, CH, and CM-R located at 205 Haynes Drive, Stones River Manor Inc. developer.**

This is the site plan review for a 31,900 square foot memory care unit and nursing home addition to the existing Stones River Manor assisted living facility located along the south side of Haynes Drive, west side of Wendellwood Drive, and north side of Castlewood Drive. The property is divided among three zoning districts: RS-15, CH, and CM-R. The site has access to Haynes Drive, Wendellwood Drive, and Castlewood Drive. The proposed structure is one story with a brick exterior. Staff recommends any approval of the site plan be subject to all staff comments.



## **Staff Comments**

- 1) The Planning point of contact for this project is Donald Anthony (615-893-6441, [danthony@murfreesborotn.gov](mailto:danthony@murfreesborotn.gov)). The Engineering point of contact is Jay Bradley (615-893-6441, [jbradley@murfreesborotn.gov](mailto:jbradley@murfreesborotn.gov)).
- 2) Add length dimension to the small property boundary segment on the northwest side of the property on the existing conditions sheet.
- 3) The northwest corner of the property is not visible on the site layout sheet. Revise the sheet to include the entire property boundary.
- 4) Show and label the storm drainage easement along the east side of the property. This easement is visible on the recorded plat.
- 5) Add building height to the site data chart.
- 6) Is the development being phased? If it is being phased, add a phasing exhibit.
- 7) Indicate location(s) of existing dumpster(s). Will existing dumpster(s) accommodate the proposed building addition?
- 8) Indicate that Castlewood Drive and Wendellwood Drive are Local streets.
- 9) Provide internal sidewalk connectivity. Provide a sidewalk along the driveway from Castlewood Drive.
- 10) Provide a parking chart showing all existing and proposed uses and all existing and proposed parking on the property. Because some parking spaces are being removed and new parking spaces are being added, staff needs clarification on parking for the entire site.
- 11) Provide details for gate shown along Wendellwood Drive frontage. Provide details for fence shown along Wendellwood Drive and Castlewood Drive frontages.
- 12) Indicate height of proposed drop-off canopy. Minimum height for such a canopy is 13 feet 6 inches.
- 13) Due to local maintenance practices, Crape Myrtles cannot receive credit as ornamental trees. Please choose another tree for ornamental tree credit.
- 14) Please show how the stormwater management areas are being screened on the landscape plan. Detention or retention areas shall be landscaped by use of a combination of vegetation, earth berm, walls, or other materials.
- 15) Please add a note and a typical diagram to the landscape plan that all service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Please identify what screening material will be used. Plant materials must meet or exceed the height of the structure that is to be screened.
- 16) All parking rows are required to be originated and terminated with a landscape island and a shade tree.

- 17) Please provide the required perimeter planting yard with trees and shrubs along Wendellwood drive and Castlewood drive.
- 18) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.
- 19) Staff is concerned with future visibility issues of building and signs with current proposed landscape design. Staff suggests use groupings of trees in the frontage to open views sheds to the building and signs.
- 20) Foundation plantings are required on the front and two sides of a building with a 3' planting bed. Please add the required plantings and bed space.
- 21) Please revise the landscape design to provide 5ft clearance in the area of the FDC.
- 22) A Right of Way Permit and bond may be required for work in the right of way. Contact Danny Lowe in the Engineering Department for additional details
- 23) As with all developments of more than one acre, this development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit
- 24) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
- 25) Connect sidewalk on Castlewood Drive to internal sidewalk
- 26) Portico height must have 13.5' of clearance. Provide height of portico.
- 27) Add handicap ramp at corner of Castlewood Drive and Wendellwood Drive
- 28) Is construction on entrance on Wendellwood Drive included in this phase of construction?

## **Stormwater Comments**

- 1) This development is required to comply with the City's Stormwater Quality requirements.
- 2) Prior to any permit, submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements.
- 3) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Management Record Sheet.
- 4) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 5) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement.

## **Standard Staff Comments**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside the area designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.
- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

## **Water & Sewer, Fire & Rescue; Building & Codes, & MED Staff Comments**

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to [jnguyen@medtn.com](mailto:jnguyen@medtn.com).
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)

- Overhead – 40ft. 20ft either side of nearest power pole
  - Down Guys – 5ft x 30ft
  - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
  - 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
  - 7) All fire hydrants must be located 4ft from nearest electric facility.
  - 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
  - 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
  - 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
  - 11) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
  - 12) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
  - 13) Resubmit two sets of plans to MWSD for the review of the water and sewer.
  - 14) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
  - 15) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
  - 16) All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
  - 17) Submit calculations for grease interceptor sizing approval by MWSD. Minimum required size is 1000 gallons and must meet MWSD specifications.
  - 18) The FOG applications must be completed and submitted to MWSD.
  - 19) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
  - 20) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
  - 21) All canopy trees must be located 10' minimum from all public water/sewer main(s).

- 22) On-site private cleanouts must use the details found at the following link:  
<http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 23) Submit a copy of the final Site Lighting Plan to MWSD.
- 24) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 25) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 26) A maximum of 2 – 6” (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2 – 6” adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
- 27) The existing sanitary sewer mains that will cross under or over the newly constructed utility main(s) or other infrastructure must undergo an inline Pipeline Assessment Certification Program (PACP) CCTV survey after construction of the new utility line has been completed and be submitted to MWSD for review and approval.
- 28) All new sanitary sewer taps, connections, and manhole adjustments are to be per MWSD specifications and be made under MWSD supervision by a MU licensed utility contractor.
- 29) Show fire department connection (FDC).
- 30) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503
- 31) Show turn radius template for fire department apparatus through site. IFC 503
- 32) An approved Knox StorzGuard FDC with a 30 degree elbow and locking cap sized 5” Storz x 4” NPT is required by MFRD.
- 33) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
- 34) An exterior electric horn / strobe (NOT a water motor gong) is required above the FDC by MFRD.

**LEGEND**

- Light Pole
- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- △ Reducer
- ⊕ Water Valve
- ▲ Concrete Thrust Block
- W — Existing Water Line
- W — Proposed Water Line
- S — Existing Sanitary Sewer Line
- S — Proposed Sanitary Sewer Line
- UE — Existing Underground Electric Line
- UE — Proposed Underground Electric Line
- Existing Manhole
- Proposed Manhole
- Existing Contours
- Proposed Contours
- GM Gas Meter
- GR Gas Regulator
- G — Existing Gas Line
- G — Proposed Gas Line
- PA — Power Pole Anchor
- 698.7+ Existing Spot Elevation
- 698.7+ Proposed Spot Elevation
- S — Existing Storm Line
- S — Proposed Storm Line
- ⊕ Rip Rap
- ⊕ Existing Guard Post (Bollard)
- ⊕ Existing Post Indicator Valve
- ⊕ Existing Clean-out
- ⊕ Existing Electric Box
- ⊕ Existing Telephone Box
- ⊕ Benchmark



- STANDARD CITY OF MURFREESBORO NOTES**
- In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
  - All signage, including flags and flagpoles, is subject to independent review by the Building and Codes Department. All signage must conform to their requirements and require separate sign permits. A Land Disturbance Permit may be required. Determination whether a Land Disturbance Permit is required shall be made by the City Engineer. A separate Land Disturbance Permit application shall be made with the office of the City Engineer for review and upon approval for issuance of a Land Disturbance Permit.
  - For all developments of more than one acre, a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the office of the City Engineer prior to construction commencement.
  - Contractor to coordinate with the Traffic Engineer in the City Transportation Department prior to commencement of work in this area to avoid damage to traffic signal devices.
  - A TDOT permit may be required. Evidence of TDOT approval is required prior to the issuance of any building permits.
  - Parking lot striping must be white and in conformance with MUTCD.
  - Surrounding properties are zoned OG, RS-15, and CH.

- GENERAL SITE NOTES**
- ALL PARKING SPACES ARE 9'-0" WIDE BY 19'-0" LONG. ACCESS BETWEEN HANDICAPPED PARKING SPACES IS 9'-0" WIDE BY 19'-0" LONG. PAVEMENT SLOPE AT ALL HANDICAPPED PARKING & AISLES SHALL NOT EXCEED 1:50 (2% SLOPE) IN ANY DIRECTIONS.
  - ALL PARKING AND DRIVES, UNLESS OTHERWISE NOTED, ARE LIGHT DUTY ASPHALT PAVEMENT OVER STONE BASE. SEE 1-C5.0 FOR DETAILS REGARDING ASPHALT AND BASE DESIGN.
  - TRAFFIC CONTROL SIGNS ARE TO BE AS FOLLOWS:  
 OW - ONE WAY  
 DNE - DO NOT ENTER  
 STP - STOP  
 LTO - LEFT TURN ONLY  
 HC - HANDICAPPED PARKING SIGN (TO COMPLY WITH ADA REQUIREMENTS)  
 SEE DETAIL 5 & 6 ON SHEET C5.0 FOR ADDITIONAL INFORMATION.
  - MAXIMUM SLOPE OF SIDEWALKS TO BE 1:20 WITH MAXIMUM CROSS SLOPE OF 1:50.
  - MAXIMUM SLOPE OF SIDEWALKS AT EXTERIOR DOORS SHALL BE 1:50 FOR A DISTANCE OF 5'-0" BEYOND DOOR & 1'-6" ON BOTH SIDES OF DOOR.

**SITE DATA**  
 Total Site: 14.2± Acres  
 Zoned: RS-15, CM-R, CH  
 Proposed Use: Memory Care & Nursing Home Addition  
 Proposed Building: 31,900 Sq. Ft.

**EXISTING PARKING:**  
 Spaces: 129  
 Handicap Spaces: 7  
 Total Spaces: 136

**EXISTING PARKING TO BE REMOVED:**  
 Spaces: 27  
 Handicap Spaces: 0  
 Total Spaces: 27

**PROPOSED PARKING:**  
 Spaces: 44  
 Handicap Spaces: 4  
 Total Spaces: 48

**REQUIRED PARKING FOR PROPOSED ADDITION:**  
 Memory Care/Assisted Living: 1 Space/3 Beds  
 + 1 Space/1 Employee (Largest Shift)  
 = (24 Beds/3) + 16 Employees  
 = 24 Spaces  
 Nursing Home: 1 Space/2 Beds + 2 Visiting Physicians  
 + 1 Space/ Business Vehicle  
 = (30 Beds/2) + 2 Visiting Physicians  
 + No Business Vehicles  
 = 17 Spaces  
 Total = 41 Spaces

**VARIANCE TO BUFFER REQUIREMENTS BETWEEN CH & RS-15 AND RS-15 & CM-R BY BZA DATED MARCH 23, 2016.**

**CONSTRUCTION MANAGER:** Phil Adams  
 J&S Construction Company, Inc.  
 1843 Foreman Drive  
 Cookeville, TN 38501  
 (931) 528-7475

**ARCHITECT:** Jim Vaughn  
 Berry-Prindle Architects  
 410 S. 1st Street, Suite 201  
 Louisville, KY 40202  
 (502)583-9829

**ZONING: RS-15**  
 FRONT SETBACK: 40'  
 SIDE SETBACK: 12.5'  
 REAR SETBACK: 30'

**ZONING: CM-R**  
 FRONT SETBACK: 30'  
 SIDE SETBACK: 10'  
 REAR SETBACK: 20'

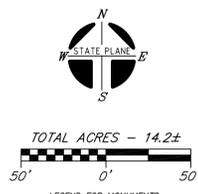
**ZONING: CH**  
 FRONT SETBACK: 42'  
 SIDE SETBACK: 10'  
 REAR SETBACK: 20'

**OWNER:** STONES RIVER MANOR, INC.  
 c/o KIRK MASON

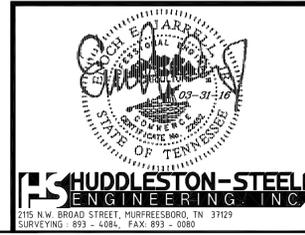
**ADDRESS:** 205 HAYNES DRIVE  
 MURFREESBORO, TN 37129

**TAX MAP 69, PARCEL 73.00**  
 DEED BOOK 236, PAGE 17  
 DEED BOOK 526, PAGE 220  
 DEED BOOK 526, PAGE 222  
 RECORD BOOK 98, PAGE 31  
 PLAT BOOK 28, PAGE 184

**FEDERAL FLOOD NOTE:** These lots are NOT in an area designated as a Special Flood Area on: Map 47149C0145H, Zone: X, Dated: January 5, 2007.



- LEGEND FOR MONUMENTS**
- IPF IRON PIN SET
  - IPF IRON PIN FND.
  - RAILROAD SPIKE
  - FENCE
  - SURVEY POINT
  - △ WALL
  - CONC. MARKER FND.



**SITE LAYOUT PLAN**

# STONES RIVER MANOR

205 Haynes Drive, Murfreesboro  
 18TH CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE

Date: March 2016      Scale: 1"=50'      C2.0

Project Phase:

First Drawing Issue Date:

No.	Revision	Date

Sheet Title:

**EXTERIOR ELEVATIONS**

Project Number:

Drawn By:

SHEET

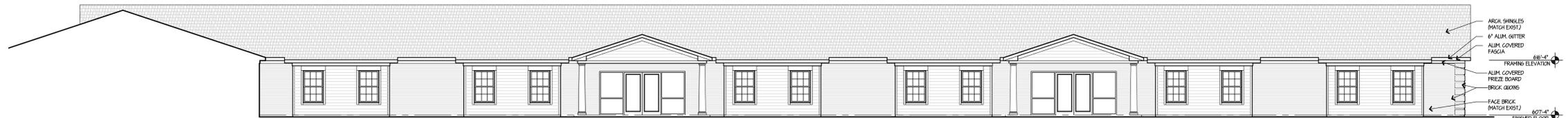
**A5.0**



**5 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"



**5 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"



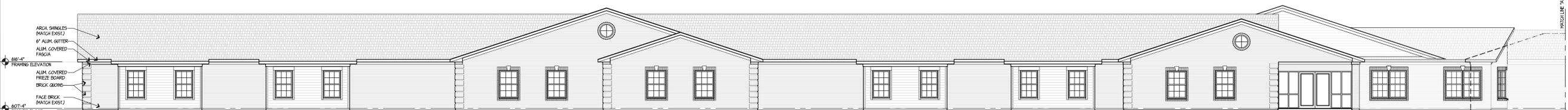
**4 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"



**3 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"

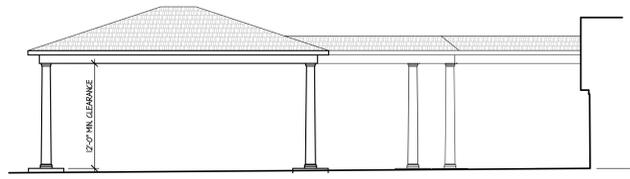


**2 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"

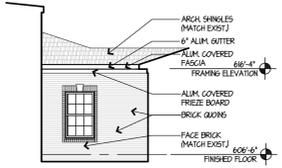


**1 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"

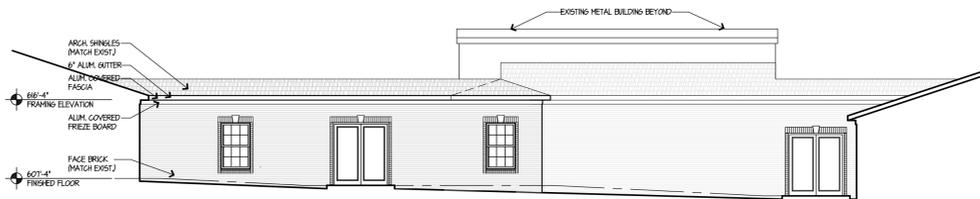
No.	Revision	Date



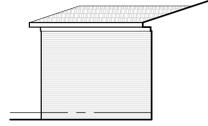
**6 CANOPY ELEVATION**  
SCALE 1/8" = 1'-0"



**5 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"



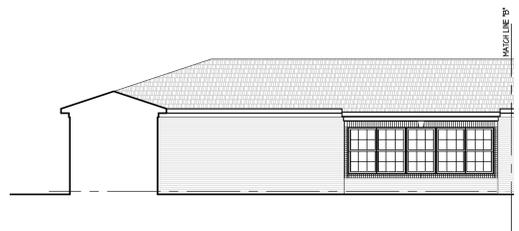
**4 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"



**3 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"



**2 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"



**1 EXTERIOR ELEVATION**  
SCALE 1/8" = 1'-0"

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.p. Rutherford County Emergency Medical Services [2016-3072] site plan for 4,037 square foot public building on 1.10 acres zoned CM-R located at 604 East Burton Street, Rutherford County EMS developer.**

This is the site plan review for a 4,037 square foot emergency medical services building (public building) located at the southeast corner of the intersection of East Burton Street and North University Street. The proposed building will house the county's ambulance fleet. The property is zoned CM-R. The site has access to North University Street and East Burton Street. The proposed structure is one story (22' – 2") with a brick and EIFS exterior. Staff recommends any approval of the site plan be subject to all staff comments.



## **Staff Comments**

- 1) The Planning point of contact for this project is Donald Anthony (615-893-6441, [danthony@murfreesborotn.gov](mailto:danthony@murfreesborotn.gov)). The Engineering point of contact is Cey Chase (615-893-6441, [cchase@murfreesborotn.gov](mailto:cchase@murfreesborotn.gov)).
- 2) Include the address of the proposed structure on the cover sheet. The address for the proposed structure is 604 East Burton Street.
- 3) Add Group H to deed references on cover sheet and site layout sheet.
- 4) Add building height (22' – 2") to all site data charts.
- 5) Add all street classifications to the site layout. North University Street and East Lytle Street are Residential Collectors, while East Burton Street is a Local street.
- 6) Change the label for the southern row of parking from six spaces to seven spaces. Add a note indicating that the Board of Zoning Appeals granted the applicant a five-space Variance at its March 23, 2016, meeting.
- 7) Reduce all lighting levels around the North University Street driveway to 0.5 footcandles. Illumination levels at property lines may not exceed 0.5 footcandles.
- 8) Indicate how solid waste will be handled on the site.
- 9) There appears to be a patio or similar structure on the northeast side of the proposed building. Label this structure.
- 10) Please revise site data to reflect Rutherford County EMS instead of Cason Lane Mini Storage.
- 11) Please revise site data table to reflect subject property.
- 12) Please show areas to receive tree protection and a tree protection detail on the grading and landscape plans. Add a note to the grading plan that upon installation of tree protection please call Brad Barbee with Murfreesboro Urban Environmental Department at 895-8059 for a Tree Protection Inspection and that any preserved trees damaged or removed during construction may have to be replanted prior to Certificate of Occupancy to fulfill perimeter planting requirements. Tree protection fencing that does not go to or exceed the preserved trees drip line will not be accepted.
- 13) Please demonstrate on the landscape plan how the site will be irrigated.
- 14) Call out the nearest fire hydrant and note the distance to the building.
- 15) Open cut of N University St for utility will require the approval of the City Manager and City Engineer.
- 16) Provide detail of the open cut.
- 17) Show the limits and repair work to the pavement surface.
- 18) A ROW Excavation permit and bond will be required before beginning any work in the right of way.
- 19) Provide information on the existing, new and net impervious surface.

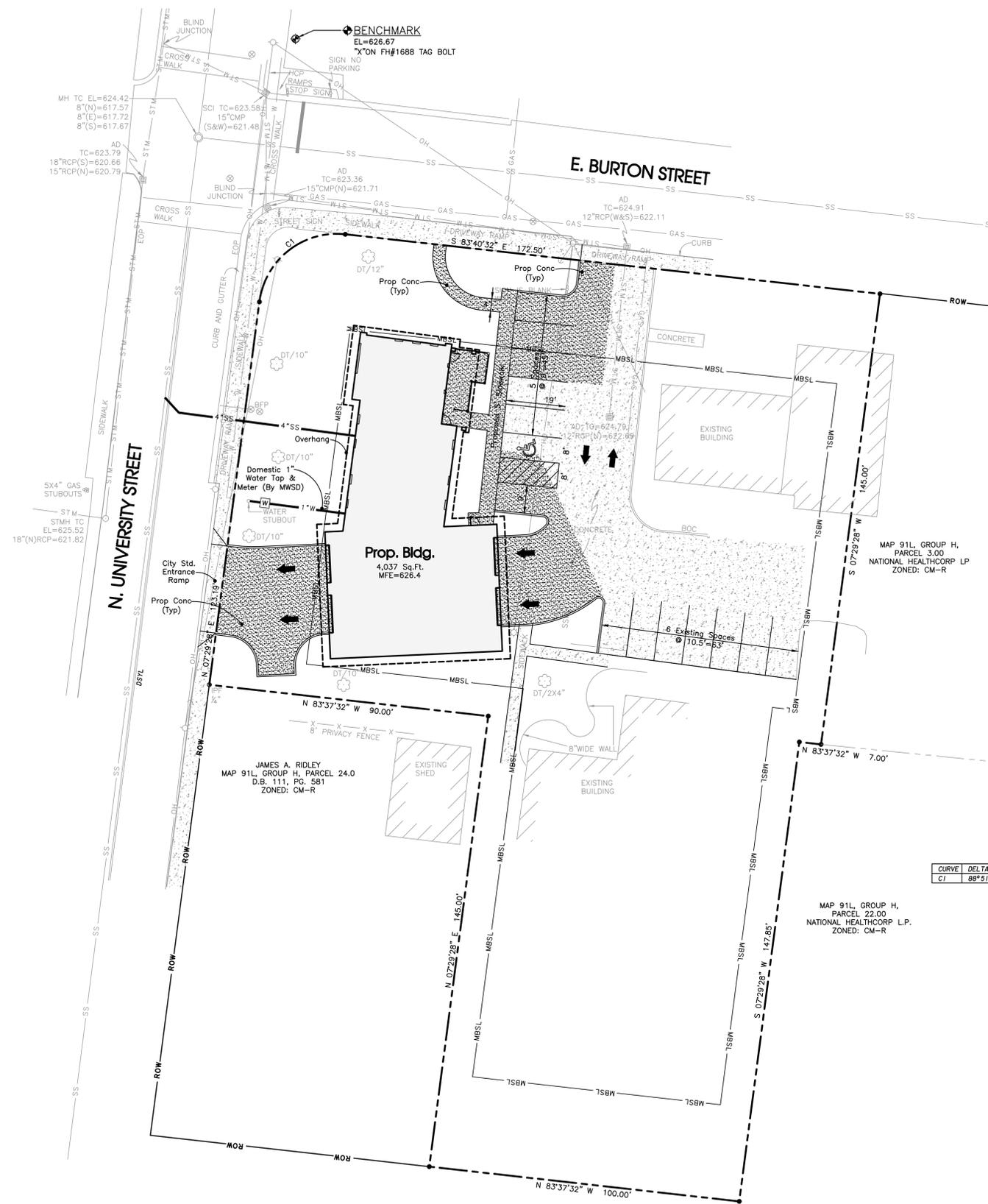
## **Standard Staff Comments**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside the area designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.
- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

## **Water & Sewer, Fire & Rescue; Building & Codes, & MED Staff Comments**

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to [jnguyen@medtn.com](mailto:jnguyen@medtn.com).
- 2) Show approved MED conduit design and approved MED transformer pad location.
- 3) Provide an Electric easement for Electric not in public right of way (ROW)
  - Overhead – 40ft. 20ft either side of nearest power pole

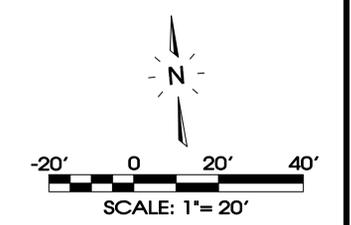
- Down Guys – 5ft x 30ft
  - Underground – 15ft x total underground trench length
- 4) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
  - 5) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
  - 6) All fire hydrants must be located 4ft from nearest electric facility.
  - 7) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
  - 8) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
  - 9) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
  - 10) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
  - 11) Use existing water and/or sewer services where available.
  - 12) Refer to IFC 2012 Table 903.2 for Occupancies required to be sprinkled. This occupancy MUST be sprinklered.
  - 13) Show fire department connection (FDC).
  - 14) Fire hydrant must be located within 150 feet of FDC.
  - 15) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
  - 16) An exterior electric horn / strobe (NOT a water motor gong) is required above the FDC by MFRD.



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LTH	CHORD BEARING
C1	88°51'05"	25.00'	38.77'	24.50'	35.00'	S 51°54'28" W

**Parking Tabulations:**  
 Req'd Spaces: 32  
 Spaces Proposed: 13(Variance Proposed)(12 Reg. + 1 H.C.)

Legend:			
□	EXIST. CONCRETE MONUMENT	◻	BLOW OFF VALVE
●	IRON PIN SET (I.P.S.)	◻	CONCRETE THRUST BLOCK
○	IRON PIN FOUND (I.P.F.)	◻	DOUBLE DETECTOR CHECK VALVE
+	EXIST. SIGN POST	◻	REMOTE FIRE DEPT. CONNECTION
○	EXIST. SEWER CLEANOUT	◻	FIRE DEPT. CONNECTION
○	EXIST. MANHOLE (SEWER & PHONE)	◻	FIRE HYDRANT
◻	EXIST. CATCH BASIN (STORM SEWER)	◻	REDUCER
⊗	EXIST. WATER/GAS VALVE	⊗	GATE VALVE & BOX
⊞	EXIST. TELEPHONE RISER	⊞	POST INDICATOR VALVE
⊞	EXIST. GAS RISER	⊞	WATER METER
⊞	ELECTRICAL ENCLOSURE	⊞	SEWER/STORM FLOW DIRECTION
⊞	EXIST. WATER METER	○	MANHOLE
○	EXIST. UTILITY POLE	⊞	HANDICAP PARKING SYMBOL
○	EXIST. FIRE HYDRANT	⊞	HC SIGN
⊞	BENCHMARK	+	PROPOSED SIGN POST
⊞	REVISION NUMBER	⊞	CONCRETE SIDEWALK
⊞	CURB & GUTTER	⊞	EXTRUDED CURB
---	EXISTING PHONE	---	PH
---	EXISTING ELECTRIC	---	DH
---	PROPERTY LINE	---	
---	EASEMENTS	---	
---	RIGHT OF WAY	---	ROW
---	EXISTING TREELINE	---	
---	EXISTING FENCELINE	---	
---	MINIMUM BUILDING SETBACK LINE	---	MBSL
---	PHASE BOUNDARY	---	
---	EXISTING GAS LINE	---	GAS
---	PROPOSED GAS LINE	---	GAS
---	EXISTING STORM	---	STM
---	PROPOSED STORM	---	STM
---	EXISTING SANITARY SEWER	---	SS
---	PROPOSED SANITARY SEWER	---	SS
---	EXISTING WATER	---	W
---	PROPOSED WATER	---	W



**Applicant:**  
 Rutherford County EMS  
 Mike Hunley  
 606 East Burton St.  
 Murfreesboro, TN 37130  
 Contact Phone: (615)898-7790

**Owner:**  
 Seton Corp. Dba Baptist Hospital  
 Attn: Pam Hess FGO  
 2000 Church St.  
 Nashville, TN 37236

**Floodplain Note:**  
 This site lies within Zone X, areas determined to be outside the 0.2% annual chance flood plain. FEMA FIRM map #47149CO260H, Dated Jan. 5, 2007.

**Land Data:**  
 Zoning: CM-R  
 1.10± Acres

**Building Setbacks:**  
 Front: 30'  
 Side: 10'  
 Rear: 20'

**Deed Reference:**  
 The property shown hereon is Tax Map 91L, Portion Of Parcel 1.00, Civil District 1 Magisterial District in Rutherford County, as recorded in R.Bk. 123, Pg. 51.

37210  
 nashville, tennessee  
 22 middleton street  
**KLINE SWINNEY ASSOCIATES**  
 architecture • interior design • planning



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**SITE & UTILITY PLAN**  
**NEW AMBULANCE BUILDING FOR RUTHERFORD COUNTY EMERGENCY MEDICAL SERVICE CORNER OF NORTH UNIVERSITY ST. & EAST BURTON ST. MURFREESBORO, TENNESSEE**

REVISIONS
PLANNING SUBMISSION

PROJECT NO.  
15296  
 DATE  
07 MAR 16  
 SHEET NO.

**SEC, Inc.**  
 SITE ENGINEERING CONSULTANTS  
 ENGINEERING • SURVEYING • LAND PLANNING  
 LANDSCAPE ARCHITECTURE  
 850 MIDDLE TENNESSEE BOULEVARD  
 MURFREESBORO, TENNESSEE 37129  
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.



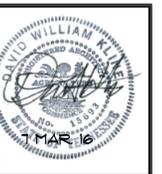
**EAST  
ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH  
ELEVATION @ EAST BURTON ST.**

SCALE: 1/4" = 1'-0"



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**ELEVATIONS**

**NEW AMBULANCE BUILDING FOR  
RUTHERFORD COUNTY EMERGENCY MEDICAL SERVICE  
CORNER OF NORTH UNIVERSITY ST. & EAST BURTON ST.  
MURFREESBORO, TENNESSEE**

**REVISIONS**

PLANNING SUBMISSION

PROJECT NO.  
1502

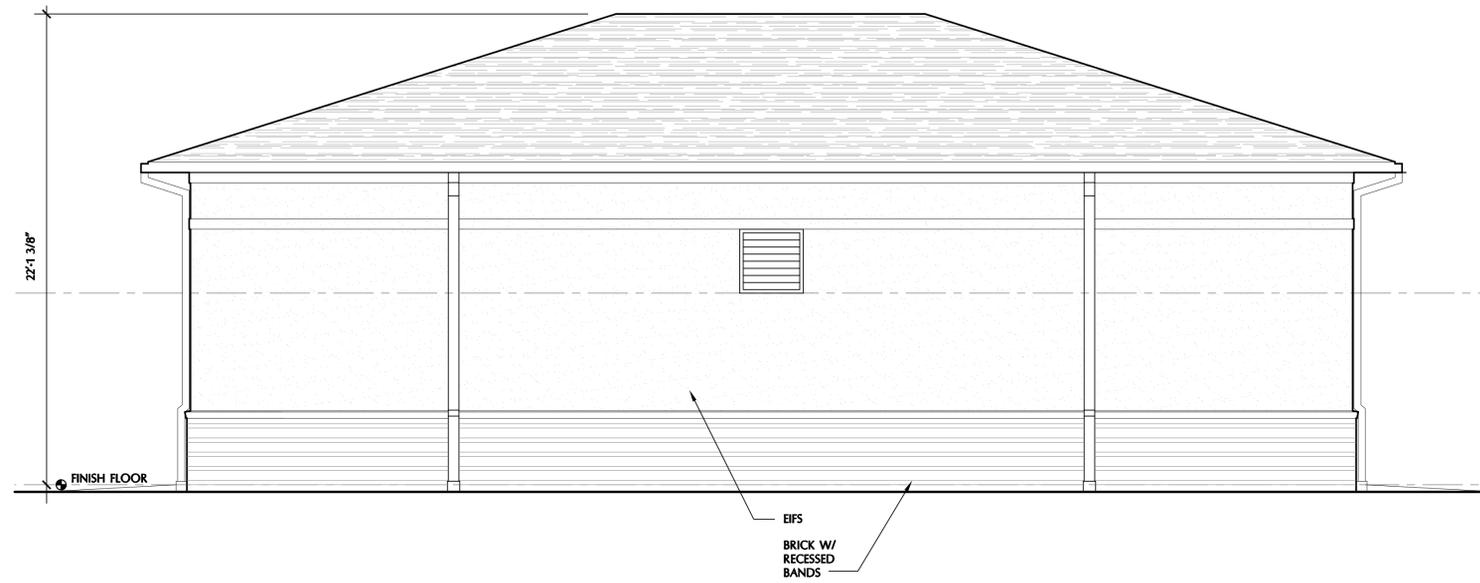
DATE  
07 MAR 16

SHEET NO.

**A5.01**



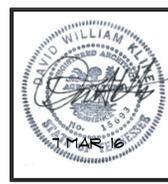
**WEST ELEVATION @ NORTH UNIVERSITY ST.**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

22 middleton street nashville, tennessee 37210

**KLINE SWINNEY ASSOCIATES**  
architecture • interior design • planning



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**ELEVATIONS**  
**NEW AMBULANCE BUILDING FOR RUTHERFORD COUNTY EMERGENCY MEDICAL SERVICE**  
CORNER OF NORTH UNIVERSITY ST. & EAST BURTON ST.  
MURFREESBORO, TENNESSEE

REVISIONS	
PLANNING SUBMISSION	

PROJECT NO.  
1502  
DATE  
07 MAR 16  
SHEET NO.

**A5.02**

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.r. Mandatory Referral [2016-] for the abandonment of 15' portion of a public utility & drainage easement located along Conference Center Boulevard, Matt Taylor SEC applicant.**

The Planning Commission is being asked to consider abandoning a portion of an existing public utility and drainage easement located along Conference Center Boulevard, within Lot 12 of the North Church LLC subdivision. The easement is recorded as 30' wide. Because the easement is also a utility easement, it will be up to the applicant to work with utility providers to abandon their interest in the easement. Staff has studied the property and is comfortable abandoning 15' wide portion of the easement as shown in the attached illustration. The approval of this request is subject to the applicant providing all the necessary documentation required to prepare and record the instrument to City Staff. This includes legal descriptions and an illustration of the property. A survey will also need to be provided to field locate any utilities that presently exist. If approved by the Planning Commission, staff will forward the Planning Commission's recommendation to the City Council for its consideration.

January 31, 2016

Mrs. Margaret Ann Green  
City of Murfreesboro Planning Dept.  
111 West Vine Street  
Murfreesboro, TN 37133-1139

RE: VASARI LOTS AT THE AVENUE  
Mandatory Referral  
SEC Project No. 06115

Dear Margaret Ann,

Please find the attached documents to support the mandatory referral request for abandonment of a portion of public utility and drainage easement.

Should you need any clarification concerning the request, please feel free to contact me at 615-890-7901 or [mtaylor@sec-civil.com](mailto:mtaylor@sec-civil.com).

Sincerely,

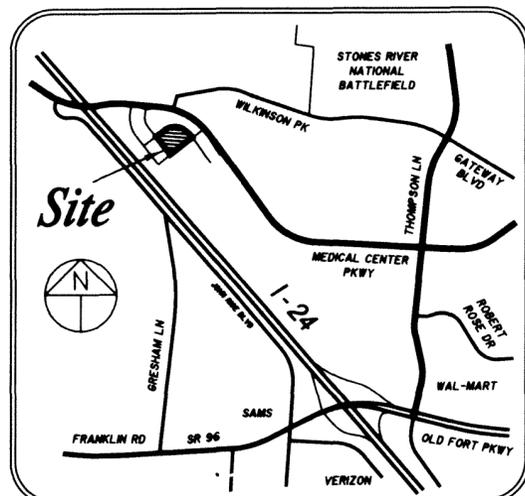
Matt Taylor, P.E.  
SEC, Inc.

**GENERAL NOTES**

- THE PURPOSE OF THIS FINAL PLAT IS TO COMBINE LOTS 12 & 23 INTO ONE LOT. LOT NUMBER 23 IS HEREBY DELETED BY THIS RECORDING.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENTS UG602-193 (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAP FOR RUTHERFORD COUNTY, MAP NO. 47149C0255 H, EFFECTIVE DATE JANUARY 5, 2007.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTY IS ZONED CH, COMMERCIAL HIGHWAY. MINIMUM BUILDING SETBACKS FOR THIS ZONING DESIGNATION ARE AS FOLLOWS:  
FRONT = 42'  
SIDE = 0' (ADJACENT TO CH ZONE)  
REAR = 20'  
THIS PROPERTY IS LOCATED WITHIN GATEWAY DESIGN OVERLAY DISTRICT No. 1, AND IS SUBJECT TO ANY ADDITIONAL REQUIREMENTS OR RESTRICTIONS THAT MAY APPLY.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNIC EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- THE PUBLIC UTILITY & SIDEWALK EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS AT&T, MURFREESBORO ELECTRIC DEPARTMENT, CABLE TELEVISION SERVICES, ATMOS ENERGY, AND OTHERS.
- ANY HOUSE OR STRUCTURE WITH A BUILDING DRAIN TO THE PUBLIC SANITARY SEWER WITH A FLOOR ELEVATION AT ANY POINT BELOW THE ELEVATION OF THE CENTER OF THE STREET MAY BE SUBJECT TO MURFREESBORO CITY CODE SECTION 33-35(I)(II) WHICH REQUIRES THE OWNER(S) TO EXECUTE A RELEASE AND INDEMNIFICATION AGREEMENT IN FAVOR OF THE CITY AS A PREREQUISITE TO CONNECTING TO WATER AND/OR SEWER SERVICES.
- THIS PLAT AND THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS OF THE FUTURE OWNERS ASSOCIATION.
- THIS PLAT AND PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS, COVENANTS AND RESTRICTIONS OF THE NORTH CHURCH DRAINAGE ASSOCIATION, RECORDED IN R.B.K. 671, PG. 3252. SAID ASSOCIATION CHARTERED IN RECORD BOOK 754, PAGE 2499, R.O.R.C., TN.
- THIS PLAT AND THE PROPERTY SHOWN HEREON IS SUBJECT TO PARTICIPATION WITH A PRIVATE WATER ASSESSMENT DISTRICT.
- PROPERTY IS WITHIN OVERALL CREEK ASSESSMENT DISTRICT AND MEDICAL CENTER PARKWAY.
- WATER SERVICE, DOMESTIC AND FIRE PROTECTION ARE PROVIDED BY CONSOLIDATED UTILITY DISTRICT.
- THE SOUTHEASTERN PORTION OF LOT 12 IS SUBJECT TO RESTRICTIVE COVENANTS OF RECORD IN RECORD BOOK 671, PAGE 3262, R.O.R.C., TN, AS SHOWN.
- LOT 2 IS PROPERTY OF THE CITY OF MURFREESBORO PER DEED OF GIFT, RECORD BOOK 671, PAGE 3471, AND "... IS EXPECTED TO BECOME CONFERENCE CENTER BOULEVARD..." PER RESTRICTIVE COVENANT, RECORD BOOK 671, PAGE 3467. NO DOCUMENTATION OF RECORD FOR ACTUAL DEDICATION OF RIGHT-OF-WAY FOUND AS OF THIS DATE.

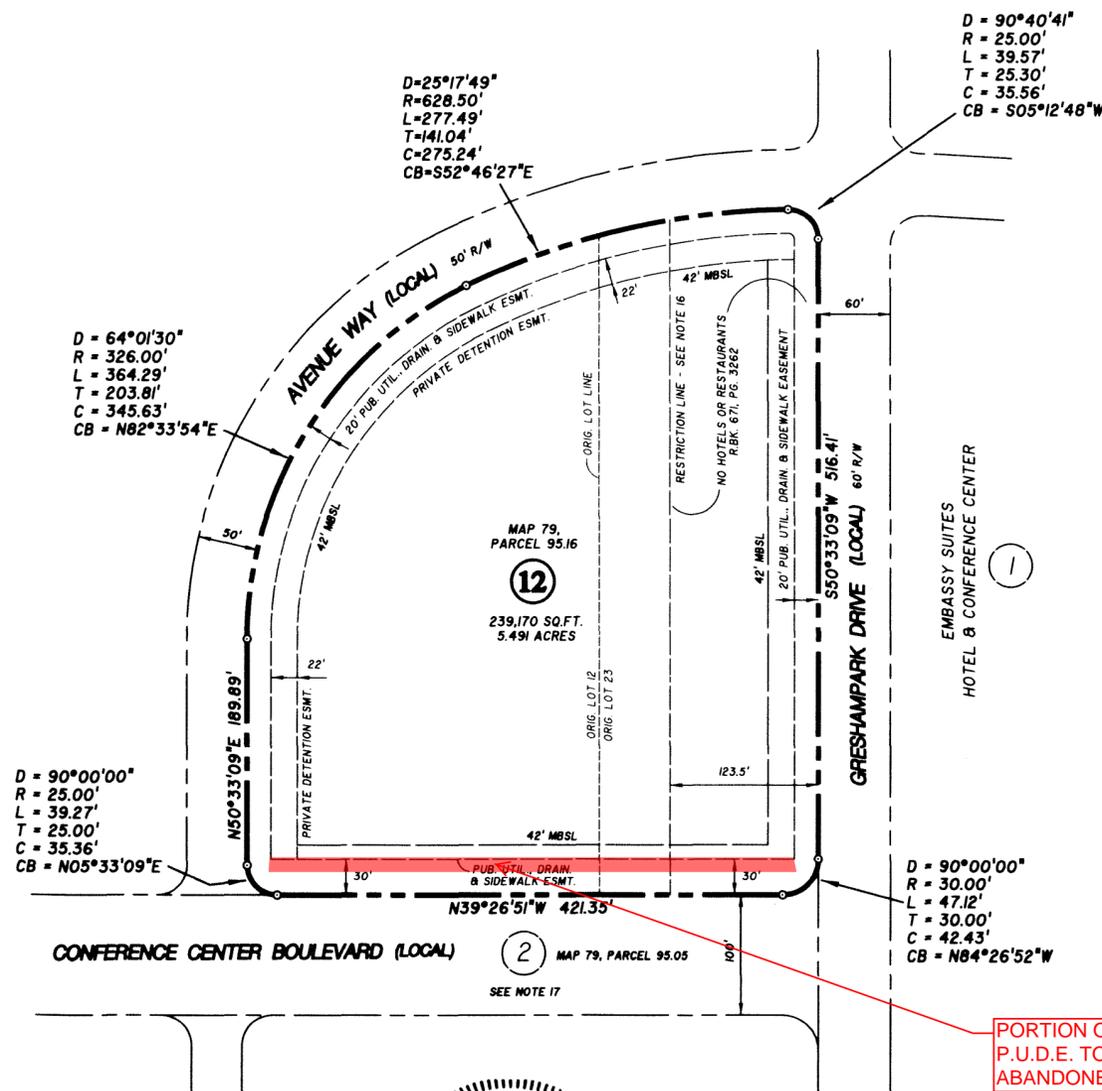
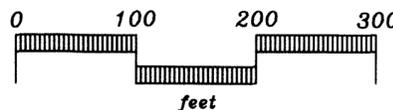
**LEGEND**

- IRON PIN (FOUND)
- IRON PIN SET (NEW)



**LOCATION MAP**  
NOT TO SCALE

Jennifer M Gerhart, Register  
Rutherford County Tennessee  
Rec'd #: 631681  
State: 15.00 Instrument #: 1690272  
Clerk: 0.00 Recorded  
Other: 2.00 8/26/2010 at 9:40 AM  
Total: 17.00 in Plat Cabinet 35 Pgs 154-154



I hereby certify that this plat has been reviewed for the Rutherford County Development Tax, No Development Tax Required 40N 8-24-10  
RUTHERFORD COUNTY REGIONAL PLANNING COMMISSION

**SITE DATA:**  
TOTAL AREA = 5.491 ACRES  
NO. OF LOTS = 1  
AREA IN RIGHT-OF-WAY = 0.0 ACRES  
ZONING = CH & GDO-1

**OWNER/DEVELOPER:**  
C.M. GATTON,  
TRUSTEE OF THE C.M. GATTON TRUST  
AGREEMENT DATED JANUARY 7, 1995  
1000 WEST STATE STREET  
BRISTOL, TN 37621  
RECORD BOOK 087, PG. 2777, R.O.R.C.  
TAX MAP 79, PARCELS 95.16 & 95.28

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

**7-26-10 C.M. GATTON**  
DATE  
RECORD BOOK 087, PAGE 2777  
C.M. GATTON  
TRUSTEE OF THE C.M. GATTON TRUST  
UNDER AGREEMENT DATED JANUARY 7, 1995

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. INC. **Andrew B. DiMartino**  
DATE **06-30-10**  
REGISTERED SURVEYOR  
TENN. R.L.S. No. **2141**

**CERTIFICATE FOR APPROVAL OF WATER SYSTEMS**  
CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE **7-1-10**  
**Don Bailey**  
CONSOLIDATED UTILITY DISTRICT  
OF RUTHERFORD COUNTY OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE **7/1/10**  
**Wanda W. Gore**  
MURFREESBORO WATER AND SEWER OFFICIAL

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE **8-24-10**  
**Joseph D. Lyddell**  
PLANNING COMMISSION SECRETARY

THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERSEDES THE RECORDING OF LOTS 12 AND 23 AS SHOWN ON THE FINAL PLAT ENTITLED "2ND. RESUBDIVISION OF LOT 12, SECTION II, NORTH CHURCH LLC PROPERTY", AS RECORDED IN PLAT BK. 34, PG. 175, R.O.R.C., TN.

DATE OF RECORDING: August 26, 2010  
TIME OF RECORDING: 9:40 A.M.  
PLAT BOOK 35, PAGE 154

**FINAL PLAT**

**Combination of Lots 12 & 23, Section II**  
**North Church LLC Property**

CITY OF MURFREESBORO, TENNESSEE  
13th CIVIL DISTRICT OF RUTHERFORD COUNTY

**SEC, Inc.** SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING

850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 0614	DATE: 06-21-10	FILE: CCCMB012-23PLAT	DRAWN BY: ACAD/JWG	SCALE: 1" = 100'	SHEET 1 OF 1
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**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**4.q. City Edge Flats Phase II [2016-3070] site plan for 58 dwelling units on 10.6 acres zoned RM-12 located along Willowbrook Drive, City Edge Holdings LLC developer.**

This is the site plan review for a phase two to an existing multi-family development located north of Willowbrook Drive, east of South Rutherford Boulevard. The property is zoned RM-12 and the proposed use is permitted. The infrastructure for this phase was constructed several years ago; however development halted. The layout of this section is mostly consistent with the existing infrastructure. The existing phase one consists of 82 dwelling units and the proposed phase two will consist of 58 dwelling units for a total of 140 dwelling units on 10.6 acres (13.2 dwelling units per acre). The zoning allows 12 dwelling units per acre by right. The plan proposed to use a clubhouse, in-ground swimming pool, badminton court, play area and bicycle racks to gain a 10.1% density bonus. Also the plan proposes to add a fence along the existing units which face Willowbrook Drive. The site has access to Willowbrook Drive through an existing private drive and a second access to a proposed private drive. The existing units are one story and the proposed buildings are one and two story with brick and hardi panel board & batten siding. The roofs are pitched and consist of fiberglass shingles. Staff recommends any approval of the site plan be subject to all staff comments.



## **Staff Comments**

- 1) A final plat to create this lot must be recorded prior to the issuance of a Certificate of Occupancy. A draft copy of a resubdivision plat was included in the submittal to confirm the developer intends to combine the two lots.
- 2) A written description of the density bonus request is located on the site plan. The maximum number of units permitted by right is 127 dwelling units (12\*10.6). The calculations are based on the maximum density permitted in the district (127 d.u.) and is capped at a "not to exceed" number of dwelling. As such, the calculations provided on the site plan should also state the number of units in addition to the percentage. Staff reviewed the calculations, and it appears the badminton court and play area exceed the not to exceed number of dwellings [badminton not to exceed 1 d.u. (1%= 1.3 units) and play area not to exceed 6 d.u. (5%= 6.4 units)]. Please review and revise.
- 3) On the site plan show the location of driveways that intersect the adjoining public rights of ways adjacent to or across from the development tract.
- 4) On the site plan, label the height of proposed structures (height must be given in stories and feet) as defined by Building Height in the Murfreesboro Zoning Ordinance.
- 5) Staff is concerned with the south elevation (labeled as right) of the clubhouse. The elevations should demonstrate that the front of the structure is oriented to face the front lot line. The front of a structure shall be that elevation of the structure containing the formal or main entryway or containing such other architectural elements as would lead a reasonable person to perceive it as the front of the structure. If the existing orientation is desired, architectural treatments can be added to cause this elevation to be perceived as a front.
- 6) Similar to the previous staff comment, staff needs additional information for building 1 to demonstrate the structure is oriented to face the front lot line. If the current orientation is desired, then architectural elements can be added as would lead a reasonable person to perceive it as the front of the structure.
- 7) The rear of the clubhouse should not face any adjacent right of way. The rear should be screened with a minimum type C buffer if it is visible from Willowbrook Drive.
- 8) Confirm no mechanical, utilities or other building elements that must be roof mounted area not visible from any point 6' above ground level or from any public right of way.
- 9) Note the location of the HVACs on the site plan and on the Landscape Plan.
- 10) Will the units have doors/patios located along the rear of the units? If yes, then these elements need to be shown.
- 11) Provide a screening detail for the trash compactor. Please note that the enclosure should be a minimum of one foot above the proposed compactor, made of a masonry enclosure to match the proposed building. The enclosure should also be screened on three sides with evergreen plant materials.
- 12) Provide a detail of the proposed fencing.
- 13) Will there be any outdoor vending (i.e. snack or soda machines near the pool or clubhouse). If yes, these elements need to be shown on the site plan.

- 14) Provide a lighting plan, details and photometric plan that demonstrate compliance with the Zoning Ordinance. Also, reconcile the landscape plan and lighting plan to remove any conflicts.
- 15) Show the Sight Triangle at the intersection of both private drives and Willowbrook Drive. Any proposed fencing and/or landscaping located in the sight triangle must meet the requirements of the Zoning Ordinance (no landscaping object or plant material, those meeting the requirements of the Zoning Ordinance, shall be allowed within the sight triangle at an elevation greater than 30 inches above the crown of pavement on the adjacent roadway.) Proposed fence should not block sight distance. Show that the fence will be located outside of the sight distance triangle.
- 16) Connect the interior sidewalk network to the public sidewalk located within Willowbrook Drive.
- 17) The Engineering Department point of contact for this project is Katie Noel (615-893-6441 or [KNoel@MurfreesboroTN.gov](mailto:KNoel@MurfreesboroTN.gov)).
- 18) Proposed sidewalk along Willowbrook Drive should be 5 feet wide.
- 19) Proposed sidewalk location may conflict with existing utility poles.
- 20) Show details for the city standard concrete ramp.
- 21) Provide details for proposed bioretention areas.
- 22) A Right of Way permit will be required for the new entrance on to Willowbrook Drive. If this entrance is intended to also be the Construction entrance then the Right of Way permit will be required prior to the Land Disturbance Permit being issued.
- 23) Staff suggests selecting another tree in place of the proposed red maples in parking lot islands due to the trees lack of tolerance of reflective heat from the pavement (sun scald).
- 24) The landscape islands do not meet minimum standards. Landscape islands are to be a minimum 8 feet wide and a depth equal to the distance of the adjacent parking stalls.
- 25) Foundation plantings are required on the front and two sides of a building with a 3' planting bed. Please add the required plantings and bed space.
- 26) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.
- 27) Please revise HVAC screening detail to provide adequate screening for HVAC units. Current detail is insufficient.
- 28) All parking rows are required to be originated and terminated with a landscape island and a shade tree.
- 29) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.

### **Stormwater Comments:**

- 1) New development and redevelopment involving increase of 10,000 square feet of impervious area, on a lot or within a common plan of development of at least one acre must comply with the city's stormwater quality design standards. This development is required to comply with the City Stormwater Quality requirements.

- 2) As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City Engineer prior to construction progressing.
- 3) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 4) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
- 5) Prior to a building permit, the Stormwater Management Plan must be submitted, reviewed and approved.
- 6) Prior to a certificate of occupancy, submit a Stormwater Management Record Sheet.
- 7) Prior to certificate of occupancy, submit a Stormwater Facilities Operation and Maintenance Plan.
- 8) Prior to certificate of occupancy, submit a Stormwater Facilities Maintenance Agreement signed by the owner.
- 9) Prior to certificate of occupancy, submit an Engineer's Certification of the construction of the stormwater management facilities.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) The design engineer needs to coordinate all proposed sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
- 6) Designate an area on the plans for construction debris storage. As a note to the developer, an unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, staff will shut down the jobsite.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

**Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to [jnguyen@medtn.com](mailto:jnguyen@medtn.com).
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
  - Overhead – 40ft. 20ft either side of nearest power pole
  - Down Guys – 5ft x 30ft
  - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) All fire hydrants must be located 4ft from nearest electric facility.
- 7) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 8) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to [subdivisions@ cudrc.com](mailto:subdivisions@ cudrc.com).
- 9) Use existing water and/or sewer services where available.
- 10) Building permits are not to be issued until fees are paid.
- 11) Add the Release & Covenant Not to Sue note to the plan.
- 12) Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- 13) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 14) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 15) On-site private cleanouts must use the details found at the following link: <http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 16) Submit an on-site utility plan.

- 17) Submit a copy of the final Site Lighting Plan to MWSD.
- 18) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 19) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 20) A maximum of 2 – 6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2 – 6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
- 21) Sewer mainlines may have to be tested/videoed prior to Certificate of Occupancy.
- 22) The existing sanitary sewer mains that will cross under or over the newly constructed utility main(s) or other infrastructure must undergo an inline Pipeline Assessment Certification Program (PACP) CCTV survey after construction of the new utility line has been completed and be submitted to MWSD for review and approval.
- 23) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.

**Phase II (Former Lot 14B) - SITE DATA:**  
 Area = 4.18± Ac. = 182,075 Sq.Ft.  
 Proposed Units = 58  
 Proposed Use = Multiple-Family Dwellings  
 Number of Bedrooms = 58 Units = 130 Bedrooms  
 (44 two bedroom units + 14 three bedroom units)  
 Parking Required = 130 Bedrooms x 1.1 Space/Bedroom = 143 Spaces  
 Parking Provided = 145 Spaces plus 11 Handicap Spaces  
 Proposed New Impervious Area = 99,838 Sq.Ft.

**TOTAL SITE DENSITY DATA:**  
 Area = 10.6± Ac. = 461,732 Sq.Ft.  
 Existing Units = 82  
 Proposed New Units = 58  
 Total Units = 140  
 Proposed Use = Multiple-Family Dwellings

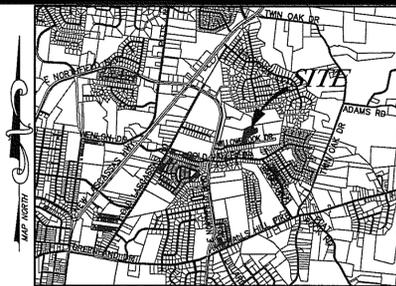
**UNITS ALLOWED BY ZONING (RM-12) = 10.6 Ac. x 12 = 127.2**  
 Density Bonus needed =  $(140-127.2)/127.2 = 10.06\%$   
 Amenities & Associated Bonuses:  
 • Proposed Clubhouse:  
 (1,600 SF Available for Exclusive Use of Occupants) = 1.6%  
 • Existing Permanent In-Ground Swimming Pool: (1,000 SF) = 2.0%  
 • Proposed Badminton Court: (Standard Size 880 SF) = 1.0%  
 • Proposed Play Area: (2,000 SF Playgrounds) = 5.0%  
 • Existing & Proposed Bicycle Racks: (50 Spaces) = 0.50%  
**TOTAL OF AMENITY INCENTIVES = 10.10%**

**STANDARD CITY OF MURFREESBORO NOTES:**

- In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video services the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "requirements," to be provided at each providers' expense.
- All signage, including flags and flagpoles, is subject to independent review by the Building and Codes Department. All signage must conform to their requirements and require separate sign permits.
- A Land Disturbance Permit may be required. Determination whether a Land Disturbance Permit is required shall be made by the City Engineer. A separate Land Disturbance Permit application shall be made with the office of the City Engineer for review and upon approval for issuance of a Land Disturbance Permit.
- For all developments of more than one acre, a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the office of the City Engineer prior to construction commencement.
- Contractor to coordinate with the Traffic Engineer in the City Transportation Department prior to commencement of work in this area to avoid damage to traffic signal devices.
- A TDDOT permit may be required. Evidence of TDDOT approval is required prior to the issuance of any building permit.
- A Stormwater Management Plan demonstrating that the site provides for treatment of the water quality volume and provides for management of the streambank protection volume must be provided.
- An Engineer Certification of the construction of the stormwater management facilities must be provided to the City Engineer prior to issuance certificate of occupancy.
- A Stormwater Fee Credit Application must be submitted prior to the issuance of a building permit.
- A Stormwater Facilities Operation and Maintenance Plan and a Stormwater Facilities Maintenance Agreement must be submitted prior to issuance of a building permit.
- The Stormwater Facilities Maintenance Agreement must be recorded prior to certificate of occupancy.
- Parking lot striping must be white and in conformance with MUTCD.

**LEGEND**

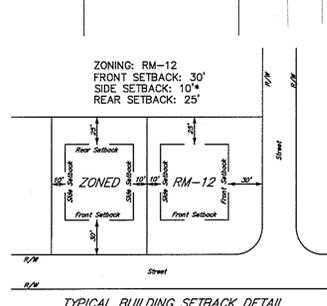
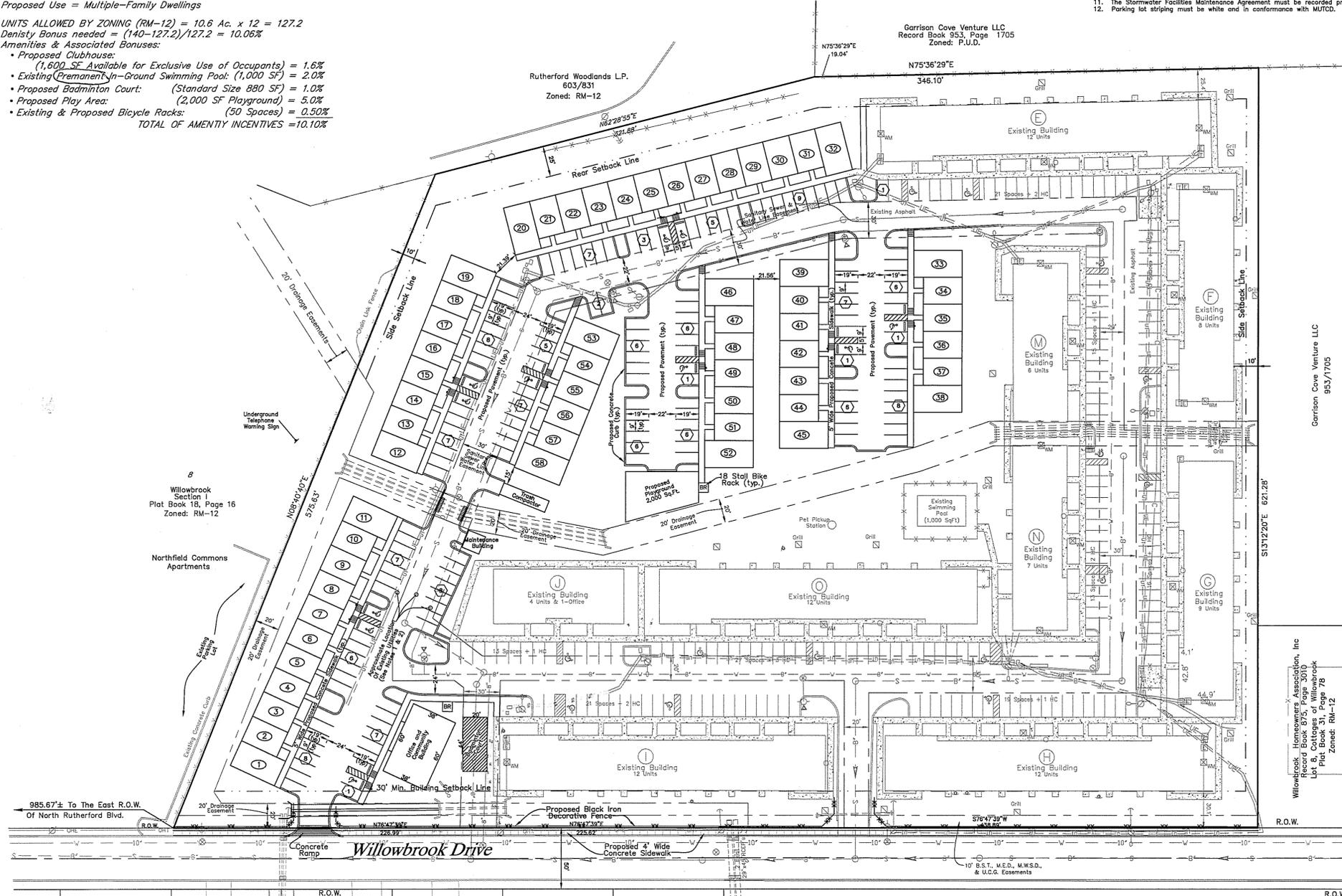
- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- ⊕ Proposed Manhole
- S— Sewer Line Check Dam
- C— Existing Contours
- C— Proposed Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- ⊕ Siltation Fence Barrier  
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- ⊕ Rip-Rap (6" min. dia., 1' thick per TDDOT Specifications)  
Item No. 709-05
- ⊕ Light Pole



**LOCATION MAP**  
N.T.S.

**SITE NOTES**

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One-Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot owners of this construction.
- Water provided by Consolidated Utility District (C.U.D.). Contact C.U.D. for water line design, including water line sizes and fire hydrant locations. All main water line taps are to be made by C.U.D. The owner/developer for budget purposes should contact C.U.D. for related fees to project which may be substantial. Contact Jennifer Wood with C.U.D. (615-225-3311) for water meter specifications. The developer must post bond, \$2,000 or \$250 for each valve box (whichever is greater), whenever the subject project has valve boxes that are located within pavement upon completion of the proposed water system extension. All main waterline taps are to be made by C.U.D. TDEC approved plans from C.U.D. and a "Construction Start Notification" is to be issued to the contractor from C.U.D. prior to the start of any water line construction.
- Initial sediment and erosion control measures must be installed and inspected prior to construction progressing.
- Electric service provided by Murfreesboro Electric Department (M.E.D.). Contact M.E.D. for electric line design, requirements and specifications.
- Construction Plans, including the final Grading and Drainage Plan, will be subject to review and approval by the City Environmental Engineer.
- Sewer main construction drawings and hydraulics must be submitted to the Murfreesboro Water and Sewer Department for detailed review and approval separate from planning commission review.
- The owner, for budget purposes, should check with the Murfreesboro Water and Sewer Department for connection fees, which may be substantial.
- Per the City of Murfreesboro, site work, exterior work, utilities, landscape and infrastructure construction will be authorized by a land disturbance permit and cost of construction site work permit.
- Per the City of Murfreesboro, upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner or record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy. The owner/developer must sign a Landscaping within a City Easement Agreement with M.W.S.D.



\*Side setback: the size of the required side yard shall be ten (10) feet for single story buildings that are perpendicular to the side lot line and twenty (20) feet for two story structures plus an additional five (5) feet for each story over two (2). The size of the required side yard shall be twenty (20) feet for one and two story buildings that are running parallel with the side lot line plus five (5) feet for each additional story over two (2).

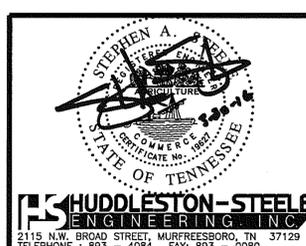
SHEET NO.	DESCRIPTION
1	SITE PLAN
2	EXISTING CONDITIONS
3	GRADING & DRAINAGE
4	LANDSCAPING
5	LANDSCAPE DETAILS
6	COMBINATION PLAT

No.	DATE	REVISION DESCRIPTION
0	03-31-16	Original Issue



**OWNER/DEVELOPER:** City Edge Holdings, LLC  
 ATTN: Conrad Camp  
 ADDRESS: 1841 Lascassas Pike  
 Murfreesboro, TN 37130  
 Tax Map 81, Parcel 79.11  
 Record Book 1311, Page 2725

THIS PARCEL IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 47016B, PANEL NO. 0280 H, ZONE: X, DATED 01/05/07.



**SITE PLAN PHASE II**  
**CITY EDGE FLATS**  
 Section II - Willowbrook  
 21st Civil District of Rutherford County, Tennessee  
 Date: February, 2016 Scale: 1"=50' Sheet 1 of 6



**1** BUILDING 2 - FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

9841 BERRY HILL DRIVE  
SUITE 100  
NASHVILLE, TN 37204  
Phone: (615) 269-9248 Fax: (615) 627-1298  
email: quirksdesigns@comcast.net



**CITY EDGE FLATS - PHASE 2**

Conrad Camp  
Willowbrook Drive  
Murfreesboro, TN 37130

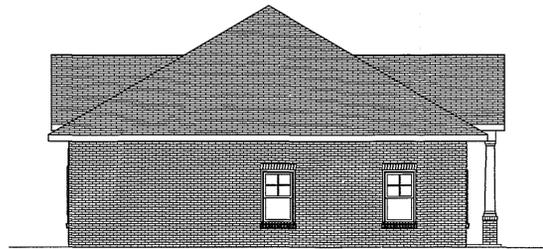
DATE: 2/23/16  
REVISION

PROJECT NO: 15-146  
COPYRIGHT 2/23/16  
QUIRK DESIGNS

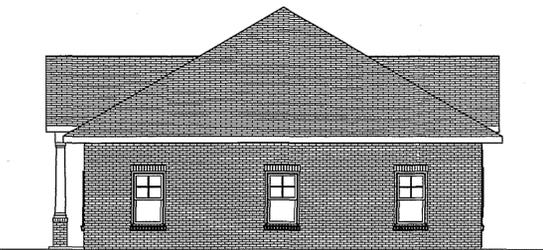
ELEVATIONS



3 LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



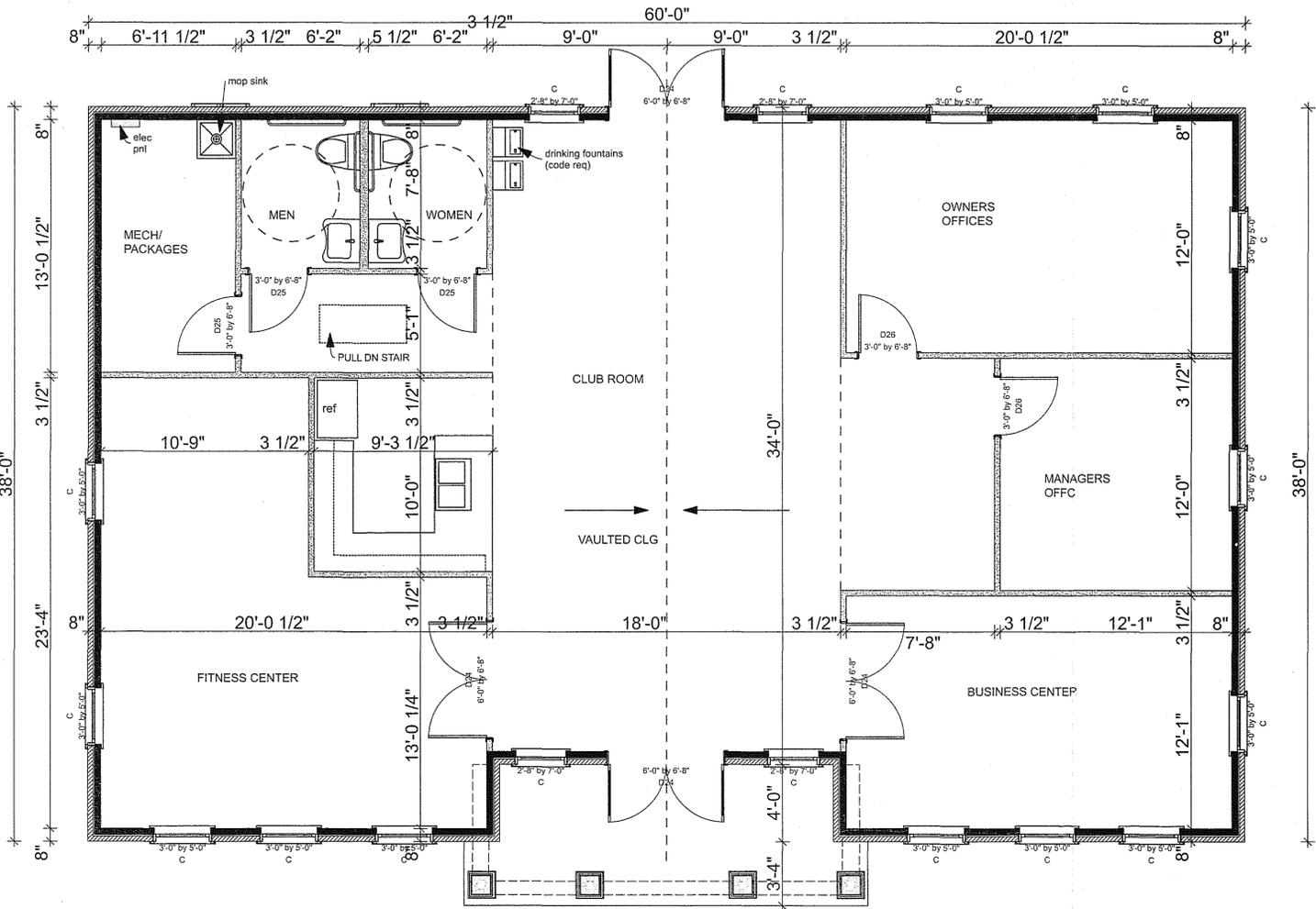
4 RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



5 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



1 1st FLOOR  
SCALE: 1/4" = 1'-0"

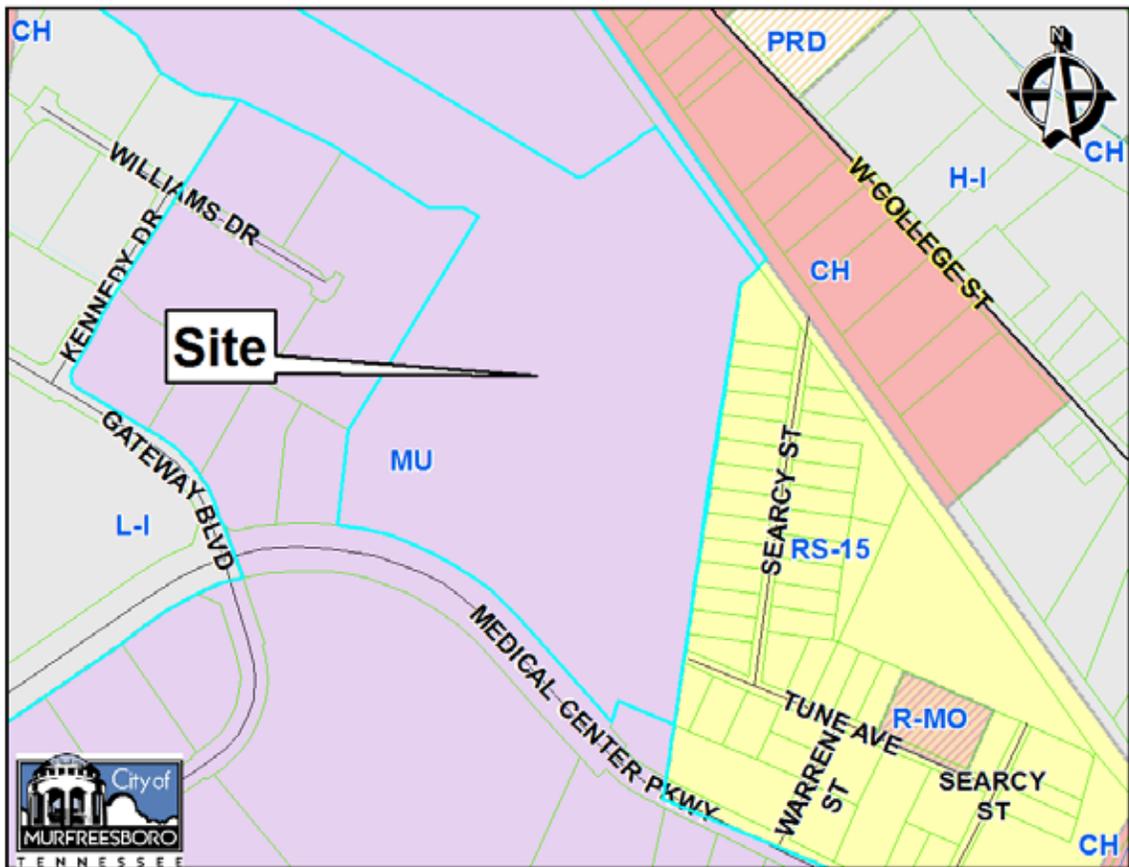


**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**5.a. Fountains at Gateway [2016-3002 & ] final design review for 11,248 ft<sup>2</sup> building located on 12.3 acres zoned MU & GDO-3 located along Medical Center Parkway, Hearthstone group LLC developer.**

This is the initial/final design review for a new 11,248 square foot restaurant/retail building located within the Fountains at Gateway development along Medical Center Parkway. The proposed use is permitted by right within the MU and GDO-3 districts. The proposed building is identified as Building 1A and is a one story (32' tall) multi-tenant building. This building has been modified since it was originally reviewed by the Planning Commission. The Fountains at Gateway received final design review and site plan approval for Phase 1 of a new multi-building office and retail development on March 18, 2015. Since that time, the developer has proposed changes to the architecture of the building. The BZA approved a variance from the base of building foundation planting on March 25, 2015 which applies to this building.

Staff recommends any approval of the final design review be made subject to all staff comments.



## GDO Comments

- 1) The developer needs to submit a list of all variances that will be required for the plan, if any, and be prepared to justify them during initial design review with the Planning Commission.
- 2) Commercial Building design must meet the following criteria:
  - Buildings shall not be designed to have long uninterrupted facades. Variations in the roof line or the wall plane shall be used to break up the mass of the building. *Offsets & variations in the facades are incorporated in the building design.*
  - Buildings shall have a defined base and cap. *The proposed building does not have a defined base. Please add a masonry base to the building and reduce the areas in which glass extends all the way to the ground.*
  - All facades visible from public access ways shall be similar to the primary facade in material and design. *This appears to be met along the fronts. The service area is located along the northern building elevations. Please submit enough information to demonstrate these areas are similar to fronts or are adequately screened.*
  - Roof forms shall be appropriate to the building's design and scale. *The roof form is consistent with the overall building design.*
- 3) The GDO provides a framework for the basic palette of architectural materials as follows:
  - ❖ **Primary materials:** Brick, Pre-cast architectural concrete, or Natural stone-limestone granite or cultured stone
  - ❖ **Secondary materials:** Stucco or synthetic stucco, Glazed curtain walls, Integrally colored split-face concrete block, and cementitious composition siding may be a secondary material
- 4) The architect provided a breakdown of the amount, in percentage, of all exterior building materials proposed for this project (including glass). Please note that the information is provided for the overall project as well as for each elevation.

*The building materials breakdown is as follows:*

	<b>South (front)</b>	<b>West (side)</b>	<b>East (front)</b>	<b>North (rear)</b>	<b>Total %</b>
<b>Primary (brick, cast stone)</b>	49	54	48	48	<b>49.8</b>
<b>Secondary (EIFS, cementitious composition siding)</b>	48	10	28	34	<b>30.0</b>
<b>Glass</b>	36	30	15	14	<b>23.8</b>

- 5) Final architectural elevations showing all exterior building elevations indicating building height, materials fenestrations and details must be submitted to the Planning Department prior to final design review. Any visible roof projections and visible mechanical equipment must be shown.
- 6) If there are any roof mounted units, then demonstrate on the architectural plans how they will be properly screened. Mechanical, utilities or other building elements that must be roof mounted shall be located and screened so they are not visible from any point six feet above ground level or from any public right of way. The appurtenances shall be grouped an

enclosed by screens that are designed to be compatible with the building architecture. The screens shall be set back from the roof edge a distance of no less than one and one half times their height. *Provide a Line of Sight study that demonstrates the rooftop mounted equipment is not visible.*

- 7) Are any outdoor dining areas proposed? If yes, then show these areas on the plans with fencing, seating, tables, trash receptacles and any proposed table umbrellas.
- 8) Provide additional details of the solid waste/service area enclosure. The screening detail should appropriately screen the solid waste elements (minimum of 8 feet tall) with an opaque gate.
- 9) Prior to final design review, provide a compliant building materials board with colored architectural renderings must be submitted to the Planning Department.
- 10) A minimum of 10 feet (Zoning Ordinance) and 20 feet (DRC Regulation) is required between the proposed buildings and the parking lot.
- 11) A 5 foot minimum width landscape strip shall be provided along the front and sides adjacent to the base of buildings or separated from buildings by a sidewalk. Such strip shall be planted with shrubs, trees, or other landscape materials. *The plans do not demonstrate compliance with this requirement; the BZA granted a variance to this requirement for Buildings 1 and 1A.*
- 12) Provide details of the lighting fixture selection.
- 13) Outdoor display or sale of merchandise is prohibited. *No outdoor display of merchandise is shown on the plans*
- 14) Prior to construction beginning on any site within the GDO district, the owner, or owner's authorized agent shall provide the Planning and Engineering Department with seventy-two hours advance written notice. The Planning and Engineering staff may conduct on-site inspections as development and construction proceeds to monitor compliance with these design regulations and to assure that the construction is proceeding in accordance with the previously approved plans. *Informational comment.*
- 15) Submission of utility drawings. At the end of the construction period, by phase, the owner shall submit to the Planning and Engineering Department reproducible copies of record drawing (as-builts) showing the actual locations of all underground utilities and irrigation system. *Informational comment.*

### **Standard Staff Comments:**

- 1) This site plan is affected by the Major Thoroughfare Plan Medical Center Parkway has been constructed according to the plan.
- 2) Per the design engineer's certification on this plan, this property lies in Zones X, areas designated as outside the floodway and 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department. For proposed flagpole(s), the flagpole(s) must be

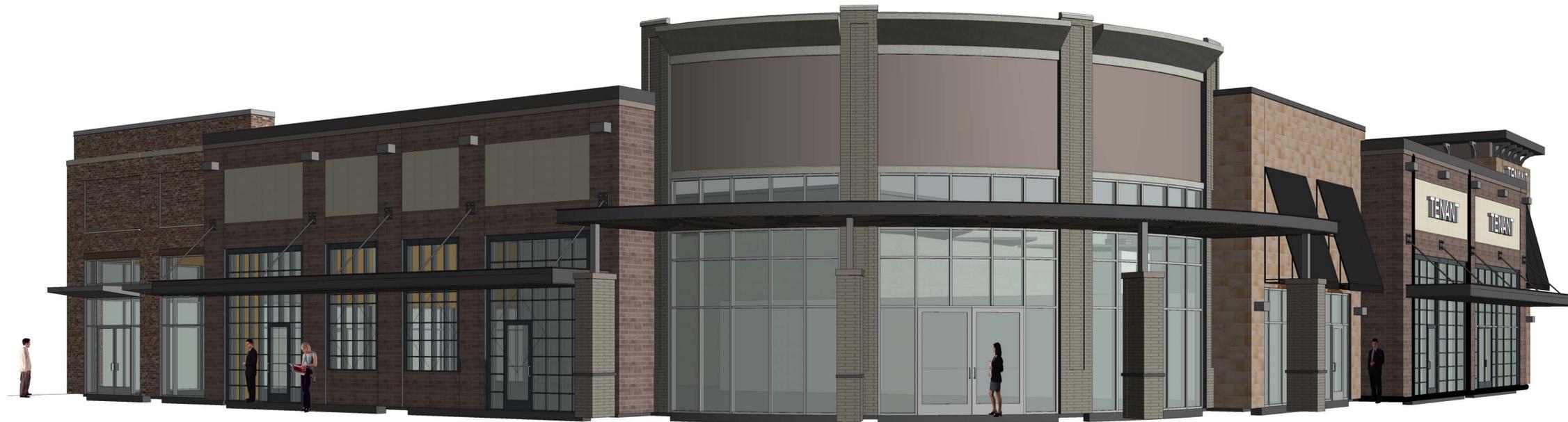
located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.

- 4) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

**Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) No comments.

AT GATE



**LIST OF DRAWINGS**

PROJECT COVER (THIS SHEET)

ARCHITECTURAL

- A1 ARCHITECTURAL SITE PLAN
- A2 ELEVATIONS
- A3 ELEVATIONS

CONTACTS

**DEVELOPER:** HEARTHSTONE GROUP, LLC  
 4925 VETERANS PARKWAY  
 MURFREESBORO, TN 37218  
 PHONE: (615) 890-4651  
 CONTACT: SCOTT GRABY  
 EMAIL: scott@hearthstone.net

**ARCHITECT:** H. MICHAEL HINDMAN ARCHITECTS, P.C.  
 1607 WESTGATE CIRCLE, SUITE 100  
 BRENTWOOD, TENNESSEE 37027  
 PHONE: (615) 370-3252  
 PROJECT ARCHITECT: H. MICHAEL HINDMAN  
 EMAIL: mhindman@hmharchitects.com  
 CONTACT: TYLER THAYER  
 EMAIL: thayer@hmharchitects.com

# FOUNTAINS RETAIL 1A

PLANNING COMMISSION MARCH 2016



**H. Michael Hindman**  
Architects, P.C.

1607 Westgate Circle, Suite 100  
Brentwood, Tennessee 37174  
615.370.3252 | www.hmharchitects.com



**PROJECT BOUNDARY**

**FUTURE  
RETAIL  
BUILDING 1B**

ONE STORY  
9,500 S.F.

**OFFICE BUILDING 1**

FOUR STORIES @ 25,000 S.F.  
100,000 S.F.  
(PARTIAL RETAIL ON 1ST STORY)

**NEW RETAIL  
BUILDING 1A**

ONE STORY  
11,248 S.F.

Revisions

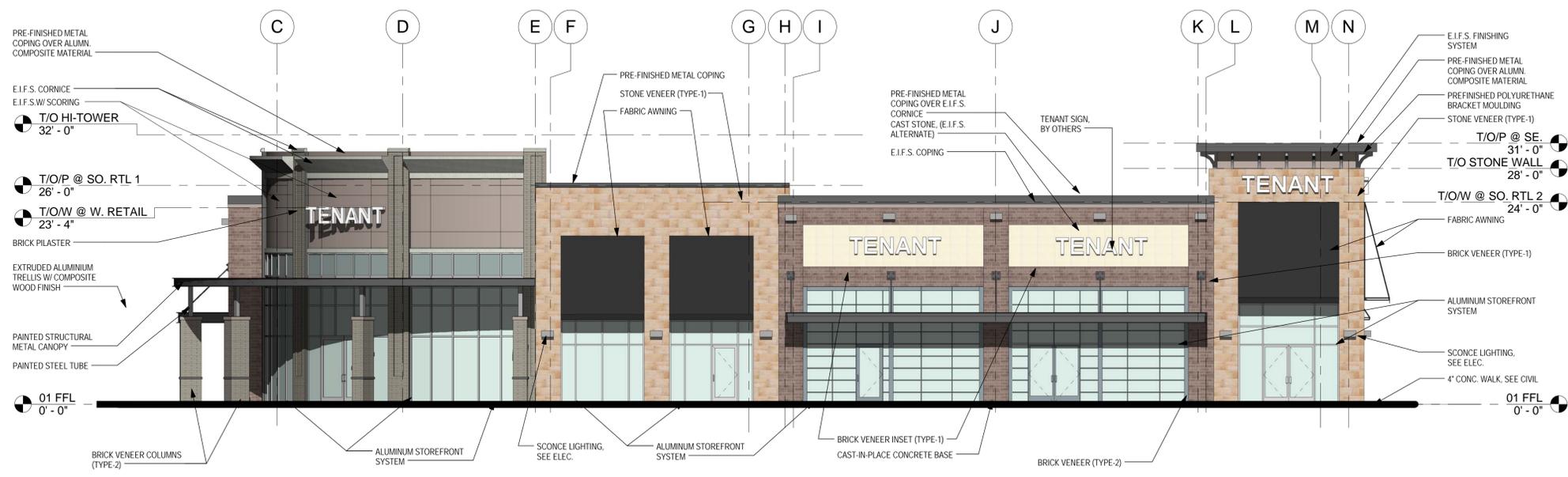
HMH Job Number  
14052.R1

Drawn By  
TT

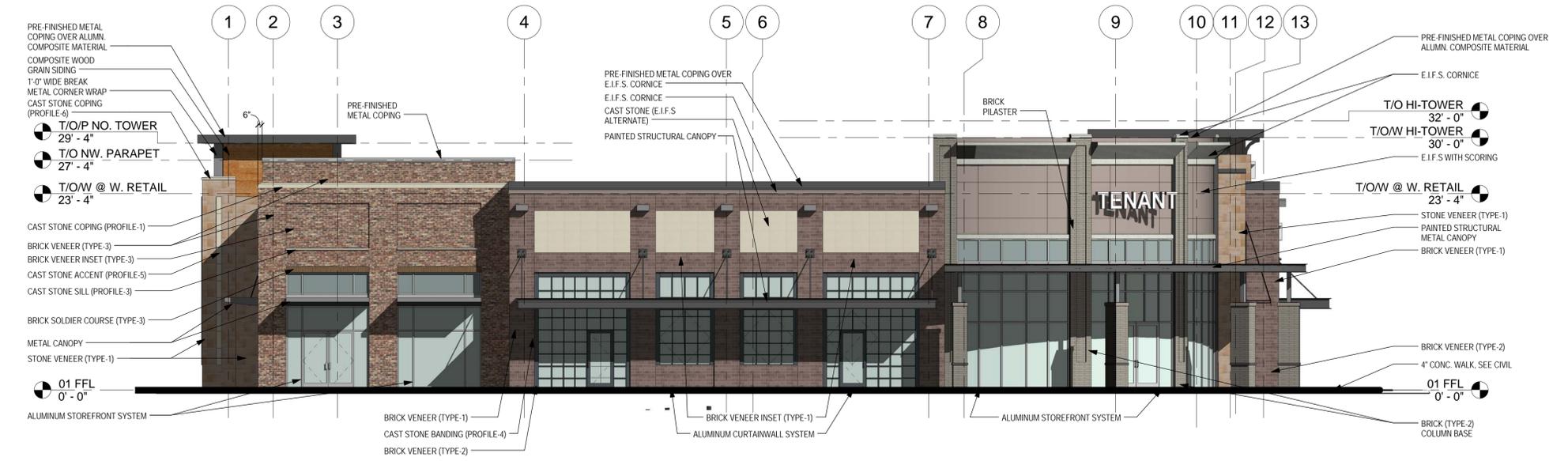
Date  
03.31.2016

Drawing  
ARCHITECTURAL SITE  
PLAN

**A1**



**1 SOUTH ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"

**NOTES:**

1. LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION.
5. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.

**EXTERIOR FINISH SCHEDULE (PC)**

MATERIAL	MANUFACTURER	STYLE/COLOR
BRICK 1	SIoux CITY BRICK	SILVERSTONE GREY - UTILITY   HOLCIM MORTAR - OYSTER WHITE
BRICK 2	INTERSTATE BRICK	PEWTER - NORMAN   HOLCIM MORTAR - OYSTER WHITE
BRICK 3	SIoux CITY BRICK	CHARLESTON OLD HERITAGE - MODULAR   HOLCIM MORTAR - OYSTER WHITE
STONE 1	ROCKCAST	SAVANNAH 3 5/8" THICK X 1'-0" X 2'-0" SMOOTH/ HOLCIM DESERT BUFF
CAST STONE (P-1)	ROCKCAST	BUFFSTONE: SMOOTH - CUSTOM SHAPE   HOLCIM MORTAR - USE SAME MORTAR AS ADJACENT MASONRY
CAST STONE (P-2)	ROCKCAST	BUFFSTONE: SMOOTH - SL400   HOLCIM MORTAR - USE SAME MORTAR AS ADJACENT MASONRY
CAST STONE (P-3)	ROCKCAST	BUFFSTONE: SMOOTH - CUSTOM   HOLCIM MORTAR - USE SAME MORTAR AS ADJACENT MASONRY
CAST STONE (P-4)	ROCKCAST	BUFFSTONE: SMOOTH - WT825   HOLCIM MORTAR - USE SAME MORTAR AS ADJACENT MASONRY
CAST STONE (P-5)	ROCKCAST	BUFFSTONE: SMOOTH - ST005   HOLCIM MORTAR - USE SAME MORTAR AS ADJACENT MASONRY
CAST STONE (P-6)	ROCKCAST	BUFFSTONE: SMOOTH - CO400   HOLCIM MORTAR - USE SAME MORTAR AS ADJACENT MASONRY
E.I.F.S. 1	DRYVIT, STO, OR EQUAL	COLOR - TBD   FINISH - TBD
E.I.F.S. 2	DRYVIT, STO, OR EQUAL	COLOR - TBD   FINISH - TBD
E.I.F.S. 3	DRYVIT, STO, OR EQUAL	COLOR - TBD   FINISH - TBD
METAL COPING	BERRIDGE, OR EQUAL	BLACK
METAL TRIM	BERRIDGE, OR EQUAL	BLACK
METAL PANEL	REYNOBOND, OR EQUAL	COLORWELD 500 - BLACK
PAINT	SHERWIN WILLIAMS, OR EQUAL	SW 6258 - TRICORN BLACK
STOREFRONT SYSTEM	TUBELITE, OR EQUAL	CLEAR ANODIZED ALUMINUM   4 1/2" X 2"
STOREFRONT SYSTEM	TUBELITE, OR EQUAL	CLEAR ANODIZED ALUMINUM   6 1/2" X 2"
CURTAIN WALL SYSTEM	TUBELITE, OR EQUAL	CLEAR ANODIZED ALUMINUM   6 1/4" X 2"
GLAZING	PPG, OR EQUAL	SOLARBAN 70XL (2) ON STARPHIRE + CLEAR INSULATING GLASS
SPANDREL GLAZING	PPG, OR EQUAL	SOLARBAN 70XL (2) ON OPTIGRAY + CLEAR INSULATING GLASS + HARMONIZING OPACI-COAT-300
FABRIC AWNING	SUNSHADE	BLACK
COMPOSITE WOOD	NEW TECH	COLOR TO MATCH ADJACENT OFFICE BUILDING

**MATERIALS CALCULATIONS**

OVERALL BUILDING MATERIALS		
PRIMARY MASONRY MATERIALS	6,845 S.F.	50%
SECONDARY GLASS	3,345 S.F.	24%
TERTIARY MISC. MATERIALS	3,611 S.F.	26%
<b>TOTAL WALL AREA</b>	<b>13,801 S.F.</b>	<b>100%</b>

**MATERIALS...**

SOUTH ELEVATION BREAKDOWN		
STONE/CAST	926 S.F.	25%
BRICK	862 S.F.	24%
E.I.F.S	467 S.F.	12%
METAL PANEL	103 S.F.	3%
GLASS	1328 S.F.	36%
<b>TOTAL WALL AREA</b>	<b>3686 S.F.</b>	<b>100%</b>

**MATERIALS...**

WEST ELEVATION BREAKDOWN		
BRICK	1696 S.F.	47%
CAST STONE	232 S.F.	7%
E.I.F.S	324 S.F.	9%
METAL PANEL	248 S.F.	6%
GLASS	1089 S.F.	30%
COMPOSITE WOOD	38 S.F.	1%
<b>TOTAL WALL AREA</b>	<b>3627 S.F.</b>	<b>100%</b>

Revisions

HMH Job Number 14052.R1

Drawn By TT

Date 03.31.2016

Drawing ELEVATIONS

**A2**



**NOTES:**

- 1.LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
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5. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.

**EXTERIOR FINISH SCHEDULE (PC)**

MATERIAL	MANUFACTURER	STYLE/COLOR
BRICK 1	SIoux CITY BRICK	SILVERSTONE GREY - UTILITY   HOLCIM MORTAR - OYSTER WHITE
BRICK 2	INTERSTATE BRICK	PEWTER - NORMAN   HOLCIM MORTAR - OYSTER WHITE
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STONE 1	ROCKCAST	SAVANNAH 3 5/8" THICK X 1'-0" x 2'-0" SMOOTH   HOLCIM DESERT BUFF
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E.I.F.S. 1	DRYVIT, STO, OR EQUAL	COLOR - TBD   FINISH - TBD
E.I.F.S. 2	DRYVIT, STO, OR EQUAL	COLOR - TBD   FINISH - TBD
E.I.F.S. 3	DRYVIT, STO, OR EQUAL	COLOR - TBD   FINISH - TBD
METAL COPING	BERRIDGE, OR EQUAL	BLACK
METAL TRIM	BERRIDGE, OR EQUAL	BLACK
METAL PANEL	REYNOBOND, OR EQUAL	COLORWELD 500 - BLACK
PAINT	SHERWIN WILLIAMS, OR EQUAL	SW 6258 - TRICORN BLACK
STOREFRONT SYSTEM	TUBELITE, OR EQUAL	CLEAR ANODIZED ALUMINUM   4 1/2" X 2"
STOREFRONT SYSTEM	TUBELITE, OR EQUAL	CLEAR ANODIZED ALUMINUM   6 1/2" X 2"
CURTAIN WALL SYSTEM	TUBELITE, OR EQUAL	CLEAR ANODIZED ALUMINUM   6 1/4" X 2"
GLAZING	PPG, OR EQUAL	SOLARBAN 70XL (2) ON STARPHIRE + CLEAR INSULATING GLASS
SPANDREL GLAZING	PPG, OR EQUAL	SOLARBAN 70XL (2) ON OPTIGRAY + CLEAR INSULATING GLASS + HARMONIZING OPACI-COAT-300
FABRIC AWNING	SUNSHADE	BLACK
COMPOSITE WOOD	NEW TECH	COLOR TO MATCH ADJACENT OFFICE BUILDING

**MATERIALS CALCULATIONS**

OVERALL BUILDING MATERIALS		
PRIMARY MASONRY MATERIALS	6,845 S.F.	50%
SECONDARY GLASS	3,345 S.F.	24%
TERTIARY MISC. MATERIALS	3,611 S.F.	26%
<b>TOTAL WALL AREA</b>	<b>13,801 S.F.</b>	<b>100%</b>

**MATERIALS...**

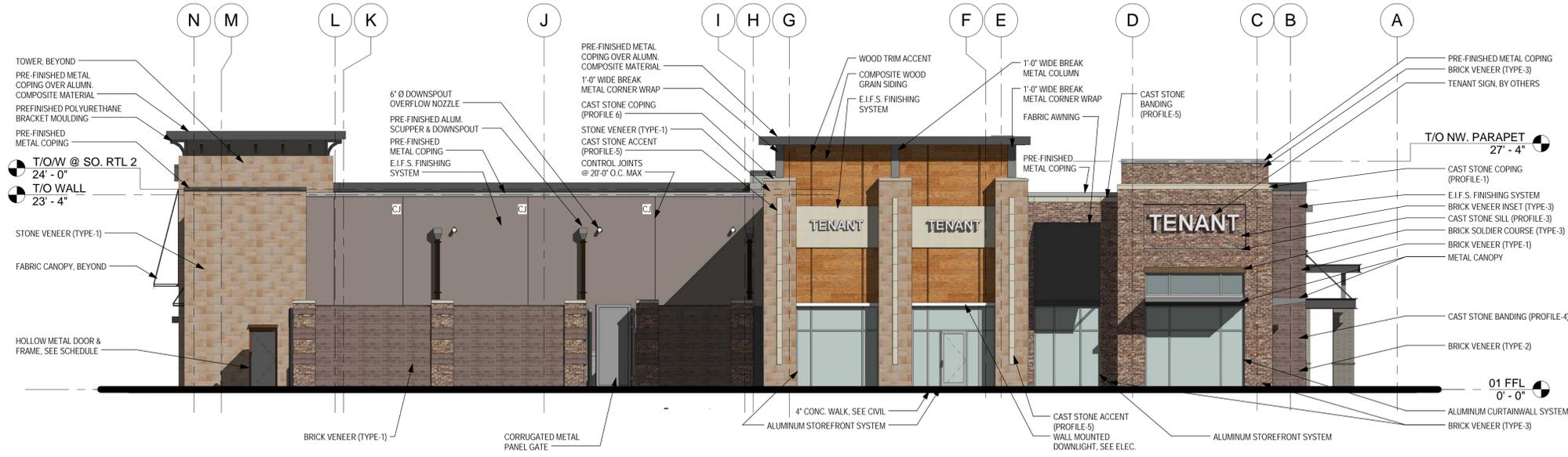
EAST ELEVATION BREAKDOWN

STONE/CAST	803 S.F.	25%
BRICK	746 S.F.	23%
COMPOSITE WOOD	151 S.F.	5%
METAL PANEL	285 S.F.	9%
GLASS	484 S.F.	15%
E.I.F.S.	755 S.F.	23%
<b>TOTAL WALL AREA</b>	<b>3224 S.F.</b>	<b>100%</b>

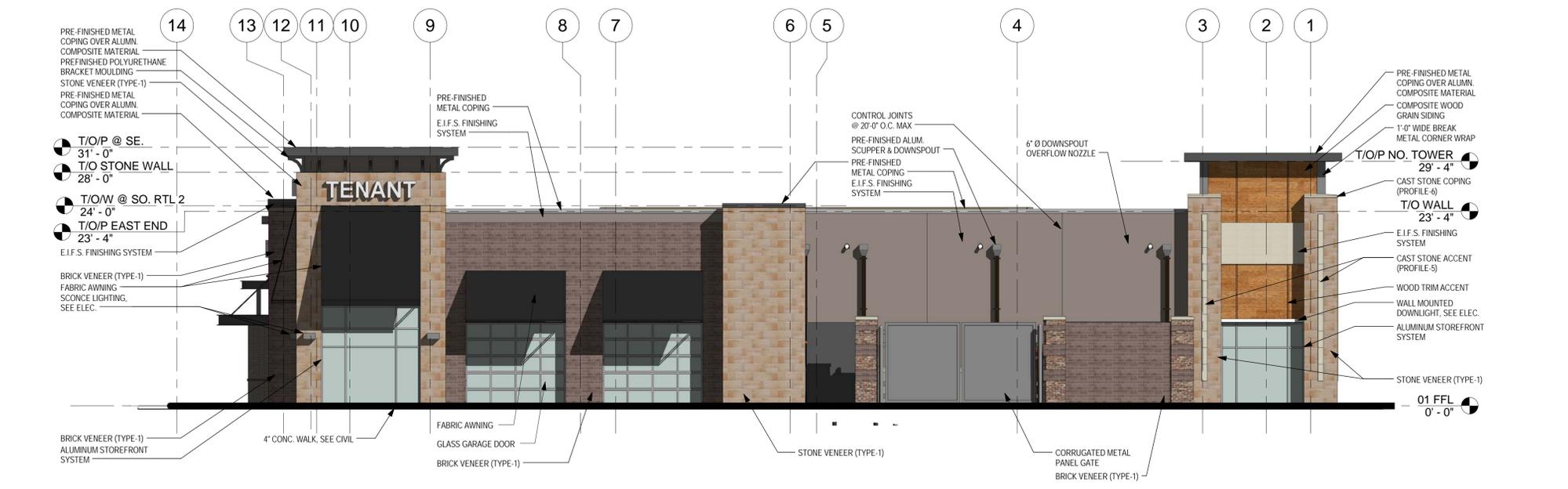
**MATERIALS...**

NORTH ELEVATION BREAKDOWN

STONE/CAST STONE	472 S.F.	14%
BRICK	1108 S.F.	34%
COMPOSITE WOOD	302 S.F.	9%
METAL PANEL	125 S.F.	4%
GLASS	444 S.F.	14%
E.I.F.S.	813 S.F.	25%
<b>TOTAL WALL AREA</b>	<b>3264 S.F.</b>	<b>100%</b>



**1 NORTH ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"



**2 EAST ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"

Revisions

HMH Job Number 14052.R1

Drawn By TT

Date 03.31.2016

Drawing ELEVATIONS

**A3**

DEVELOPER: HEARTHSTONE GROUP, LLC  
ATTN: SCOTT GRABY  
ADDRESS: 4925 VETERANS PARKWAY  
MURFREESBORO, TN 37128  
TAX MAP: 91  
PARCEL: 2.00  
(GATEWAY DISTRICT OVERLAY 3)  
ZONING: MIXED USE (MU).  
MINIMUM BUILDING SETBACK REQUIREMENTS:  
FRONT SETBACK: 15'  
SIDE SETBACK: 10'  
REAR SETBACK: 20'  
MAXIMUM HEIGHT - 150'  
FLOOD MAP PANEL: 470168 0260 H ZONE: X

**Site Data**

LAND AREA: 536,659 S.F. / 12.32 Ac.±  
PROPOSED BUILDING COVERAGE: 47,800 S.F.  
PROPOSED HARD SURFACE AREA: 239,931 S.F.  
PROPOSED PERVIOUS SURFACE: 52,207 S.F.  
PROPOSED TOTAL HARD SURFACE AREA: 287,731 S.F.  
OPEN SPACE AREA: 248,928 S.F. / 5.71 Ac.± (46.3%)  
OPEN SPACE DEFINED AS ALL AREAS NOT COVERED BY HARD SURFACE (BUILDING, DRIVE, OR SIDEWALKS)  
FORMAL OPEN SPACE REQUIRED: 3% OF SITE AREA = 16,100 S.F.  
FORMAL OPEN SPACE PROVIDED: 53,812 S.F. (10.0%)  
FORMAL OPEN SPACE HARDSCAPE TO BE DESIGNED BY A LANDSCAPE ARCHITECT.

PHASE 1	
LAND AREA	12.32 ACRES
OFFICE BUILDING "1"	4 STORIES / 100,000 S.F. (INCLUDES 13,000 S.F. RETAIL)
RETAIL BUILDING "1A"	1 STORY / 11,100 S.F.
RETAIL BUILDING "1B"	1 STORY / 11,700 S.F.
<b>TOTAL BUILDING AREA</b>	<b>122,800 S.F.</b>
<b>PARKING REQUIRED</b>	
OFFICE	87,000 S.F. @ 1 SPACE / 300 S.F. = 290 SPACES
RETAIL	20,800 S.F. @ 1 SPACE / 300 S.F. = 70 SPACES
RESTAURANT	15,000 S.F. @ 1 SPACE / 100 S.F. = 150 SPACES
<b>TOTAL REQUIRED</b>	<b>510 SPACES</b>
<b>PARKING PROVIDED</b>	<b>524 SPACES = 1 SPACE / 224 S.F. = 2.3 / 1,000 S.F.</b>

THIS PROPERTY IS LOCATED WITHIN THE WEST FORK STONES RIVER LOWER DRAINAGE BASIN.

**NOTES:**

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the county register of deeds. Those utilities that participate in the Tennessee one call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- A separate R.O.W. Excavation permit issued at the street department will be required for any excavation or construction in the public R.O.W.
- No signage is approved with this Site Plan. A separate permit must be obtained from the City Building and Codes Department.
- Per the City of Murfreesboro, all planting areas shall be mulched with a three to four inch layer of bark, pine needles, or other similar material to cover the complete planting area, and other areas shall be in grass and grass cover.

**LEGEND**

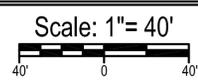
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- ⊕ Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- 00.0 Existing Spot Elevations
- 00.0 Proposed Spot Elevations
- SF Siltation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Turf Reinforcement Mat
- T Existing Telephone & Electric Line
- UGE Existing Underground Electric Line
- CMP Corrugated Metal Pipe
- RCP Reinforced Concrete Pipe
- ⊕ Existing Electric Box
- ⊕ Existing Telephone Box
- ⊕ Existing Cable Box

LEGEND FOR MONUMENTS  
IPF ○ IRON PIN SET  
IPF ○ IRON PIN END  
○ RAILROAD SPIKE  
— FENCE  
● SURVEY POINT  
▲ NAIL  
▲ CONC. MARKER END.

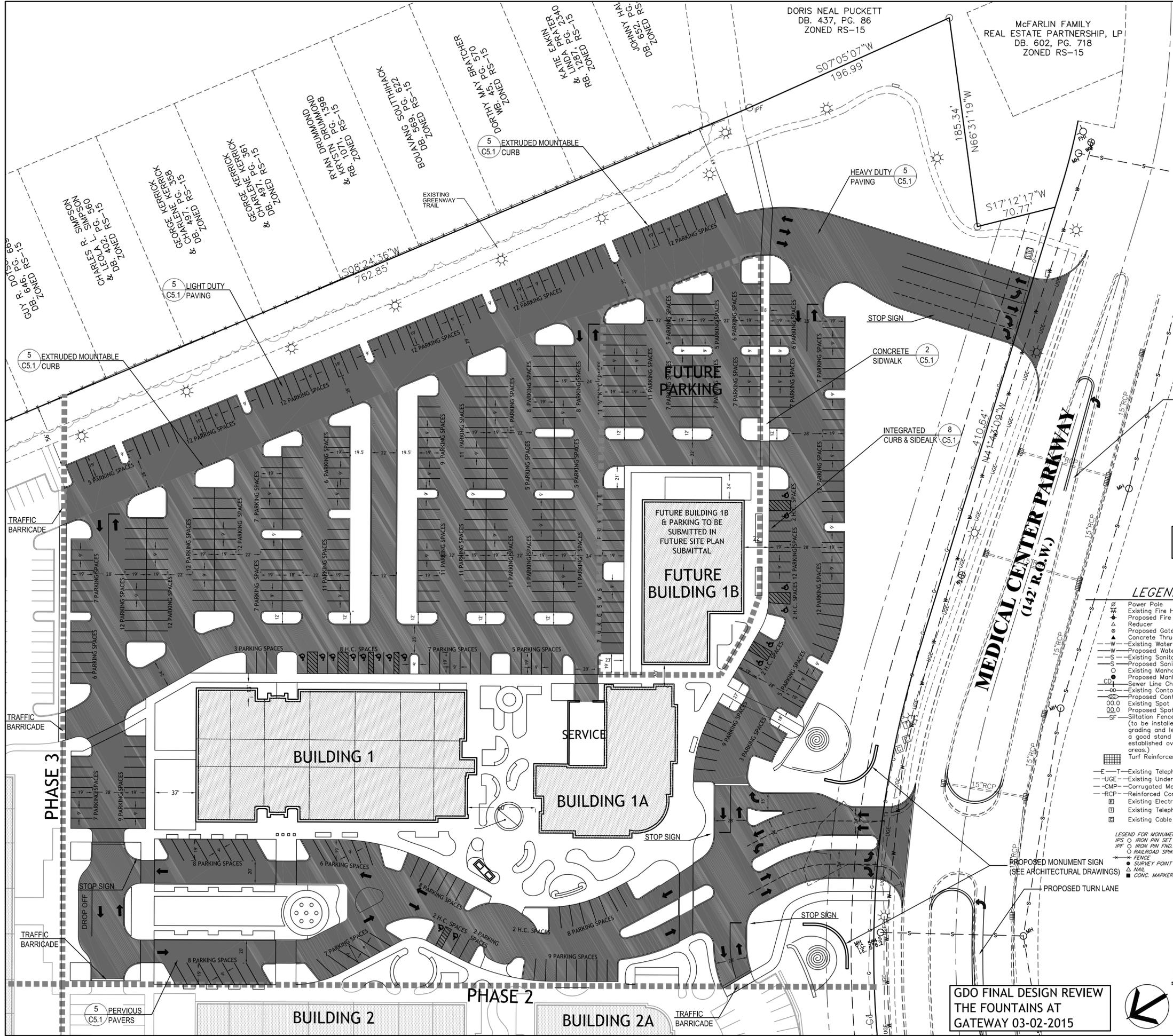
This survey is a TOPOGRAPHIC SURVEY for INFORMATION ONLY and is NOT A GENERAL PROPERTY SURVEY as defined under RULE 0820-3-.07

**HSHUDDLESTON-STEELE ENGINEERING, INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE : (615)893 - 4084, FAX: (615)893 - 0080

**PHASE I GEOMETRIC PLAN**



GDO FINAL DESIGN REVIEW  
THE FOUNTAINS AT GATEWAY 03-02-2015



**The Fountains at Gateway**  
HEARTHSTONE GROUP  
MURFREESBORO, TENNESSEE

PRELIMINARY FOR REVIEW ONLY

Revisions

HM Job Number 14052  
Drawn By JSR  
Date 03.02.15  
Drawing

**C2.0**

Client Project: THE FOUNTAINS AT GATEWAY (PHASE I) OFFICE BUILDINGS, C.D. 3/2/2015 12:45:12 PM, A40000340000

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
MARCH 16, 2016**

**5.b. Home 2 Suites & Tru Dual Flag [2016-3049 & 2016-6005] initial design review for 85,080 ft<sup>2</sup> hotel on 3.3 acres zoned L-I & GDO-1 located along North Thompson Lane, Boro Hotel Partners, LLC developer.**

This is the final design review for a new 85,080 square foot dual flag hotel located along North Thompson Lane, just north of the Tangerine salon and south of On Target shooting range. The site backs up to undeveloped property located along Van Cleve Lane. The proposed use “hotel” is permitted by right within the L-I and GDO-1 districts. The proposed building is a four story structure (60’ 3”) with two hotel brands- Home 2 Suites and Tru. The Planning Commission approved a 91 room Home 2 Suites on this site with a potential restaurant in 2015. The developer now wishes to construct the dual brand hotel and eliminate the proposed restaurant. The hotel will share common areas, but will be divided into 2 wings, each of which will represent a different brand. A total of 154 rooms are proposed. The Planning Commission discussed the proposed architecture and provided the design team with comments at the initial design review meeting.

The design team and the developer should address all GDO comments prior to final design review at the Planning Commission. Staff recommends any approval of the final design review be made subject to all staff comments.



## GDO Comments

- 1) The developer needs to submit a list of all variances that will be required for the plan, if any, and be prepared to justify them during initial design review with the Planning Commission. *None requested*
- 2) Commercial Building design must meet the following criteria:
  - Buildings shall not be designed to have long uninterrupted facades. Variations in the roof line or the wall plane shall be used to break up the mass of the building.
  - Buildings shall have a defined base and cap.
  - All facades visible from public access ways shall be similar to the primary facade in material and design.
  - Roof forms shall be appropriate to the building's design and scale
- 3) During Final Design Review, the architect needs to be prepared to present the changes made to the building, and those changes that were not incorporated, and respond to the Planning Commission's concerns regarding architectural design as discussed during the Initial Design Review.
- 4) The GDO provides a framework for the basic palette of architectural materials as follows:
  - ❖ **Primary materials:** Brick, Pre-cast architectural concrete, or Natural stone-limestone granite or cultured stone
  - ❖ **Secondary materials:** Stucco or synthetic stucco, Glazed curtain walls, Integrally colored split-face concrete block, and cementitious composition siding may be a secondary material

	<b>East (front)</b>	<b>North (side)</b>	<b>South (side)</b>	<b>West (rear)</b>	<b>Total %</b>
<b>Primary (brick)</b>	52.3	50.5	47.8	46.8	<b>49.4</b>
<b>Secondary (EIFS &amp; cementitious composition siding)</b>	31.4	28.6	19.9	39.3	<b>29.8</b>
<b>Glass</b>	16.1	20.7	31.8	11.9	<b>20.1</b>

*The Planning Commission will need to discuss to determine if the submitted building is in keeping with the above mentioned palette.*

- 5) Final architectural elevations showing all exterior building elevations indicating building height, materials fenestrations and details must be submitted to the Planning Department prior to final design review. Any visible roof projections and visible mechanical equipment must be shown. *Submitted; no visible roof projections shown.*
- 6) Provide a detail of the proposed solid waste enclosure. The screening detail should appropriately screen the solid waste elements (minimum of 8 feet tall), made of a masonry enclosure to match the proposed building, with an opaque gate. *Provided- the structure is 10' tall, with a metal coping to match main building cap/coping and modular soldier course brick.*

- 7) If there are any roof mounted units, then demonstrate on the architectural plans how they will be properly screened. Mechanical, utilities or other building elements that must be roof mounted shall be located and screened so they are not visible from any point six feet above ground level or from any public right of way. The appurtenances shall be grouped and enclosed by screens that are designed to be compatible with the building architecture. The screens shall be set back from the roof edge a distance of no less than one and one half times their height. *Provide a Line of Sight study that demonstrates the rooftop mounted equipment is not visible.*
- 8) Prior to final design review, provide a compliant building materials board with colored architectural renderings must be submitted to the Planning Department. *A material board has been submitted. Provide information on the type of glass proposed and the material samples for the metal grates located below the windows.*
- 9) The applicant must provide drawings and/or visual aids illustrating all exterior signage graphics, art, lighting, and street furniture. When incorporated into the site, streetscape furnishings such as benches, receptacles, light fixtures, bollards, etc. shall create a uniform theme throughout the site. This entails the selection and specifications of products based on a harmonious design and compatibility with the architecture of the site and in conformance with standards adopted by the City. *This needs to be provided with the Final Design Review submittal. Visual aids for attached signage have been provided; graphics for the ground sign need to be submitted. Also provide info for the furniture; a reference to furniture is made on sheet L-1.1.*
- 10) Provide a detail of the proposed retaining wall. *Provided on page C4.1. Please provide information on the proposed color of the versa-lok system.*
- 11) The proposed fencing around the pool appears to brick. Will there be additional fencing (on top of the retaining wall around the detention pond)? If yes, then provide details of the proposed fencing. *No additional fencing proposed.*
- 12) The site must comply with the Gateway Streetscape Master Plan. *This includes sidewalks and street trees. Street trees along N Thompson Lane should be placed in a bed directly behind sidewalk.*
- 13) A minimum of 10 feet is required between the proposed buildings and the parking lot/access drives. *This is met.*
- 14) A minimum of 15 feet is required between the parking and adjacent property. *This is met*
- 15) Provided calculations of required and provided open space and an area plan identifying areas proposed to be counted as open space. Verify that what is being counted toward the minimum open space requirements meets the criteria to be considered as open space, as specified in the GDO regulations. *An open space plan has been provided on page L.2.*
- 16) Provided calculations of required and provided formal open space and an area plan identifying areas proposed to be counted as formal open space. Verify that what is being counted toward the minimum formal open space requirements meets the criteria to be considered as formally designed landscape areas including elements such as plaza areas, furnishings, recreation improvements, etc., as specified in the GDO regulations. *An open space plan has been provided on page L.2; please provide details of the pergola. Also, provide a detail of proposed furniture as referenced on page L-1.1.*

- 17) A 5 foot minimum width landscape strip shall be provided along the front and sides adjacent to the base of buildings or separated from buildings by a sidewalk. Such strip shall be planted with shrubs, trees, or other landscape materials. *This has been done*
- 18) All parking areas shall be screened and buffered from public right of way by berms or planting (or a combination thereof) which shall have a minimum height of three feet at the time of installation. *This has not been done.*
- 19) Show the required front landscaping yards (25' along arterials). *This has been done*
- 20) The GDO regulations call for existing trees to be preserved where possible. Provide a tree survey for all existing trees that can be preserved. *None proposed to be preserved*
- 21) Articulation of main entries should be emphasized and reinforced by creating a focal point with specimen plant material. Seasonal color can be considered wherever possible for special interest areas. *This has been done.*
- 22) Prior to Final Design Review, submit an irrigation plan indicating the location and extent of automatic underground irrigation systems including the location of any connection to the City's repurified water system; *Provided on page L3.0*
- 23) The Landscape Architect should contact all utility providers to locate any above ground structures that will be required for the site. After they have been located, adequate screening should be provided. *These appear to have been identified and screened.*
- 24) Show the locations of all site utilities, such as solid waste elements, utility boxes and HVAC units, on the site plan and landscape plan and demonstrate how the negative impacts of utilities such as electrical transformers and other mechanical equipment will be screened either with evergreen planting, building and equipment orientation, fencing, screening walls, grading and/or berming. Grouping these items together will usually make treatment more efficient and effective. *Identified & screened.*
- 25) Prior to Final Design Review, provide a lighting plan with specifications of site lighting layout, fixture selection, fixture height (including the base), and fixture photometric. Shoebox-style lighting fixtures shall not be used for poles of sixteen feet or less in height. White light is required and low-sodium lighting is prohibited. All lighting fixtures and poles will be reviewed for aesthetic quality and compatibility. *On-site lighting fixtures shall not exceed 30 feet . The photometric plan calls out 2 types of pole bases to be used (6" above grade in non-paved areas and 36' avoid grade in paved areas) therefore the site may need to specify different pole heights so that the mounting height does not exceed 30 feet. Provide details of the decorative wall pack lighting. Also, staff is concerned with fixture S3 as it does not appear to have a proper cut-off shield. Also, staff is concerned with the proposed location of several pole lights as they will conflict with required landscaping (see light & tree located in Landscape Island and northern perimeter planting yard). Please reconcile the two plans.*
- 26) Outdoor display or sale of merchandise is prohibited. *None shown.*
- 27) The applicant must provide a construction facilities plan and schedule to include the location and description of temporary signage, construction trailers and materials staging in storage area, construction access locations and parking. *Provided on page C1.0.*
- 28) Prior to construction beginning on any site within the GDO district, the owner, or owner's authorized agent shall provide the Planning and Engineering Department with seventy-two hours advance written notice. The Planning and Engineering staff may conduct on-site inspections as development and construction proceeds to monitor compliance with these

design regulations and to assure that the construction is proceeding in accordance with the previously approved plans. *Informational comment.*

- 29) Submission of utility drawings. At the end of the construction period, by phase, the owner shall submit to the Planning and Engineering Department reproducible copies of record drawing (as-builts) showing the actual locations of all underground utilities and irrigation system. *Informational comment.*

**Staff Comments:**

- 1) The submittals sheets need to measure no greater than 24x36 inch sheets
- 2) The developer should consider installing electric vehicle charging stations. If proposed, these elements should be shown on the plan.
- 3) On the site plan show the location of streets and driveways that intersect the adjoining public rights of ways adjacent to or across from the development tract. *Show the driveway for the adjacent site on the south side.*
- 4) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or [KNoel@MurfreesboroTN.gov](mailto:KNoel@MurfreesboroTN.gov). *Informational comment.*
- 5) Show how roof drains will connect to drainage system.
- 6) Please show required street scape elements along North Thompson lane.
- 7) Final retaining wall design will be required prior to the release of building permit.
- 8) Street trees along N Thompson Lane should be placed in a bed directly behind sidewalk. Frontage planning yard trees should be placed behind the street tree beds.
- 9) Please add a Sight Triangle at the intersection of northern exit point to the landscape plan. Any landscaping located in the sight triangle must meet the requirements of the Zoning Ordinance (no landscaping object or plant material, those meeting the requirements of the Zoning Ordinance, shall be allowed within the sight triangle at an elevation greater than 30 inches above the crown of pavement on the adjacent roadway.)
- 10) Please add a note and a typical diagram to the landscape plan that all service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Please identify what screening material will be used. Plant materials must meet or exceed the height of the structure that is to be screened.
- 11) Please verify that the Bosque Elm is appropriate for planting underneath the entry canopy. *Informational comment.*
- 12) Please provide 5' of clearance in the area of the FDC.
- 13) Please identify any fire hydrants on the landscape plan and provide minimum separations as required by MFRD.
- 14) Staff is concerned with future visibility issues of building and signs with current proposed landscape design. Staff suggests use groupings of trees in the frontage to open views sheds to the building and signs.
- 15) A right of Way Permit and bond may be required for work in the right of way. Please contact Danny Lowe in the Engineering Department at 615-893-6441 for additional details.

**Stormwater Comments:**

- 1) New development and redevelopment involving increase of 10,000 square feet of impervious area, on a lot or within a common plan of development of at least one acre must comply with the city's stormwater quality design standards. This development is required to comply with the City Stormwater Quality requirements.
- 2) Specify what type of water quality units will be used.
- 3) Provide a detail of structures 1 and 10 showing how water will be directed to the water quality units
- 4) A right of Way Permit and bond may be required for work in the right of way. Please contact Danny Lowe in the Engineering Department at 615-893-6441 for additional details.
- 5) As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City Engineer prior to construction progressing.
- 6) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 7) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
- 8) Prior to a building permit, the Stormwater Management Plan must be submitted, reviewed and approved.
- 9) Prior to a building permit, submit a Stormwater Management Record Sheet.
- 10) Prior to certificate of occupancy, submit a Stormwater Facilities Operation and Maintenance Plan.
- 11) Prior to certificate of occupancy, submit a Stormwater Facilities Maintenance Agreement signed by the owner.
- 12) Prior to certificate of occupancy, submit an Engineer's Certification of the construction of the stormwater management facilities.

**Standard Staff Comments:**

- 1) This site plan is not affected by the Major Thoroughfare Plan.
- 2) Per the design engineer's certification on this plan, this property lies in Zone X, areas designated as outside the floodway and 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department. For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.

- 4) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

**Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to [jnguyen@medtn.com](mailto:jnguyen@medtn.com).
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
  - Overhead – 40ft. 20ft either side of nearest power pole
  - Down Guys – 5ft x 30ft
  - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 12) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 13) Resubmit two sets of plans to MWSD for the review of the water and sewer.
- 14) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 15) Building permits are not to be issued until grease interceptor is approved.

- 16) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
- 17) All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
- 18) Submit calculations for grease interceptor sizing approval by MWSD. Minimum required size is 1000 gallons and must meet MWSD specifications.
- 19) The FOG applications must be completed and submitted to MWSD.
- 20) MWSD must receive contract prior to approving the plans.
- 21) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 22) The owner/developer must sign a Sign within a City Easement Agreement with MWSD.
- 23) Submit a copy of the final Site Lighting Plan to MWSD.
- 24) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 25) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 26) The existing sanitary sewer mains that will cross under or over the newly constructed utility main(s) or other infrastructure must undergo an inline Pipeline Assessment Certification Program (PACP) CCTV survey after construction of the new utility line has been completed and be submitted to MWSD for review and approval.

MAP 92, PARCEL 8.05  
BEN WOMACK  
R.B. 624, PG. 1494  
Zoned: RS-15

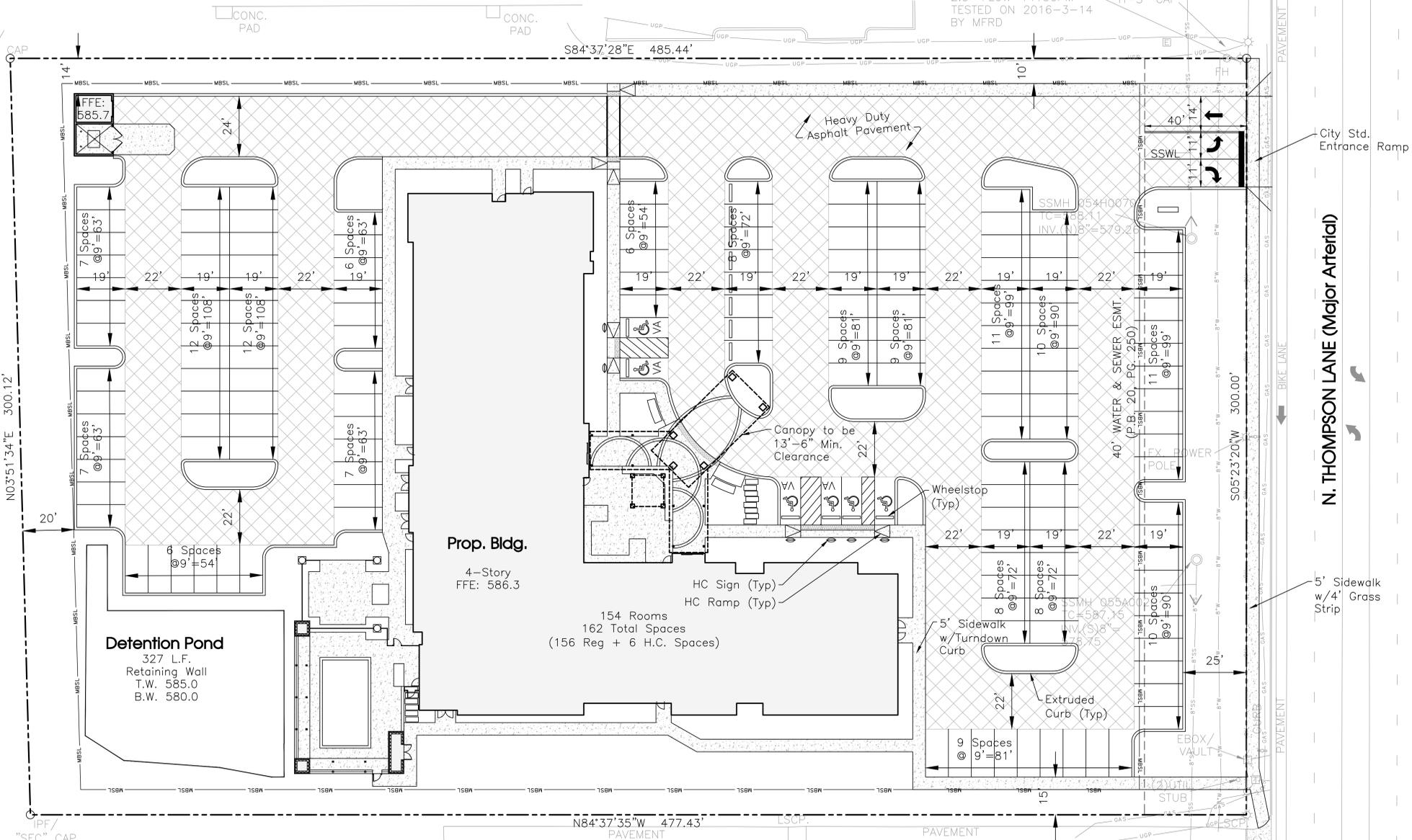
EXIST. BLDG.  
FFE=587.7±

MAP 92, PARCEL 27.23  
DARRELL SCARLETT  
R.B. 1344, PG. 3631  
P.B. 25, PG. 40  
Zoned: L-1

EX. FH 2531  
STATIC=84PSI  
RESIDUAL=72PSI  
2.5" FLOW=1418GPM  
TESTED ON 2016-3-14  
BY MFRD

SCI  
TC=585.01  
INV.(NE)18"=580.07

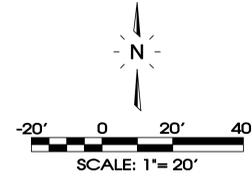
IPF/  
"H-S" CAP



MAP 92, PARCEL 27.22  
MARK AND DONNA McCARRALL  
R.B. 1077, PG. 2503  
LOT 1  
ELGIN OLIVER TRUST  
SUBDIVISION  
P.B. 23, PG. 53  
Zoned: L-1

Legend:			
□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	⬇	HC SIGN
○	EXIST. SEWER CLEANOUT	⬆	PROPOSED SIGN POST
⊕	EXIST. MANHOLE (SEWER & PHONE)	⬆	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	⬆	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	⬆	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	⬆	EXTRUDED CURB
⊕	EXIST. GAS RISER	⬆	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	⬆	TRAFFIC ARROW
⊕	EXIST. WATER METER	⬆	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⬆	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⬆	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	⬆	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⬆	RIP RAP
⊕	REDUCER	⬆	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⬆	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	⬆	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	⬆	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	⬆	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⬆	CATCH BASIN
⊕	GATE VALVE & BOX	⬆	CURB INLET
⊕	WATER METER	⬆	AREA DRAIN
⊕	GAS METER	⬆	HEADWALL
⊕	GREASE TRAP	⬆	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT	⬆	CONCRETE SWALE
⊕	MANHOLE	⬆	TYPE - X - HEADWALL

**Owner/Developer:**  
Boro Hotel Partners, LLC  
140 Dixie Ave.  
Lebanon, TN 37090  
Contact: Roshan Patel  
**Dead References:**  
R.Bk. 1416, Pg. 1675  
P.Bk. 20, Pg. 250  
13th Civil District in Rutherford County  
Map 92, Group 1, Parcel 27.20  
**Yard Requirements:**  
Front: 42'  
Side: 10'  
Rear: 20'  
**Intended Use:**  
Hotel  
**Land Use Data:**  
Zoned: L-1, GDO-1  
4-Story Building  
Building Height: 60'-3"  
Total Floor Area: 85,080 Sq. Ft.  
Total Land Area: 3.32± Acres  
**Parking Requirements:**  
154 x 154 Rooms = 154 Required Spaces  
Provided: 156 Regular + 6 H.C. = 162 Total Spaces  
**Flood Map No.:**  
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C260H dated January 5, 2007



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**river street architecture**  
architecture planning interiors  
714 cherry street, chattanooga, tennessee 37402  
p.423.634.0806 f.423.752.8469 www.river-st-architecture.com

**tru** BY HILTON  
BORO HOTEL PARTNERS LLC  
**HOME 2 SUITES & TRU DUAL FLAG**  
N. THOMPSON LANE | MURFREESBORO, TN 37129

**HOME 2**  
SUITES BY HILTON

Revision Schedule		
Rev. Num.	Rev. Date	Revision Description
2-2-16	PC Comments	
3-31-16		Final Design Review Set

Release Date: 2-25-16  
Project No.: 94090  
Site Plan

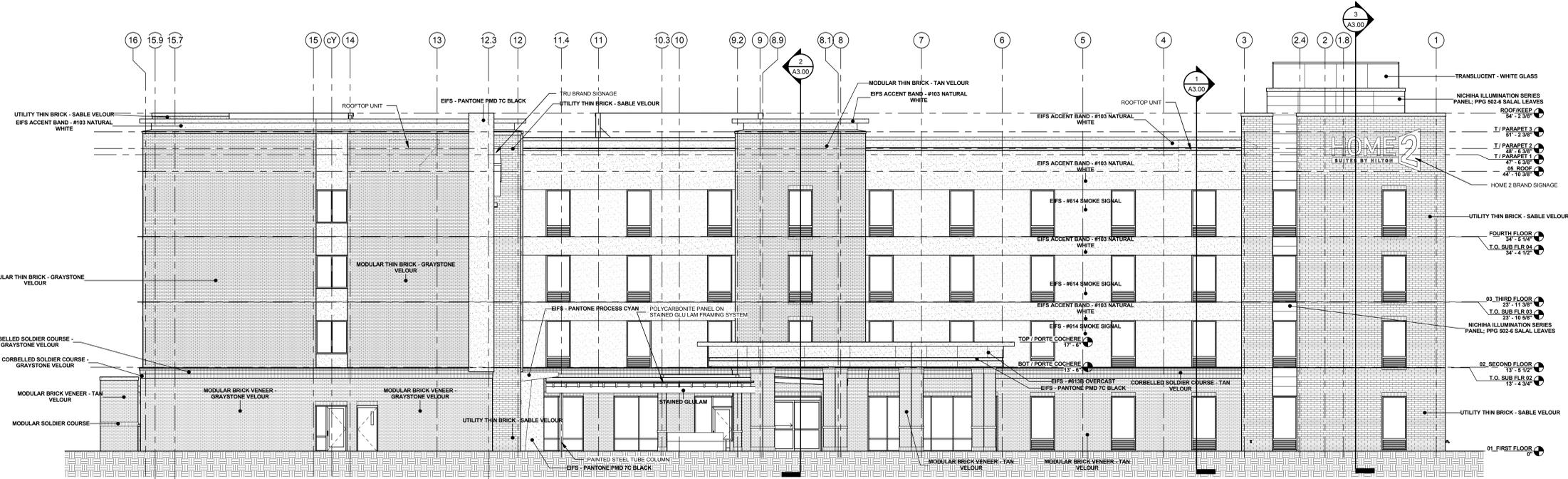
C2.0

TOTAL FACADE MATERIAL PERCENTAGES										
MATERIAL	EAST	NORTH	WEST	SOUTH	TOTALS					
MATERIAL	MATL AREA	MATL %								
GLASS	1,761 SF	16.1	2,155 SF	20.7	1,270 SF	11.9	3,233 SF	31.8	8,419 SF	20.0
BRICK	5,733 SF	52.3	5,252 SF	50.5	4,977 SF	46.8	4,856 SF	47.8	20,819 SF	49.4
EIFS	3,266 SF	29.8	2,931 SF	28.2	4,176 SF	39.3	2,026 SF	19.9	12,399 SF	29.4
EXT. MTL DOORS	24 SF	0.2	24 SF	0.2	213 SF	2.0	46 SF	0.5	307 SF	0.7
NICHHA PANEL	175 SF	1.6	40 SF	0.4	0 SF	0.0	0 SF	0	215 SF	0.5
TOTAL	10,959 SF	100	10,402 SF	100	10,636 SF	100	10,161 SF	100	42,156 SF	100

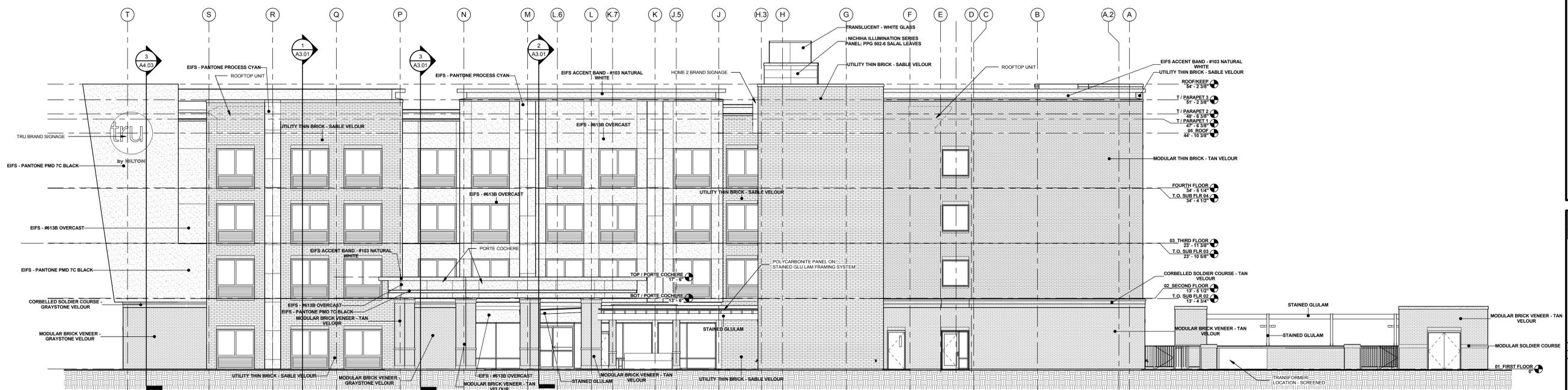
EXTERIOR MATERIALS LEGEND:		
MATERIAL	DESCRIPTION	MANUFACTURER
EIFS REVEAL	EIFS - COLOR - #103 NATURAL WHITE	DRYVIT
EIFS ACCENT BAND	EIFS - COLOR - #103 NATURAL WHITE	DRYVIT
EIFS - HOME 2 BODY	EIFS - COLOR - #614 SMOKE SIGNAL	DRYVIT
EIFS - TRU ACCENT	EIFS - COLOR - PANTONE PMS 7C BLACK	DRYVIT
EIFS - TRU BODY	EIFS - COLOR - #613B OVERCAST	DRYVIT
EIFS - TRU COLOR POP	EIFS - COLOR - PANTONE PROCESS CYAN	DRYVIT
MODULAR BRICK	BRICK (3 5/8" x 2 1/4" x 7 5/8") COLOR - GRAYSTONE VELOUR	LIBERTY BRICK - (423) 593-0957
MODULAR THIN BRICK	BRICK (1/2" x 2 1/4" x 7 5/8") COLOR - GRAYSTONE VELOUR	LIBERTY BRICK - (423) 593-0957
MODULAR BRICK	BRICK (3 5/8" x 2 1/4" x 7 5/8") COLOR - TAN VELOUR	LIBERTY BRICK - (423) 593-0957
MODULAR THIN BRICK	BRICK VENEER (1/2" x 2 1/4" x 7 5/8") COLOR - TAN VELOUR	LIBERTY BRICK - (423) 593-0957
UTILITY BRICK	BRICK (3 5/8" x 3 5/8" x 11 5/8") COLOR - SABLE VELOUR	LIBERTY BRICK - (423) 593-0957
UTILITY THIN BRICK	BRICK VENEER (1/2" x 3 5/8" x 11 5/8") COLOR - SABLE VELOUR	LIBERTY BRICK - (423) 593-0957
WINDOW FRAMES	CLEAR ANODIZED ALUMINUM	
STOREFRONT FRAMES	CLEAR ANODIZED ALUMINUM	
FIBER CEMENT PANEL	ILLUMINATION SERIES PAINTED PANEL - PPG #902-6 SALAL LEAVES	NICHHA



VIEW FROM NORTH THOMPSON LANE



1 EAST ELEVATION (N. THOMPSON LANE)  
1/8" = 1'-0"



2 NORTH ELEVATION  
1/8" = 1'-0"

MURFREESBORO FINAL DESIGN SUBMITTAL 03/31/2018  
3/30/2018 11:32:46 AM  
CHARLES R. FOWLER ARCHITECTS  
EXPIRATION DATE: MAY 31, 2018  
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HOME 2 SUITES & TRU DUAL FLAG  
N. THOMPSON LANE | MURFREESBORO, TN 37129



Rev. Num.	Rev. Date	Revision Description

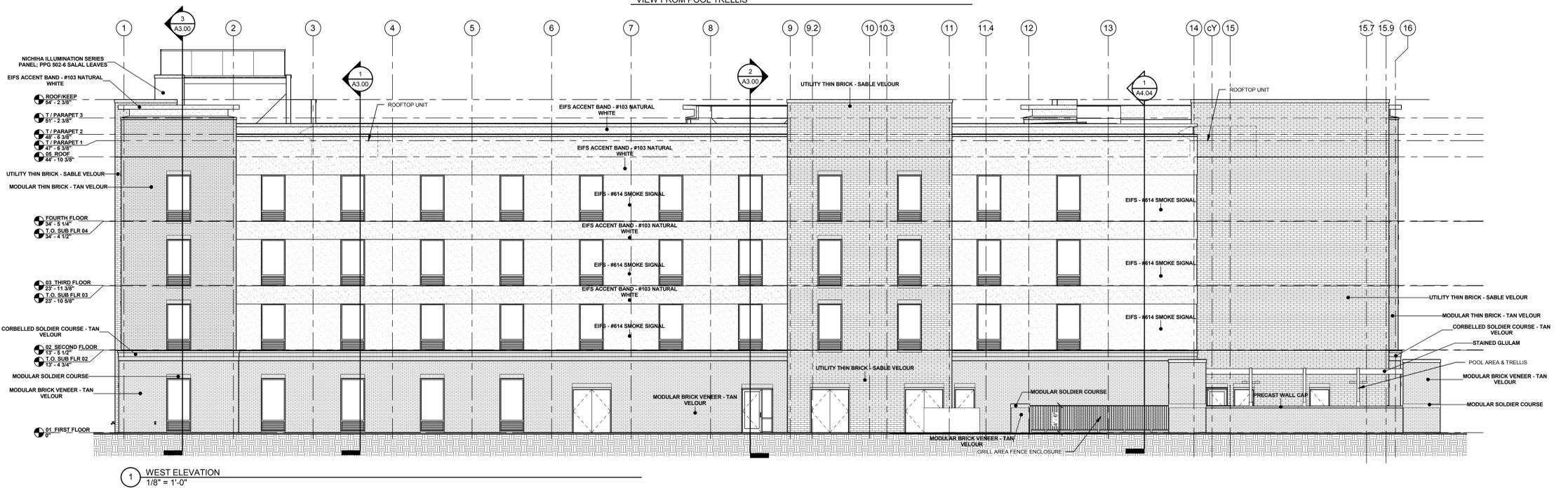
Release Date: 15119  
Project No.: 15119  
EXTERIOR ELEVATIONS

TOTAL FACADE MATERIAL PERCENTAGES										
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<b>TOTAL</b>	<b>10,959 SF</b>	<b>100</b>	<b>10,402 SF</b>	<b>100</b>	<b>10,636 SF</b>	<b>100</b>	<b>10,161 SF</b>	<b>100</b>	<b>42,158 SF</b>	<b>100</b>

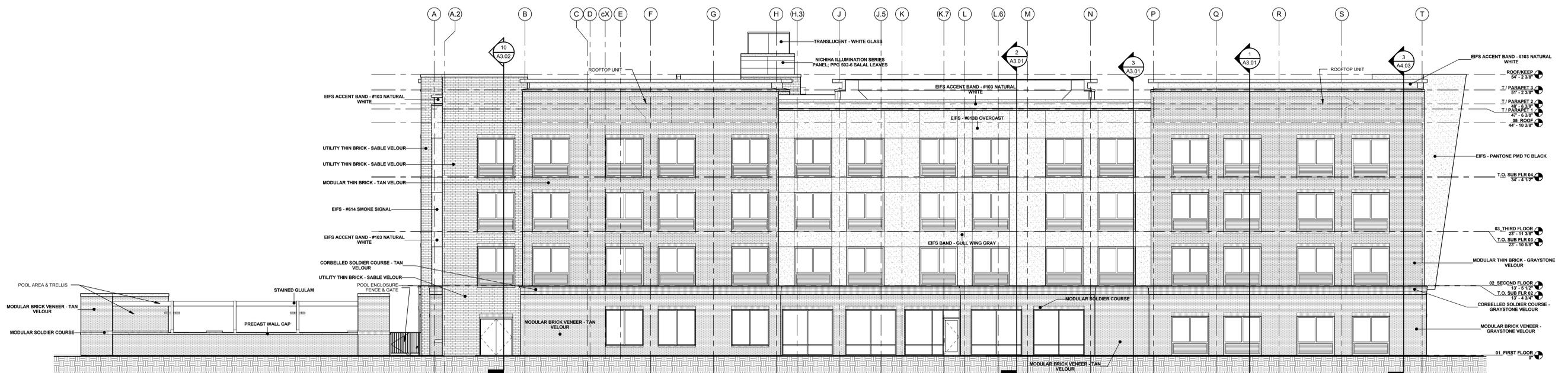
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EIFS - HOME 2 BODY	EIFS - COLOR - #614 SMOKE SIGNAL	DRYVIT
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EIFS - TRU BODY	EIFS - COLOR - #613B OVERCAST	DRYVIT
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UTILITY BRICK	BRICK (3 5/8" x 3 5/8" x 11 5/8") COLOR - SABLE VELOUR	LIBERTY BRICK - (423) 593-0957
UTILITY THIN BRICK	BRICK VENEER (1 1/2" x 3 5/8" x 11 5/8") COLOR - SABLE VELOUR	LIBERTY BRICK - (423) 593-0957
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STOREFRONT FRAMES	CLEAR ANODIZED ALUMINUM	
FIBER CEMENT PANEL	ILLUMINATION SERIES PAINTED PANEL - PPG #502-6 SALAL LEAVES	NICHHA



VIEW FROM POOL TRELLIS



1 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"

MURFREESBORO FINAL  
DESIGN SUBMITTAL  
03/31/2018

CHARLES R. FOWLER  
ARCHITECT  
EXPIRATION DATE: MAY 31, 2018

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p.423.634.0806 f.423.752.9499 www.river-st-architecture.com

**tru**  
by HILTON

BORO HOTEL PARTNERS LLC  
**HOME 2 SUITES & TRU DUAL FLAG**  
N. THOMPSON LANE | MURFREESBORO, TN 37129

**HOME 2**  
SUITES BY HILTON

Rev. Num.	Rev. Date	Revision Description

Release Date: 15119  
Project No.: 15119  
EXTERIOR ELEVATIONS

A2.01



1 EAST ELEVATION (FROM NORTH THOMPSON LANE)  
1/16" = 1'-0"



2 NORTH ELEVATION  
1/16" = 1'-0"



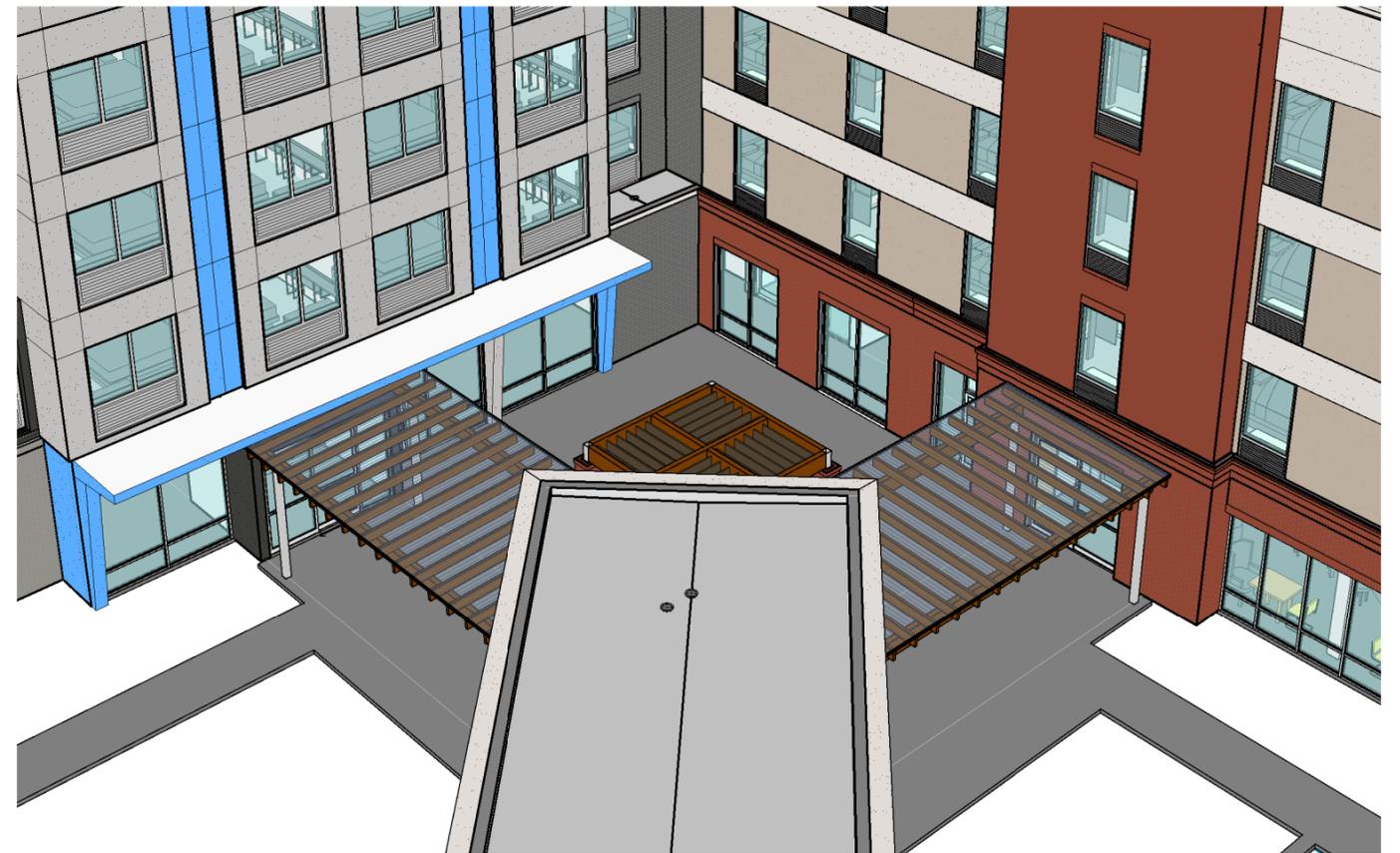
1 WEST ELEVATION  
1/16" = 1'-0"



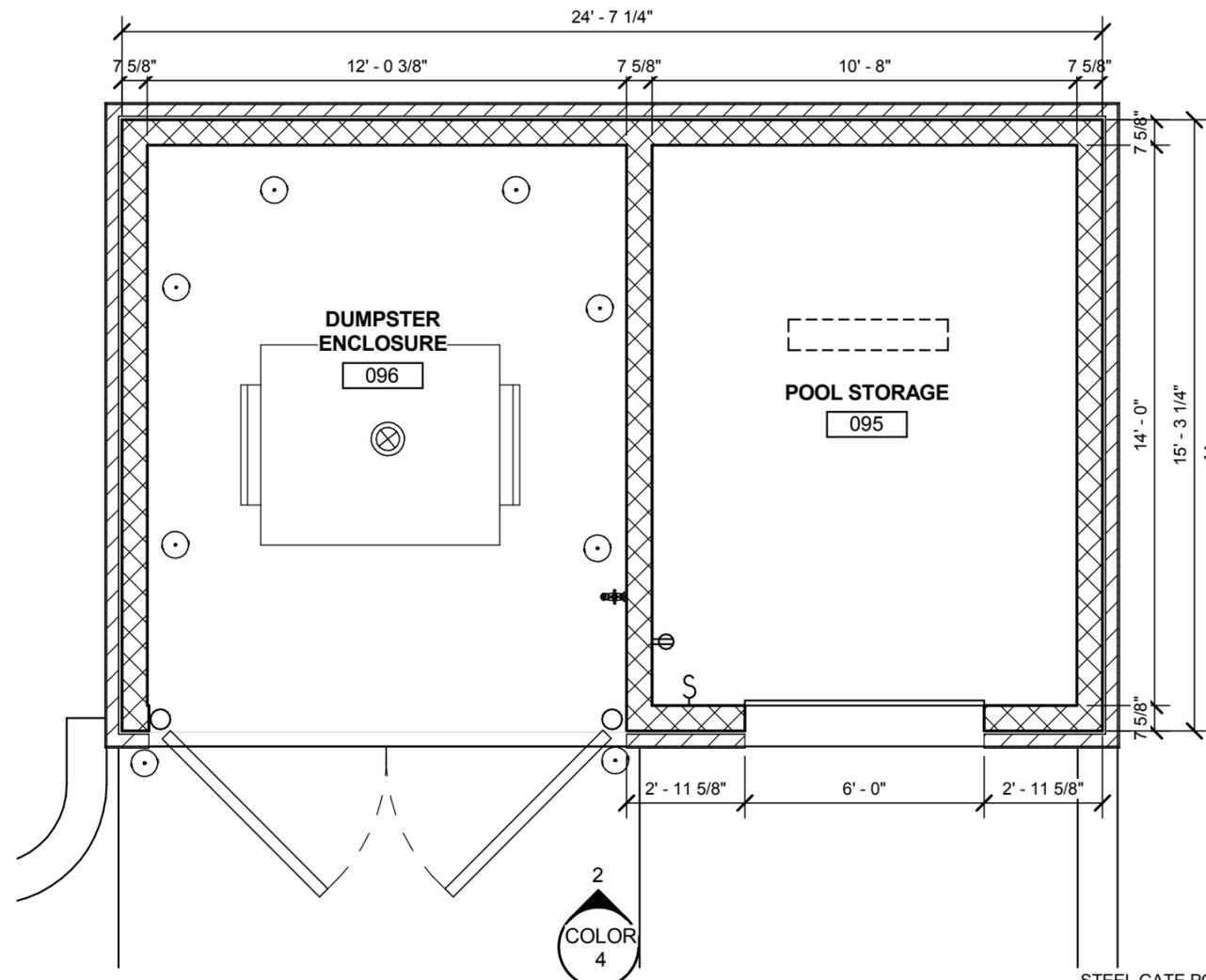
2 SOUTH ELEVATION  
1/16" = 1'-0"



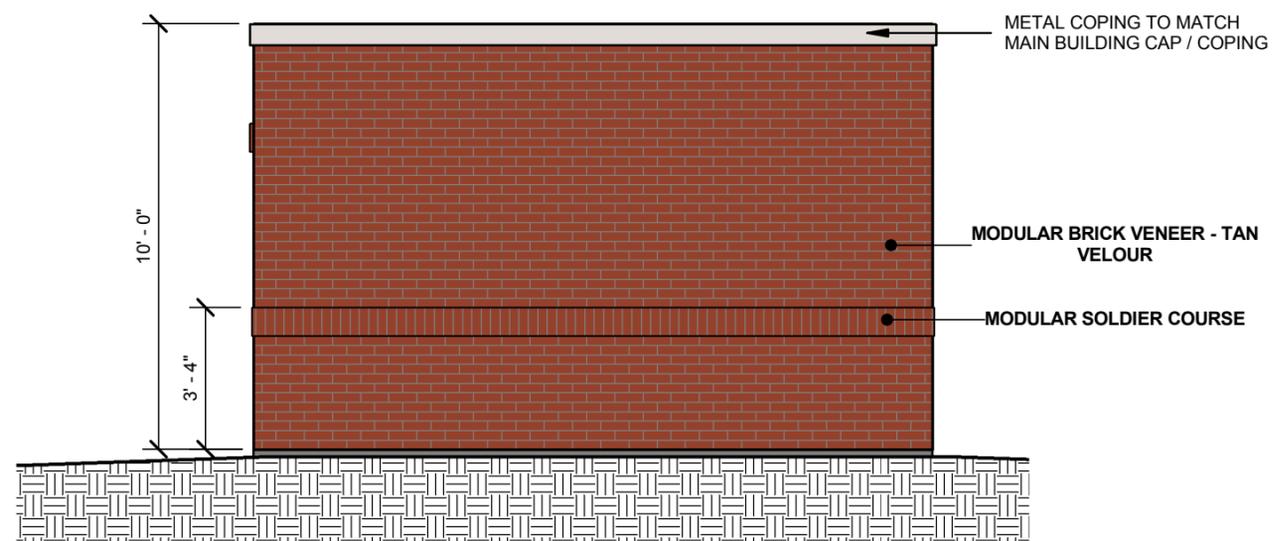
1 VIEW @ PORTE COCHERE & ENTRY CANOPIES



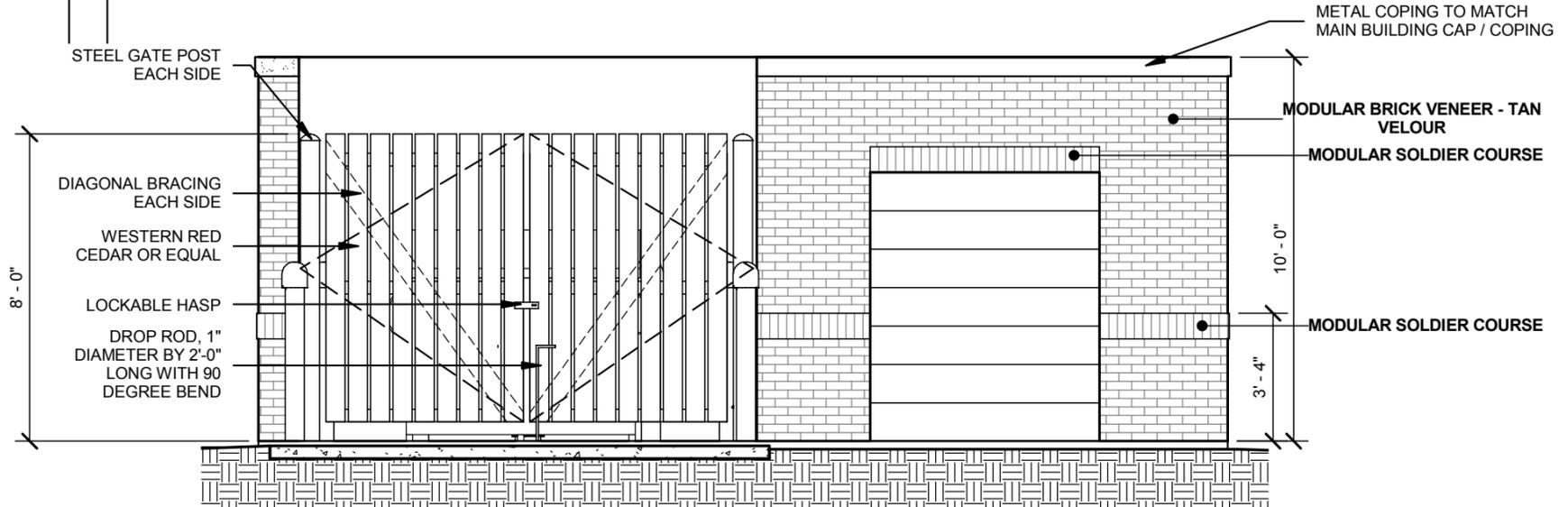
2 PORTE COCHERE - AERIAL VIEW



1 DUMPSTER ENCLOSURE PLAN  
1/4" = 1'-0"



3 DUMPSTER ENCLOSURE - NORTH ELEVATION  
1/4" = 1'-0"



2 DUMPSTER ENCLOSURE - EAST ELEVATION  
1/4" = 1'-0"

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**5.c. Alive Hospice (Waterstone Lot 13) [2016-3024 & 2016-6002] initial design review for 20,592 square foot building on 2.1 acres zoned CH, L-I & GDO located along Williams Drive, Alive Hospice developer.**

This is the initial design review for a new 20,592 square foot hospice located along Williams Drive (public right of way) and Carl Adams (privately owned public way). The proposed use is permitted by right within the CH, L-I and GDO-3 districts. The proposed building is a one story (19') structure and is 55 % brick and 27% cementitious composition siding. Brick is a permitted primary material for commercial structures and cementitious siding is allowable as a commercial secondary material. The roof is gabled with a pop-up reveal and a center courtyard. The building has The Planning Commission should discuss the architectural design to determine if its architectural character is in keeping with the GDO standards. The building's exterior architectural expression and design should be compatible with neighboring projects. The size, massing, spatial relationships, organization, architectural style, detail, color and material are some to the criteria to determine if the architectural treatments and character are appropriate. The architectural design must provide an appropriate level of interest in the roofline, relate the building's features or articulation to the assets of the site, emphasize architectural detailing for curb appeal and positive visual impact (esp. related to entrances), and create interest in site design in keeping with the intended character and quality of the GDO district.

The design team and the developer should address all GDO comments prior to final design review at the Planning Commission. Staff recommends any approval of the final design review be made subject to all staff comments.



## GDO Comments

- 1) The developer needs to submit a list of all variances that will be required for the plan, if any, and be prepared to justify them during initial design review with the Planning Commission. *None requested.*
- 2) Final architectural elevations showing all exterior building elevations indicating building height, materials fenestrations and details must be submitted to the Planning Department prior to final design review. Any visible roof projections and visible mechanical equipment must be shown.
- 3) The architect needs to provide a breakdown of the amount, in percentage, of all exterior building materials proposed for this project (including glass). Please note that the information must be provided for the overall project as well as for each elevation. To be provided. *Provided; please label the elevations as front, side & rear in addition to north, south east, and west.*

	<b>East</b>	<b>West</b>	<b>North</b>	<b>South</b>	<b>Total %</b>
<b>Primary (brick)</b>	56	52	51	61	<b>55</b>
<b>Secondary (cementitious composition siding)</b>	23	33	30	23	<b>27</b>

- 4) Buildings are encouraged to be sited on internal streets rather than parking lots so that parking does not dominate the streetscape. *It appears that this building is oriented to address this standard.*
- 5) The GDO provides a framework for the basic palette of architectural materials as follows:
  - ❖ **Primary materials:** 1.) Natural stone- limestone, granite or cultured stone 2.) Brick 3.) Pre-cast Architectural Concrete
  - ❖ **Secondary materials:** Stucco or synthetic stucco (EIFS), Glazed curtain walls, Integrally colored split-face concrete block (limited use), and cementitious composition siding.
- 6) If there are any roof mounted units, then demonstrate on the architectural plans how they will be properly screened. Mechanical, utilities or other building elements that must be roof mounted shall be located and screened so they are not visible from any point six feet above ground level or from any public right of way. The appurtenances shall be grouped and enclosed by screens that are designed to be compatible with the building architecture. The screens shall be set back from the roof edge a distance of no less than one and one half times their height. *No equipment is visible.*
- 7) Provide details of the Dumpster enclosure, generator enclosure, fencing around oxygen pad and transformer.
- 8) Prior to final design review, provide a compliant building materials board with colored architectural renderings must be submitted to the Planning Department.

- 9) The applicant must provide drawings and/or visual aids illustrating all exterior signage graphics, art, lighting, and street furniture. When incorporated into the site, streetscape furnishings such as benches, receptacles, light fixtures, bollards, etc. shall create a uniform theme throughout the site. This entails the selection and specifications of products based on a harmonious design and compatibility with the architecture of the site and in conformance with standards adopted by the City.
- 10) All commercial areas shall provide adequate pedestrian circulation within the parcel development, as well as identifiable links to the common area pedestrian circulation network. Note that certain parcels require the installation of sidewalks and/or trailheads designed to match existing conditions. *The site is design with a network of sidewalks.*
- 11) The site must comply with the Gateway Streetscape Master Plan.
- 12) A minimum of 10 feet (Zoning Ordinance) and 20 feet (DRC Regulation) is required between the proposed buildings and the parking lot. *This requirement has been met.*
- 13) A minimum of 15 feet is required between the parking and adjacent property. *This appears to be met. The southern lot line is located in the center of Carl Adams. The treatment along this lot line appears to be consistent with the other developments on Carl Adams.*
- 14) Provided calculations of required and provided open space and an area plan identifying areas proposed to be counted as open space. Verify that what is being counted toward the minimum open space requirements meets the criteria to be considered as open space, as specified in the GDO regulations. *The area plan and calculations need to be provided*
- 15) Provided calculations of required and provided formal open space and an area plan identifying areas proposed to be counted as formal open space. Verify that what is being counted toward the minimum formal open space requirements meets the criteria to be considered as formally designed landscape areas including elements such as plaza areas, streetscape furnishings, recreation improvements, etc., as specified in the GDO regulations each area is no less than 2,500 ft<sup>2</sup>. *The area plan and calculations need to be provided. A blowup of the internal courtyard is on page L1.0. Details of the furnishings need to be provided prior to Final Design Review.*
- 16) A 5 foot minimum width landscape strip shall be provided along the front and sides adjacent to the base of buildings or separated from buildings by a sidewalk. Such strip shall be planted with shrubs, trees, or other landscape materials. *Done*
- 17) All parking areas shall be screened and buffered from public right of way by berms or planting (or a combination thereof) which shall have a minimum height of three feet at the time of installation. *This needs to be addressed.*
- 18) Show the required front landscaping yards (15' along local streets).
- 19) The GDO regulations call for existing trees to be preserved where possible. Provide a tree survey for all existing trees that can be preserved. *None proposed to be preserved.*
- 20) Articulation of main entries should be emphasized and reinforced by creating a focal point with specimen plant material. Seasonal color can be considered wherever possible for special interest areas. *Please propose plantings on both sides of all ingress and egress.*

- 21) Prior to Final Design Review, submit an irrigation plan indicating the location and extent of automatic underground irrigation systems including the location of any connection to the City's repurified water system;
- 22) The Landscape Architect should contact all utility providers to locate any above ground structures that will be required for the site. After they have been located, adequate screening should be provided.
- 23) Show the locations of all site utilities, such as solid waste elements, utility boxes and HVAC units, on the site plan and landscape plan and demonstrate how the negative impacts of utilities such as electrical transformers and other mechanical equipment will be screened either with evergreen planting, building and equipment orientation, fencing, screening walls, grading and/or berming. Grouping these items together will usually make treatment more efficient and effective.
- 24) Provide a lighting plan with specifications of site lighting layout, fixture selection, fixture height (including the base), and fixture photometric. Shoebox-style lighting fixtures shall not be used for poles of sixteen feet or less in height. White light is required and low-sodium lighting is prohibited. All lighting fixtures and poles will be reviewed for aesthetic quality and compatibility.
- 25) The applicant must provide a construction facilities plan and schedule to include the location and description of temporary signage, construction trailers and materials staging in storage area, construction access locations and parking. *To be provided.*
- 26) Prior to construction beginning on any site within the GDO district, the owner, or owner's authorized agent shall provide the Planning and Engineering Department with seventy-two hours advance written notice. The Planning and Engineering staff may conduct on-site inspections as development and construction proceeds to monitor compliance with these design regulations and to assure that the construction is proceeding in accordance with the previously approved plans. *Informational comment.*
- 27) Submission of utility drawings. At the end of the construction period, by phase, the owner shall submit to the Planning and Engineering Department reproducible copies of record drawing (as-builts) showing the actual locations of all underground utilities and irrigation system. *Informational comment.*

### **Staff Comments:**

- 1) The submittals sheets need to measure no greater than 24x36 inch sheets.
- 2) Demonstrate on the plans how the exterior service, loading, storage and utility areas will be screened or sheltered to reduce visibility from adjacent street.
- 3) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or [KNoel@MurfreesboroTN.gov](mailto:KNoel@MurfreesboroTN.gov). *Informational comment.*
- 4) Add delineation between private drive and public Right of Way.
- 5) Add curbing, wheel stops or some other element so that the 3 parking spaces closer to Williams Drive can not be driven through.
- 6) Provide invert elevations at all underdrain junctions.

- 7) Please revise the plant materials schedule on the landscape plan to utilize the City of Murfreesboro Standard Tree Specifications. Specifications can be found at <http://www.murfreesborotn.gov/index.aspx?NID=276>. Specifications for street trees will need to be updated to reflect City specifications.
- 8) Please revise the plans to provide the required 8 ft. perimeter planting yard with required plant materials along Carl Adams Drive
- 9) Please specify the type of mulch proposed with the landscape plan.
- 10) In the landscape plan, please create a separate heading for shrubs used for screening purposes.
- 11) Street trees may not be counted toward ACI or 2, 3, or 4 inch caliper requirements.
- 12) Please include a definition of "Matched" in the planting notes section of the landscape plan. Trees of the same species shall have the following characteristics: matched by branching height, caliper, height of tree, spread of branches and branching structure, and overall canopy shape.
- 13) Please add a note and a typical diagram to the landscape plan that all service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Please identify what screening material will be used. Plant materials must meet or exceed the height of the structure that is to be screened.
- 14) A City Right of Way Permit will be required prior to Land Disturbance permit for all work in the Right of Way. Contact Danny Lowe in the Engineering Department for additional details.

### **Stormwater Comments:**

- 1) This development is required to comply with city stormwater requirements. New development and redevelopment involving increase of 10,000 square feet of impervious area, on a lot or within a common plan of development of at least one acre must comply with the city's stormwater quality design standards. This development is required to comply with the City Stormwater Quality requirements.
- 2) As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City Engineer prior to construction progressing.
- 3) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 4) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
- 5) Prior to a building permit, the Stormwater Management Plan must be submitted, reviewed and approved.
- 6) Prior to a building permit, submit a Stormwater Management Record Sheet.

### **Standard Staff Comments:**

- 1) This site plan is not affected by the Major Thoroughfare Plan.
- 2) Per the design engineer's certification on this plan, this property lies in Zones X, areas designated as outside the floodway and 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department. For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 4) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to [jnguyen@medtn.com](mailto:jnguyen@medtn.com).
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
  - Overhead – 40ft. 20ft either side of nearest power pole
  - Down Guys – 5ft x 30ft
  - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.

- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 12) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 13) Use existing water and/or sewer services where available.
- 14) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 15) Building permits are not to be issued until grease interceptor is approved.
- 16) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
- 17) All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
- 18) Submit calculations for grease interceptor sizing approval by MWSD. Minimum required size is 1000 gallons and must meet MWSD specifications.
- 19) The FOG applications must be completed and submitted to MWSD.
- 20) MWSD must receive contract prior to approving the plans.
- 21) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 22) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
- 23) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 24) The existing sanitary sewer mains that will cross under or over the newly constructed utility main(s) or other infrastructure must undergo an inline Pipeline Assessment Certification Program (PACP) CCTV survey after construction of the new utility line has been completed and be submitted to MWSD for review and approval.



EXTERIOR PERSPECTIVE

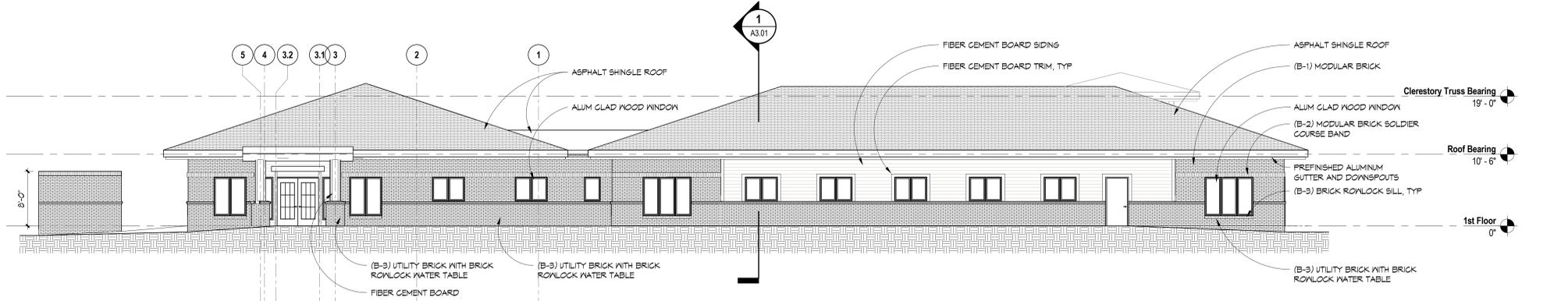
EXTERIOR MATERIAL CALCULATIONS: TOTAL BUILDING	
BRICK	55%
CEMENTITIOUS COMPOSITION SIDING	27%
GLAZING	14%
DOORS	4%

EXTERIOR MATERIAL CALCULATIONS: EAST	
BRICK	58%
CEMENTITIOUS COMPOSITION SIDING	23%
GLAZING	18%
DOORS	4%

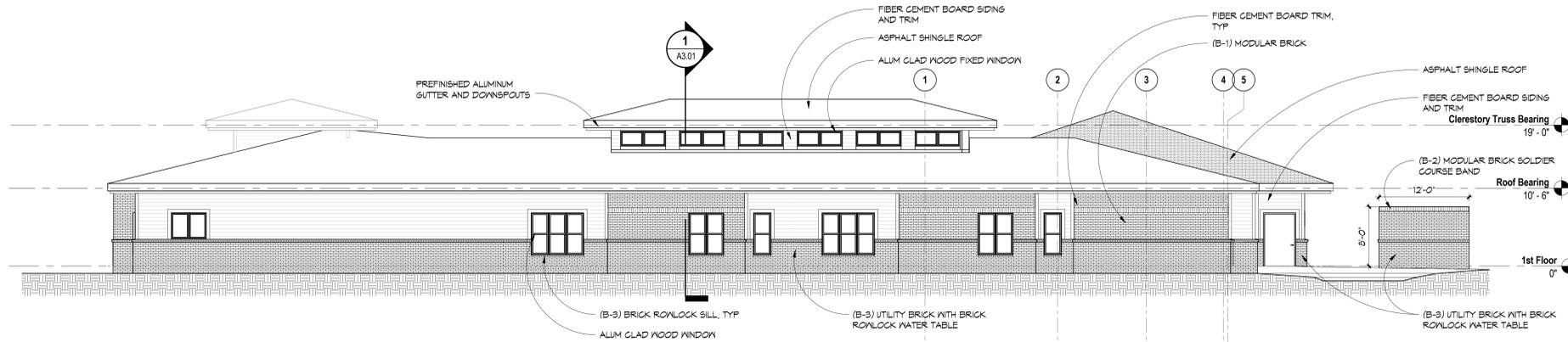
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BRICK	52%
CEMENTITIOUS COMPOSITION SIDING	33%
GLAZING	14%
DOORS	2%

EXTERIOR MATERIAL CALCULATIONS: NORTH	
BRICK	51%
CEMENTITIOUS COMPOSITION SIDING	30%
GLAZING	15%
DOORS	4%

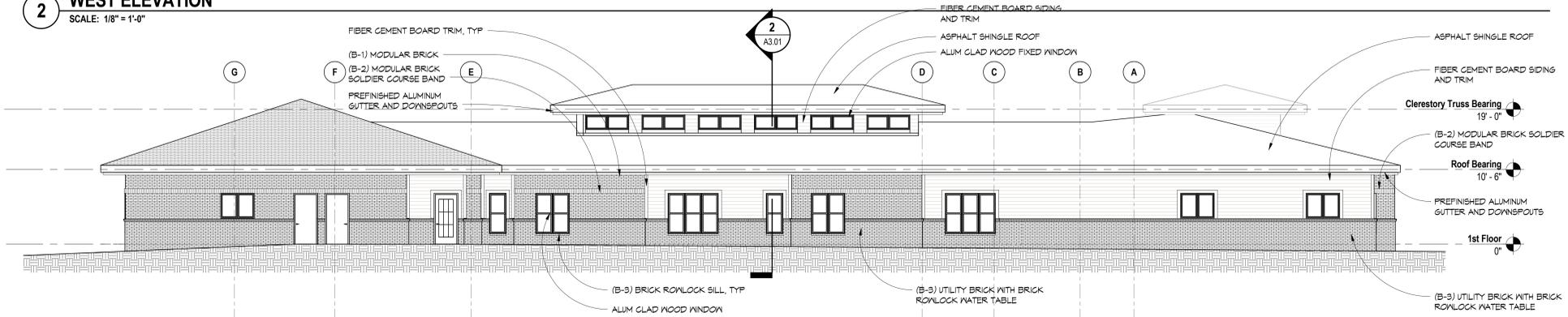
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BRICK	61%
CEMENTITIOUS COMPOSITION SIDING	23%
GLAZING	10%
DOORS	6%



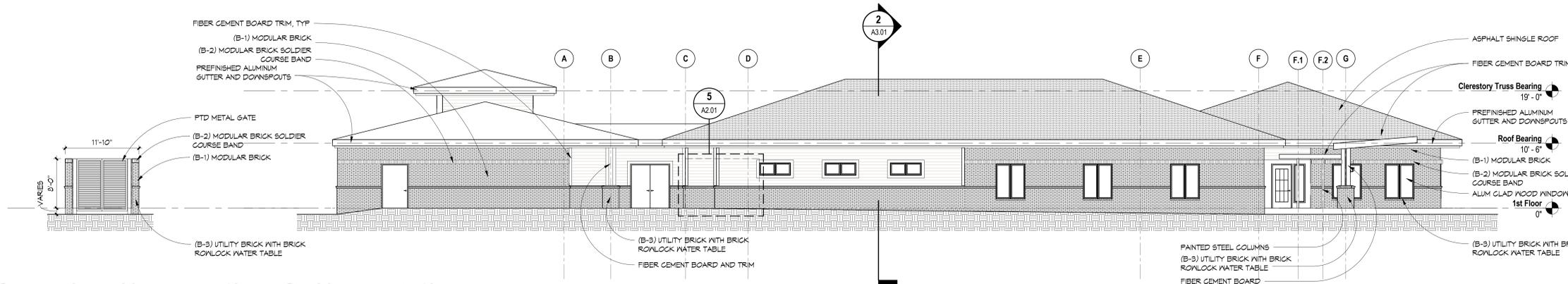
1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

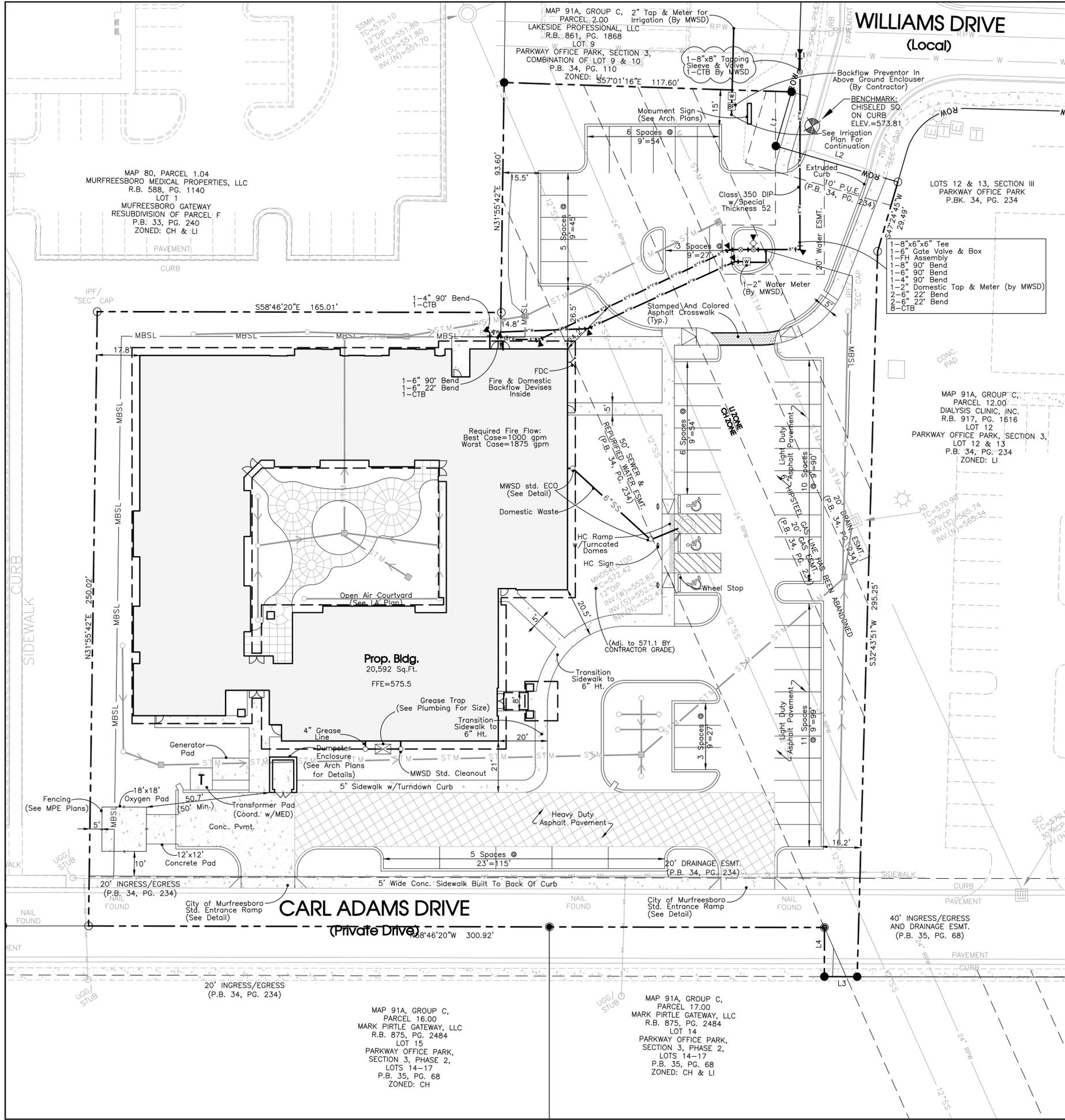
5 DUMPSTER - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

DOCUMENT CHANGES

Description	Date

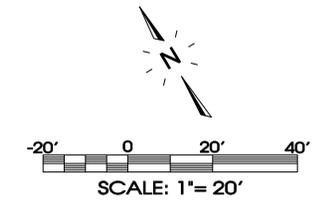
Issue Description	INITIAL DESIGN REVIEW
Original Issue Date	03/31/16
Project No	15001.00
Drawn By	Author
Checked By	Checker
Drawing Title	

EXTERIOR ELEVATIONS



- Legend:**
- |   |                                  |           |                                     |
|---|----------------------------------|-----------|-------------------------------------|
| □ | EXIST. CONCRETE MONUMENT         | ⊕         | BENCHMARK                           |
| ● | IRON PIN SET (I.P.S.)            | ⊕         | HANDICAP PARKING SYMBOL             |
| ○ | IRON PIN FOUND (I.P.F.)          | V.A.      | VAN ACCESSIBLE HANDICAP DESIGNATION |
| + | EXIST. SIGN POST                 | +         | HC SIGN                             |
| ○ | EXIST. SEWER CLEANOUT            | +         | PROPOSED SIGN POST                  |
| ○ | EXIST. MANHOLE (SEWER & PHONE)   | ●         | CONCRETE BOLLARD                    |
| ○ | EXIST. CATCH BASIN (STORM SEWER) | —         | WHEEL STOP                          |
| ⊗ | EXIST. WATER/GAS VALVE           | —         | CONCRETE SIDEWALK                   |
| ⊕ | EXIST. TELEPHONE RISER           | —         | EXTRUDED CURB                       |
| ⊕ | EXIST. GAS RISER                 | —         | CURB & GUTTER                       |
| ⊕ | ELECTRICAL ENCLOSURE             | →         | TRAFFIC ARROW                       |
| ⊕ | EXIST. WATER METER               | →         | TURN LANE ARROWS                    |
| ○ | EXIST. UTILITY POLE              | ⊕         | REVISION NUMBER                     |
| ○ | EXIST. FIRE HYDRANT              | #1        | DRAINAGE STRUCTURE DESIGNATION      |
| ○ | POST INDICATOR VALVE             | ⊕         | DRAINAGE PIPE DESIGNATION           |
| ⊕ | BLOW OFF VALVE                   | ⊕         | RIP RAP                             |
| ⊕ | REDUCER                          | →         | RUNOFF FLOW ARROW                   |
| ⊕ | REMOTE FIRE DEPT. CONNECTION     | ⊕         | INLET FILTER PROTECTION             |
| ⊕ | CONCRETE THRUST BLOCK            | 63.25 X   | PROPOSED SPOT ELEVATION             |
| ⊕ | DOUBLE DETECTOR CHECK VALVE      | (63.25) X | EXIST. SPOT ELEVATION               |
| ⊕ | FIRE DEPT. CONNECTION            | ⊕         | SEWER/STORM FLOW DIRECTION          |
| ⊕ | FIRE HYDRANT                     | ⊕         | CATCH BASIN                         |
| ⊕ | GATE VALVE & BOX                 | ⊕         | CURB INLET                          |
| ⊕ | WATER METER                      | ⊕         | AREA DRAIN                          |
| ⊕ | GAS METER                        | —         | HEADWALL                            |
| ⊕ | GREASE TRAP                      | ⊕         | WINGED HEADWALL                     |
| ○ | EXTERIOR CLEANOUT ECO            | ⊕         | CONCRETE SWALE                      |
| ○ | MANHOLE                          | ⊕         | TYPE- X- HEADWALL                   |

**APPROVED FOR CONSTRUCTION**  
THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE MURFREESBORO WATER AND SEWER DEPARTMENT UNDER THE AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL DIVISION OF WATER SUPPLY AND IS HEREBY APPROVED FOR CONSTRUCTION. THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES WILL REACH THE DESIGNED GOALS. APPROVAL DATE: APPROVAL EXPIRES IN 12 MONTHS BY: \_\_\_\_\_



**Site Location Map**

Map showing the site location relative to Williams Drive, Carl Adams Drive, and surrounding streets like Van Cleave Ln, Gateway Blvd, and Medical Center Parkway.

**Legend:**

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
○	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	→	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
○	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25 X	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25) X	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	⊕	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
○	MANHOLE	⊕	TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	---
EROSION CONTROL SILT FENCE	SF
EROSION EEL	EEL EEL
EXISTING TREE LINE	---
EXISTING FENCE LINE	X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	-60-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W
PROPOSED WATER	W

**Owner/Developer:**  
Alive Hospice  
311 18th Ave.  
Nashville, TN 37203  
Contact: Warren Henson  
**Dead Reference:**  
R.Bk. 875, Pg. 2484, \_\_\_\_\_ Civil District in Rutherford County  
Map 91A, Parcel 13.00 Group C  
Zone: CH, LI, & GDO-3  
Plat Book 34, Page 234

**Yard Requirements:**  
LI: Front: 42' Side: 10' Rear: 20'  
CH: Front: 42' Side: 0' (10' if adjacent to RS) Back: 20'

**Land Use Data:**  
Proposed Use: Office & Nursing Home  
1-Story Building (20'-8")  
Total Floor Area: 20,592 Sq.Ft.  
Total Land Area: 2.12± Acres

**Parking Requirements:**  
Required: 1 Space / 300 Sq.Ft. Office x 3,700 Sq.Ft. Office + 2 Space / 1 Beds x 16 Beds  
44 Required Parking Spaces  
Provided: 52 (49 Regular + 3 H.C.)

**Flood Map No.:** No portion of this site lies within the 100 year floodplain per FIRM panel No. 47149C0260H. Dated Jan. 5, 2007.

**Site Location Map**

Map showing the site location relative to Williams Drive, Carl Adams Drive, and surrounding streets like Van Cleave Ln, Gateway Blvd, and Medical Center Parkway.

**Legend:**

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
○	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	→	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
○	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
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○	MANHOLE	⊕	TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	---
EROSION CONTROL SILT FENCE	SF
EROSION EEL	EEL EEL
EXISTING TREE LINE	---
EXISTING FENCE LINE	X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	-60-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W
PROPOSED WATER	W

**Owner/Developer:**  
Alive Hospice  
311 18th Ave.  
Nashville, TN 37203  
Contact: Warren Henson  
**Dead Reference:**  
R.Bk. 875, Pg. 2484, \_\_\_\_\_ Civil District in Rutherford County  
Map 91A, Parcel 13.00 Group C  
Zone: CH, LI, & GDO-3  
Plat Book 34, Page 234

**Yard Requirements:**  
LI: Front: 42' Side: 10' Rear: 20'  
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1-Story Building (20'-8")  
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PROPOSED GAS LINE	GAS
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EXISTING CONTOUR LINES	-60-
PROPOSED CONTOUR LINES	601
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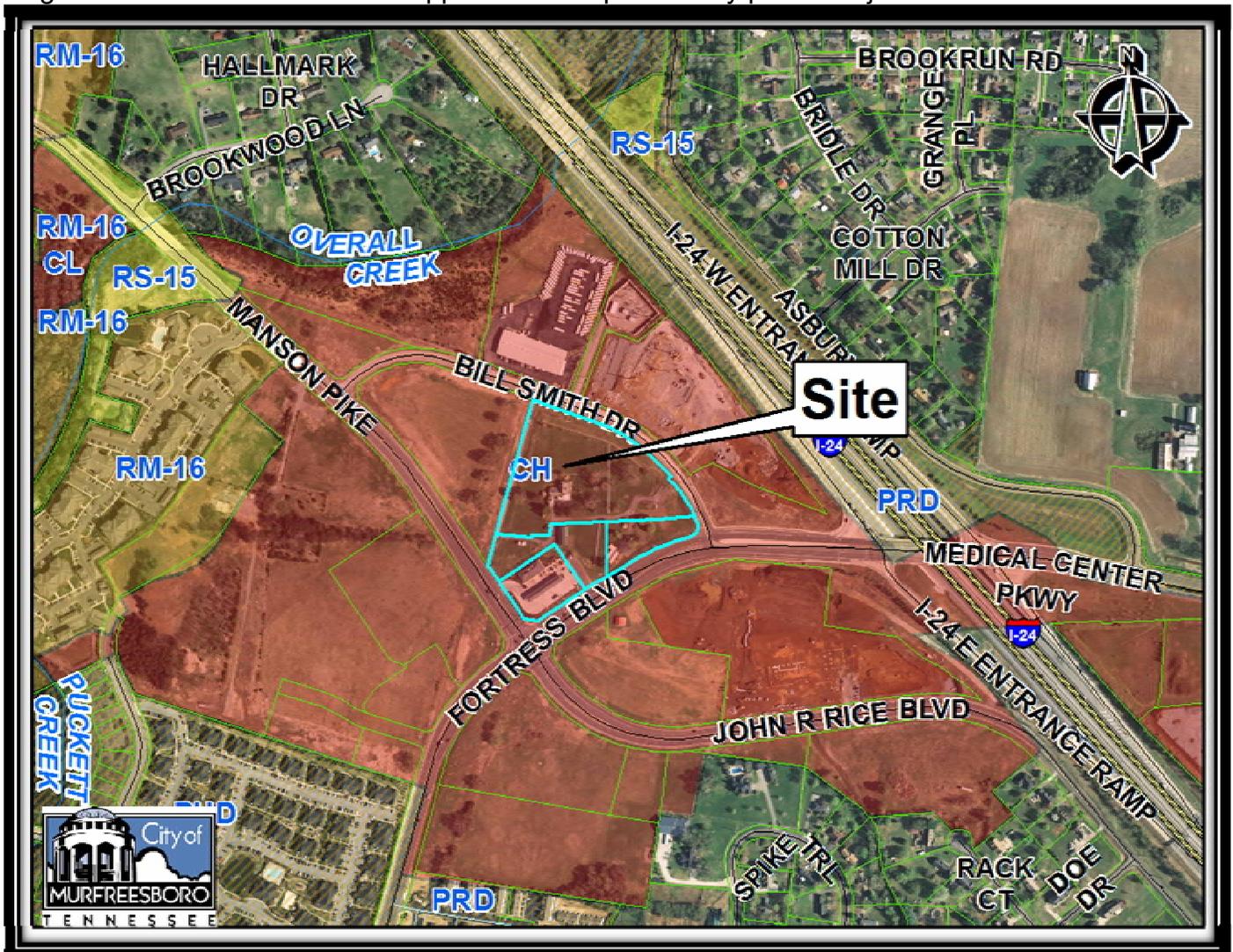
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Map 91A, Parcel 13

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**5.d. Twin B Farms Lots 11-14 [2016-1014] master plan & preliminary plat for 4 lots on 7.6 acres zoned CH & GDO located along John R Rice Boulevard and Fortress Boulevard, Twin B Farms LP developer.**

This is the master plan and preliminary plat review for 4 lots on 7.6 acres zoned CH and GDO. The purpose of this plat is to create a 4 lot subdivision. These lots are a part of the Twin B Farms commercial subdivision located along Fortress Boulevard, Bill Smith Drive and Manson Pike. Preliminary Plat approval shall not confer a vested right to proceed with development of the property as shown on the Preliminary Plat but rather shall authorize the applicant to submit Construction Plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends approval of the preliminary plans subject to all staff comments.



### **Staff Comments:**

- 1) Will the Zaxby's lot be reviewed as an integrated subdivision/site plan?
- 2) Revise master plan and preliminary plat to show shared access agreement for lot 11 across lot 14 and lot 12.
- 3) Provide a note that each site will be required to comply with Gateway Streetscape Masterplan.
- 4) Provide a note that each site will be required to comply with the City's Stormwater Quality requirements.
- 5) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations [www.murfreesborotn.gov/planning](http://www.murfreesborotn.gov/planning) and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- 6) As with all developments of more than one acre, this development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit.
- 7) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.

### **Standard Staff Comments:**

- 1) This preliminary plat is affected by the City's Major Thoroughfare, as Fortress Boulevard and John R Rice/Manson Pike have been realigned.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) Submit plat to CUDRC for review and comment.
- 4) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 5) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.

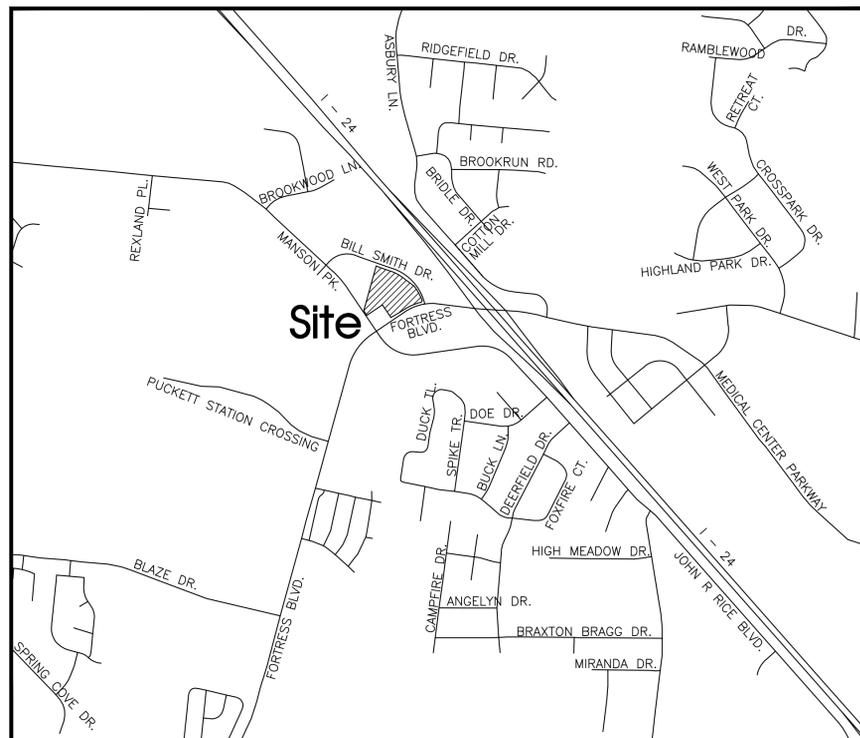
- 6) Property is within the Overall Creek assessment district only.
- 7) Resubmit two set of plans to MWSD for the review of the sewer.
- 8) The developer is financially responsible for providing water and sewer service to each lot.
- 9) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 10) MWSD must receive contract and surety prior to approving the plans.
- 11) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
- 12) All sanitary sewer easements must be 30' wide minimum.

# Twin B. Farms Preliminary Plat Lots 11-14

Murfreesboro, Tennessee

### Drawing Index

Sheet No.	Title
1	Cover Sheet
2	General Notes
3	Master Plan
4	Existing Conditions
5	Preliminary Plat
6	Grading & Drainage Plan



Site Location Map

Not To Scale

### Owner/Developer:

Twin B. Farms L.P. Janice Smith Clarissa Smith  
696 Spike Trail 3421 Bill Smith Dr. 696 Spike Trail  
Murfreesboro, TN 37129 Murfreesboro, TN 37129 Murfreesboro, TN 37129

### Floodplain Note:

This site lies within Zone X, not in the 100 Year Floodplain, Community Panel No. 47149C0255H Dated Jan. 5, 2007.

### Land Data:

Zoning: CH W/ GDO-1 Overlay  
4 lot of 1.42± Acres

### Yard Requirements:

Front: 42'  
Side: 10'(if Adjacent To Residential) Otherwise 0'  
Rear: 20'

### Deed Reference:

Tax Map 79, Parcel 100, 100.01, 100.02  
R.Bk. 379, Pg. 314  
R.Bk. 242, Pg. 2410  
R.Bk. 1270, Pg. 1790



**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129

PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567

NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.



Watershed = Overall Creek

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Matthew A. Taylor, P.E. TN. Reg. #112515

**Note: The Contractor Shall Provide The City Of Murfreesboro Planning & Engineering Dept. (C/O Margaret Ann Green) Written Notice At Least 72 Hours Prior To Start Of Construction.**

1 of 6  
Twin B Farms Preliminary Plat  
For Lots 11-14  
S.E.C. Project #03122  
Submitted: 3-31-2016  
Revised:

**City of Murfreesboro Standard Site Plan Notes:**

- In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
- All signage, including flags and flagpoles, is subject to independent review by the Building and Codes Department. All signage must conform to their requirements and require separate sign permits.
- A Land Disturbance Permit may be required. Determination whether a Land Disturbance Permit is required shall be made by the City Engineer. A separate Land Disturbance Permit application shall be made with the office of the City Engineer for review and upon approval for issuance of a Land Disturbance Permit.
- For all developments of more than one acre, a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the office of the City Engineer prior to construction commencement.
- Contractor to coordinate with the Traffic Engineer in the City Transportation Department prior to commencement of work in this area to avoid damage to traffic signal devices.
- ~~A TDDOT permit may be required. Evidence of TDDOT approval is required prior to the issuance of any building permits if required.~~
- A Stormwater Management Plan demonstrating that the site provides for treatment of the water quality volume and provides for management of the streambank protection volume must be provided.
- An Engineers Certification of the construction of the stormwater management facilities must be provided to the City Engineer prior to issuance certificate of occupancy.
- A Stormwater Fee Credit Application must be submitted prior to the issuance of a building permit.
- A Stormwater Facilities Operation and Maintenance Plan and a Stormwater Facilities Maintenance Agreement must be submitted prior to issuance of a building permit.
- The Stormwater Facilities Maintenance Agreement must be recorded prior to certificate of occupancy.

**Site Notes:**

- Dimensions shown at curbed areas are to face of curb.
- See architectural drawings for building dimensions.
- Contractor shall immediately notify the engineer of any discrepancies found between these plans, the architectural plans, and/or field conditions prior to construction.
- Apparent errors, discrepancies, or omissions on the drawing shall be brought to the attention of the owner prior to bid submittal. The contractor may not use apparent errors, discrepancies, or omissions present on the drawings presented for bidding for additional charges after bids have been submitted. The architect shall be permitted to make corrections and interpretations as may be deemed necessary for the fulfillment of the intent of the contract documents.
- The contractor shall stake all improvements using the geometric data provided in the drawings. It is the sole responsibility of the contractor to completely stake and check all improvements to ensure adequate positioning, both horizontal and vertical, prior to the installation of any improvements.
- The notes and plans shown call attention to certain required features of the construction but do not claim to cover all details of design and construction. The contractor shall furnish and install the work complete and ready for operation.
- After completion of construction, the contractor shall perform site cleanup to remove all trash, debris, excess materials, equipment, and other deleterious materials associated with construction. The contractor is expressly responsible for ensuring the site is clean and in operable condition at the time of final acceptance.
- A separate R.O.W. Excavation Permit issued from the Murfreesboro Street Department shall be required for any excavation or construction in the public R.O.W.
- The contractor is responsible for the protection and replacement of all property pins on this site.
- These drawings are intended for use on this site only and as an integrated set for this specific project. These drawings may not be used in whole or in part on any other project under the professional engineer's seal. The owner shall hold harmless and indemnify the architect and engineer from and against any and all claims of any nature whatsoever arising from such use.
- Existing conditions and topo shown herein are taken from a field-run survey by S.E.C., Inc.
- Licensed Surveyor shall be required to layout building footing.
- Sidewalk inspection will be required prior to pouring sidewalk. Coordinate with City of Murfreesboro.
- Coordinates referenced are for construction staking purposes and are site assigned. They should be considered local coordinates for this project only. No digital file will be provided for construction staking purposes.
- In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
- All parking space striping and markings on site shall be 4" wide white painted stripes. Other marking shall be as shown.

**Waterline Notes:**

- All water mains shall be hydrostatically tested and disinfected before acceptance.
- All trenches, pipe laying, and backfilling shall be in accordance with federal O.S.H.A. regulations.
- Contractor shall comply with all requirements of the latest edition of the CUD specifications.
- Utility contractor shall have approval of all governing agencies having jurisdiction over this system prior to installation.
- Main line water taps shall be made by CUD.
- The developer must post bond, \$2,000 or \$250 for each valve box (whichever is greater), whenever the subject project has valve boxes that are located within pavement upon completion of the proposed water system extension.
- The owner/developer for budget purposes should contact CUD for related fees to project which may be substantial.
- Contact Bill Dunnill with CUD for water meter specifications. (615-867-7302)
- The reduced pressure backflow preventer for the domestic water service must be above ground and outside also.
- Dedicated fire line must be installed by licensed sprinkler contractor.
- Water lines shall be ductile iron pipe class 350.

**General Utility Notes:**

- Existing utility lines shown are approximate locations only. The contractor shall field verify all existing utility line locations prior to any construction. Any deviations from the design locations shall be reported to the owner or engineer prior to beginning construction.
- The contractor will provide all necessary protective measures to safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment. The cost of protecting utilities from damage and furnishing special equipment will be included in the price bid for other items of construction.
- The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities, prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
- The contractor shall coordinate installation of utilities in such a manner as to avoid conflicts and assure proper depths are achieved as well as coordinating with the regulatory agency as to location and scheduling of tie-ins/connections to their facilities.
- All underground utilities (water, sanitary sewer, storm sewer, electrical conduit, irrigation sleeves, and any other miscellaneous), shall be in-place prior to the placement of base course material.
- Location of site utilities shall be verified with proper utility company providing service.
- Utility contractor will be responsible for all top and tie on fees required, as well as cost of underground service connections to the lots.
- No more than 25 percent of the dollar amount of the contract may be awarded to subcontractors.
- The contractor shall provide a suitable office near the site for his use and at which copies of the specifications and drawings shall be kept. The contractor shall also designate to the owner a person to be notified in Murfreesboro in case of emergencies other than during working hours and on holidays and weekends.
- Onsite pavement shall be graded to subgrade before water lines and sanitary sewers are installed.
- All waterline taps are to be made by C.U.D.
- In Tennessee it is a requirement per "the Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known utility owners, no less than three nor more than ten working days, prior to their intended excavation. A list of these utility owners may be obtained from the county register of deeds those utility owners who participate in the Tennessee one call system can be notified toll free at (800) 351-1111.
- Contractor shall comply with all requirements of the latest edition of C.U.D.'s specifications.
- In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as equipment," to be provided at each such providers' expense.
- Extend or lower existing utility castings and other surface features as required to match proposed finished grade elevations. Relocate when necessary to allow proposed constructions.
- Adjustments shall be made in the underground utilities as needed to assure that castings or other surface features do not fall within curbs or sidewalks.

**Sanitary Sewer Notes:**

- The contractor must notify MWSD for sewer inspection prior to starting work.
- The owner/developer for budget purposes, should check with the Murfreesboro Water & Sewer Department for connection fees which may be substantial.
- Contractors for sewer work must be approved by the Murfreesboro Water and Sewer Department.
- Coordinates or dimensions shown are to centerline of pipe or fitting or to centerline of manhole.
- The top elevation of all manholes in paved areas shall match finish grade. The top elevation of all manholes in grassed areas shall be 6" above finished grade.
- The minimum horizontal separation between the closest two points of the water and sewer line is ten (10) feet. The minimum vertical separation between the closest two points of the water and sewer line shall be 18 inches.
- Contractor shall comply with all requirements of the March 2014 edition of the "Standard Technical Specifications and Detail Drawings for the Installation of Sanitary Sewer Mains and Appurtenances" of the Murfreesboro Water and Sewer Department (MWSD).
- Sanitary sewer wyes and 45° bends are to be the same material and class/wall thickness as the mainline pipe.
- All services shall be constructed such that the invert of the pipe at the property line is no less than 3 1/2 feet below the finished grade. Markers shall be provided at each service location.
- Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- Trench check dams, as called out in the MWSD Specifications, are to be installed at the discretion of the Water & Sewer Department.
- Complete specifications for the sewer lines, "Sewer Line Specifications and Drawings", Nov. 2014 Ed., are on file at the Murfreesboro Water & Sewer Department Engineering Annex and can also be found online at <http://www.murfreesborotn.gov/default.aspx?ekmenu=42&id=3772>
- Sewer construction must be in accordance with all MWSD specifications and drawings.
- Contractor must have a State of Tennessee license, Municipal Utility (MU) classification, to perform work.
- No more than 25 percent of the dollar amount of the Contract may be awarded to subcontractors.
- Regarding the sanitary sewer, the M.P.E. must extend to the edge of the curb and be verified prior to acceptance of the project. For corner lots the M.P.E. only has to extend to the side of the lot which has the sewer service.
- The existing sewer main and/or manholes utilized or altered by this project must be tested before and after construction. Should the sewer not be tested prior to construction and defects found after construction will be the responsibility of the contractor to repair at his or her expense.
- All proposed manholes must be wrapped in a Conesol, or an approved equal, 12" minimum water and soil barrier wrap at each manhole section joint and at any other manhole component as directed by MWSD.
- A maximum of 2-6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2-6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
- Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
- All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
- All newly constructed sanitary sewer mains, rehabilitated sanitary sewer laterals and mains, existing sanitary sewer mains that intersect under or over a newly constructed or removed utility, or any sewer main that has been physically altered in any way must be fully televised via an in-line Closed Circuit Television (CCTV) post construction survey fully compliant with the guidelines set forth by the North American Sanitary Sewer Company's (NASSCO) Pipeline Assessment Certification Program (PACP) at the expense of the contractor.
- Site is Located in Overall Creek and Medical Center Parkway Assessment Districts.

**Grading And Drainage Notes:**

- The site work contractor shall coordinate the installation of all underground utilities with his work. All underground utilities (water, sanitary sewer, storm sewer, electrical conduit, irrigation sleeves, and any other miscellaneous underground utilities, devices, or structures), shall be in-place prior to the placement of base course material.
- The contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes and all utilities prior to construction.
- Clearing and grubbing limits shall include all areas disturbed by grading operation.
- Any graded or disturbed areas shall have 4 inches of topsoil, seed, mulch, fertilizer and water applied until a healthy stand of grass is obtained. The restoration shall closely follow construction. Refer to Landscape Architecture Plans for final ground cover material.
- The soil materials on lots shown hereon may be disturbed by cutting or filling operations performed during or before development. Therefore, the builder of any proposed structure shall investigate the current conditions and consult with a geotechnical expert or other qualified person as he deems appropriate to assure himself that the design of the proposed foundation is adequate.
- No portion of this site lies within the 100 year flood plain per F.E.M.A. Community Panel No. 47149 C0255H dated January 5, 2007.
- A separate R.O.W. Permit issued by the City of Murfreesboro will be required for excavation and construction in the public R.O.W.
- Handicap parking spaces and accessible routes shall be constructed and sloped in accordance with all applicable provisions of the A.D.A.
- In Tennessee it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known utility owners, no less than three nor more than ten working days, prior to their intended excavation. A list of these utility owners may be obtained from the county register of deeds. Those utility owners who participate in the Tennessee One Call System can be notified toll free at 1-800-351-1111.

**Erosion Control Notes:**

- The site contractor is responsible for establishing and maintaining suitable erosion and sediment control devices on-site during construction as required to prevent silt from leaving site. Silt will not be allowed beyond construction limits.
- The contractor is responsible for removing silt from site if not reusable on-site and assuring plan alignment and grade in all ditches at completion of construction.
- The contractor is responsible for cleaning out all storm drainage structures, including flumes, pipes, etc., prior to completion of this project.
- Erosion control shall be provided for all cut and fill operations within the limits of the construction site, throughout the construction period to provide the site with maximum protection from erosion at all times.
- Erosion control measures are to be installed prior to any grading on-site and are to be maintained in place until stabilization of erodible soils has been accomplished.
- The Storm Water Pollution Prevention Plan (SWPPP) is an integral part of the Erosion Prevention and Sediment Control (EPSC) Plan and should be followed during all phases of construction (bidding, site work, final stabilization).

**Ground Mounted Flagpole Notes:**

- Must be setback 20' from R.O.W.
- 50' max. height.
- 150 Sq.Ft. max for any single flag.
- Architect/Owner to provide final size, height, location, and details.

**Signage Notes:**

- Locations shown are conceptual only. These locations will require approval by BZA and applicable utility companies.
- Contact Amelia Kerr @ Codes Dept. for permitting issues. Owner to provide details, etc.

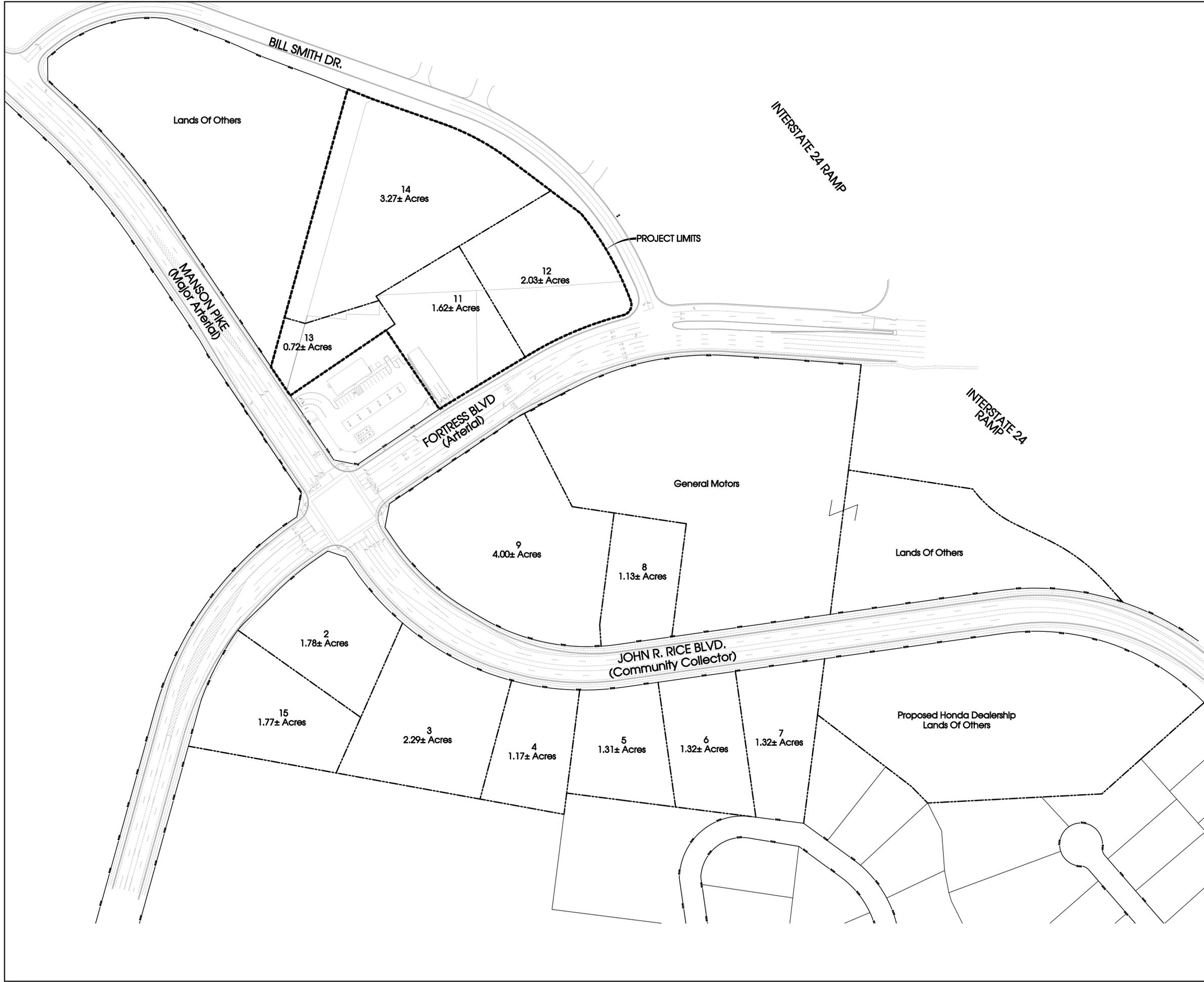
**SSEC, Inc.**  
 SITE ENGINEERING CONSULTANTS  
 ENGINEERING • SURVEYING • LAND PLANNING  
 LANDSCAPE ARCHITECTURE  
 850 MIDDLE TENNESSEE BOULEVARD  
 MURFREESBORO, TENNESSEE 37129  
 E-MAIL: MTAYLOR@SSEC-CIVIL.COM FAX: (615) 895-2567  
 PHONE: (615) 890-7901  
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.



**Twin B. Farms Preliminary Plat**  
**REVIEW SHEET**  
 For Lots 11-14  
 Murfreesboro, Tennessee  
 (Not intended for construction)

REVISIONS:	
DRAWN: SJA, CFB3	
DATE: 3-31-16	
CHECKED:	
MAT, MPL	
FILE NAME:	
03112-4lotplot	
SCALE:	
None	
JOB NO.	
03122	
SHEET:	

The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the responsibility of the contractor to verify the design as noted, described, and illustrated. The engineer assumes no administrative liability for the site as constructed in the assurance that the site is constructed in accordance with the construction plans.



**Legend:**

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊙	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	↔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
●	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊗	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	□	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25 x	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE (63.25) x	63.25 x	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	∇	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	□	CATCH BASIN
⊕	GATE VALVE & BOX	□	CURB INLET
⊕	WATER METER	⊙	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
○	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
○	MANHOLE	⊕	TYPE- X- HEADWALL

EXISTING PHONE \_\_\_\_\_

EXISTING ELECTRIC \_\_\_\_\_

PROPERTY LINE \_\_\_\_\_

EASEMENTS \_\_\_\_\_

RIGHT OF WAY \_\_\_\_\_

EROSION CONTROL SILT FENCE \_\_\_\_\_

EROSION EEL \_\_\_\_\_

EXISTING TREELINE \_\_\_\_\_

EXISTING FENCELINE \_\_\_\_\_

MINIMUM BUILDING SETBACK LINE \_\_\_\_\_

PHASE BOUNDARY \_\_\_\_\_

EXISTING GAS LINE \_\_\_\_\_

PROPOSED GAS LINE \_\_\_\_\_

EXISTING STORM \_\_\_\_\_

PROPOSED STORM \_\_\_\_\_

EXISTING CONTOUR LINES \_\_\_\_\_ 601

PROPOSED CONTOUR LINES \_\_\_\_\_ 601

EXISTING SANITARY SEWER \_\_\_\_\_

PROPOSED SANITARY SEWER \_\_\_\_\_

EXISTING WATER \_\_\_\_\_

PROPOSED WATER \_\_\_\_\_

N

-100' 0 100' 200'

SCALE: 1" = 100'

REVISIONS:


DRAWN: S.J.A. CFB3  
 DATE: 3-31-16  
 CHECKED: MAT, MPL  
 FILE NAME: 03112-4lotplot  
 SCALE: 1" = 100'  
 JOB NO. 03122  
 SHEET: 3 of 6

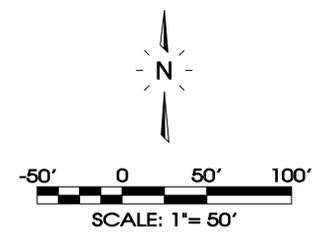
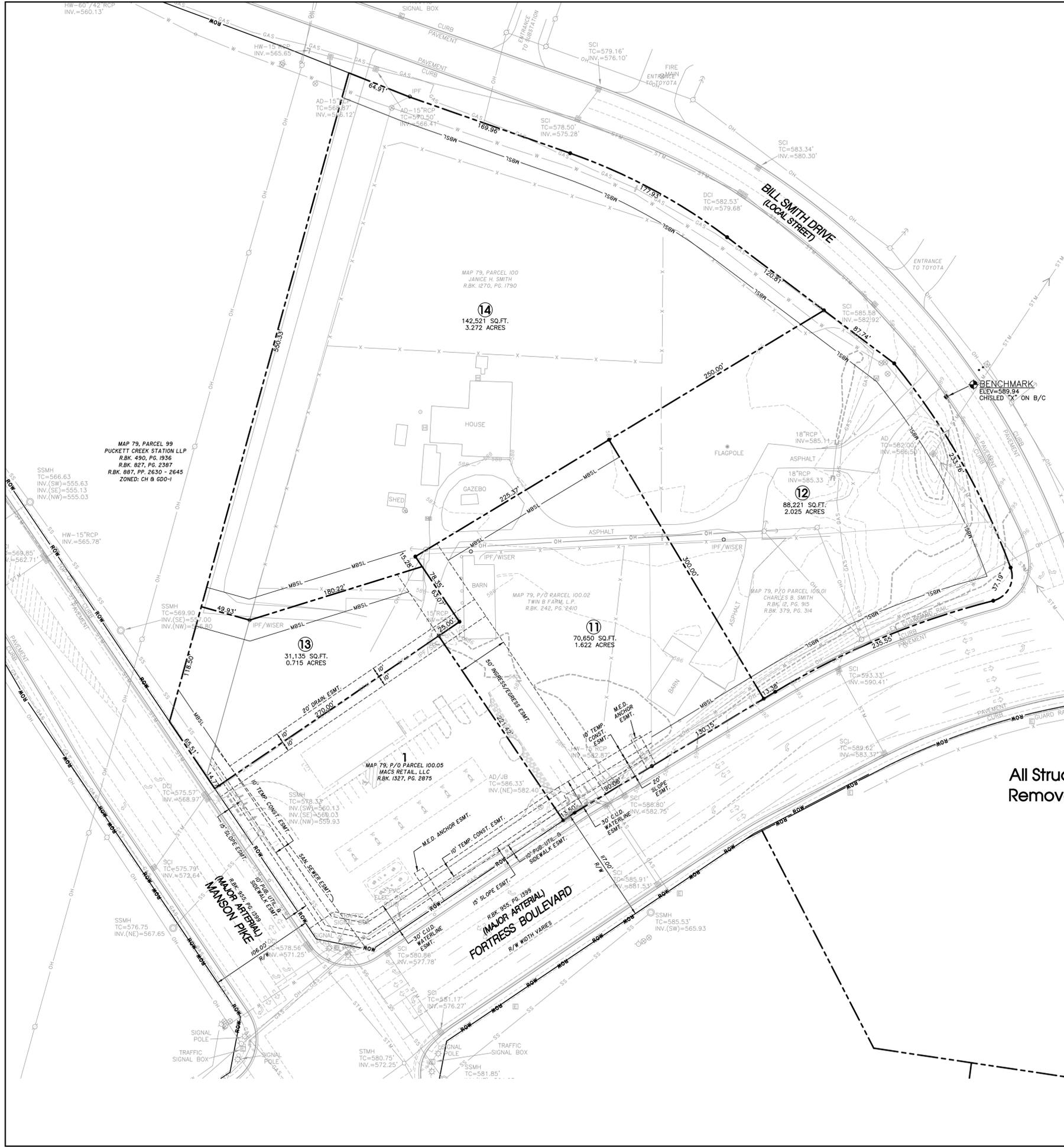
**REVIEW SET**  
(Not intended for construction)

**Twin B. Farms Preliminary Plat**  
**For Lots 11-14**  
**Murfreesboro, Tennessee**

**Master Plan**

**3 of 6**

SFC, Inc.  
 850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129  
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667  
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**Legend:**

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●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	•	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊕	WHEEL STOP
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⊕	EXIST. TELEPHONE RISER	⊕	EXTRUDED CURB
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⊕	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW
⊕	EXIST. WATER METER	➔	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
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⊕	BLOW OFF VALVE	⊕	RIP RAP
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⊕	EXTERIOR CLEANOUT	⊕	CONCRETE SWALE
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EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	EEL EEL EEL
EXISTING TREE LINE	~ ~ ~
EXISTING FENCE LINE	X X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS GAS
PROPOSED GAS LINE	GAS GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W

**REVIEW SET**  
(Not intended for construction)

**Twin B. Farms Preliminary Plat**  
**For Lots 11-14**  
**Murfreesboro, Tennessee**

**Existing Conditions**

**4 of 6**

REVISIONS:

DRAWN: SJA, CFB3

DATE: 3-31-16

CHECKED: MAT, MPL

FILE NAME: 03112-4lotplot

SCALE: 1" = 50'

JOB NO. 03122

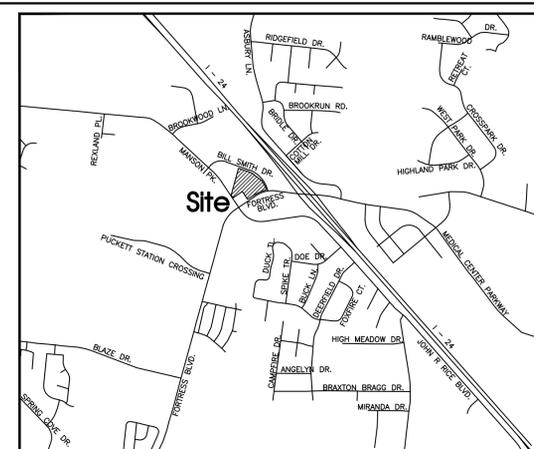
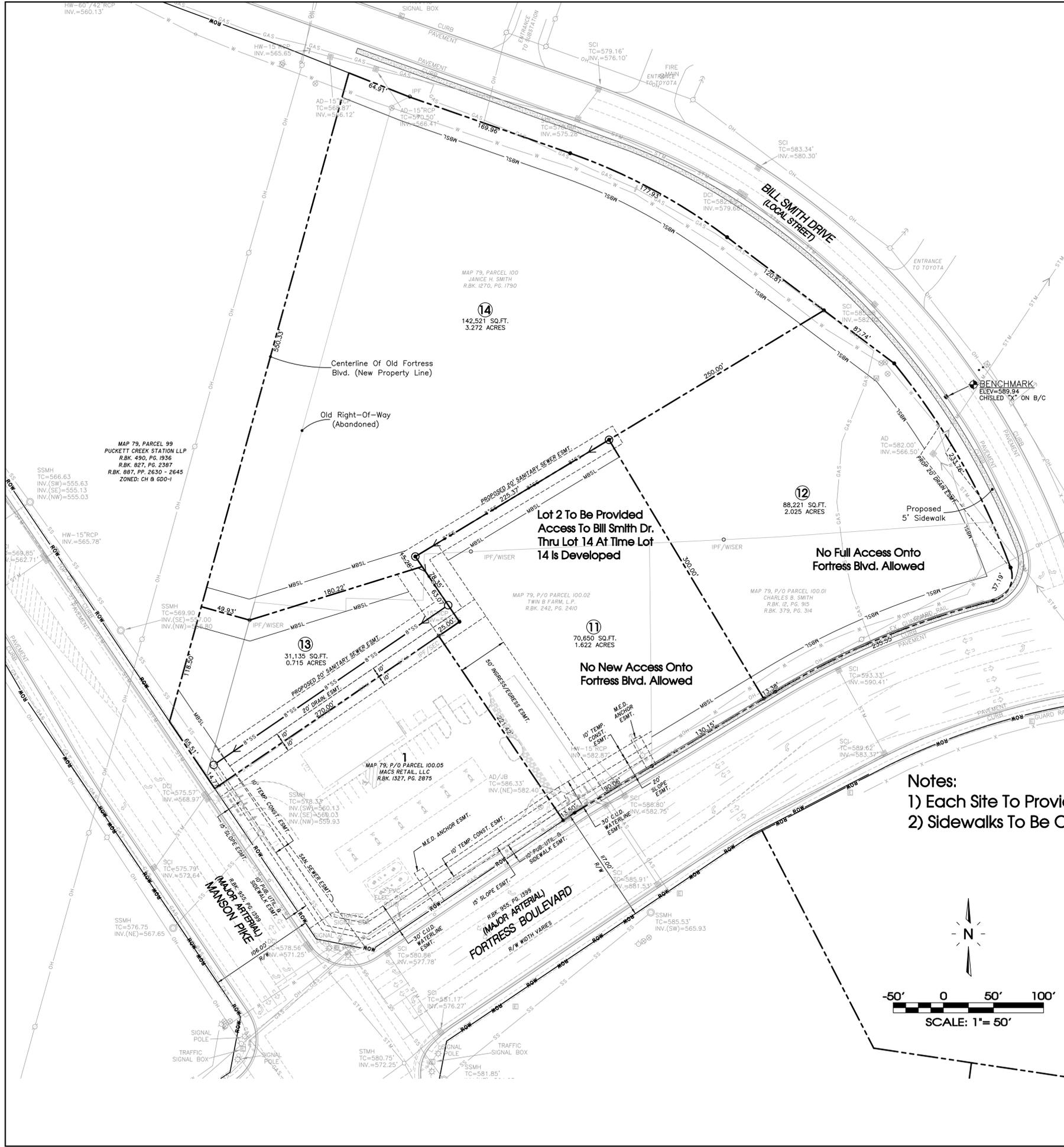
SHEET: 4 of 6

**SFC, Inc.**  
SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD  
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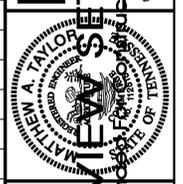


SITE LOCATION MAP

**Legend:**

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
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⊕	MANHOLE	⊕	TYPE- X- HEADWALL

**SITE ENGINEERING CONSULTANTS**  
 ENGINEERING • SURVEYING • LAND PLANNING  
**SEC, Inc.**  
 850 MIDDLE TENNESSEE BOULEVARD  
 MURFREESBORO, TENNESSEE 37129  
 PHONE: (615) 890-7901  
 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2467  
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**Twin B. Farms Preliminary Plat**  
**For Lots 11-14**  
 Murfreesboro, Tennessee

**Notes:**  
 1) Each Site To Provide On-Site Detention  
 2) Sidewalks To Be Constructed With Individual Site Plans

**APPROVED FOR CONSTRUCTION**  
 THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
**MURFREESBORO WATER AND SEWER DEPARTMENT**  
 UNDER THE AUTHORITY DELEGATED BY THE  
 TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
 DIVISION OF WATER POLLUTION CONTROL  
 DIVISION OF WATER SUPPLY  
 AND IS HEREBY APPROVED FOR CONSTRUCTION.  
 THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION  
 OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO  
 WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES  
 WILL REACH THE DESIGNED GOALS.  
 APPROVAL DATE \_\_\_\_\_  
 APPROVAL EXPIRES IN 12 MONTHS  
 BY \_\_\_\_\_

**Owner/Developer:**  
 Twin B. Farms L.P.  
 696 Spike Trail  
 Murfreesboro, TN 37129  
 Janice Smith  
 3421 Bill Smith Dr.  
 Murfreesboro, TN 37129  
 Clarissa Smith  
 696 Spike Trail  
 Murfreesboro, TN 37129

**Floodplain Note:**  
 This site lies within Zone X, not in the 100 Year Floodplain,  
 Community Panel No. 47149C0255H Dated Jan. 5, 2007.

**Land Data:**  
 Zoning: CH W GDO-1 Overlay  
 4 lot of 1.42± Acres

**Yard Requirements:**  
 Front: 42'  
 Side: 10'(if Adjacent to Residential) Otherwise 0'  
 Rear: 20'

**Deed Reference:**  
 Tax Map 79, Parcel 100, 100.01, 100.02  
 R.Bk. 379, Pg. 314  
 R.Bk. 242, Pg. 2410  
 R.Bk. 1270, Pg. 1790

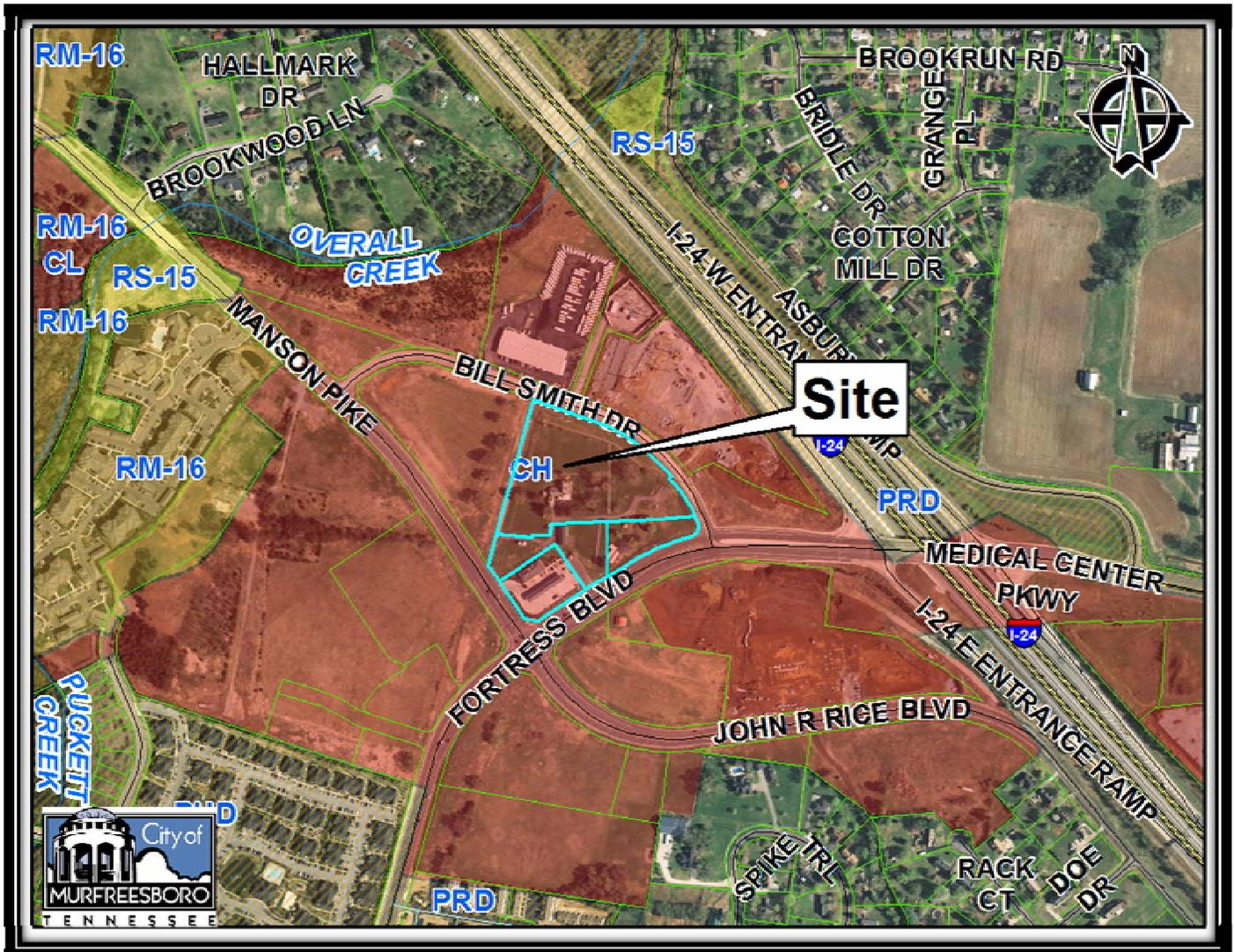
REVISIONS:  
 DRAWN: SJA, CFB3  
 DATE: 3-31-16  
 CHECKED:  
 MAT, MPL  
 FILE NAME:  
 03112-4lotplot  
 SCALE:  
 1"=50'  
 JOB NO.  
 03122  
 SHEET:  
**5 of 6**



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**5.e. Twin B Farms Lots 11-14 [2016-2052] final plat for 4 lots on 7.6 acres zoned CH & GDO located along Fortress Boulevard, Twin B Farms developer.**

This is the final plat review for Twin B Farms Lots 11-14 commercial subdivision located along Fortress Boulevard. The property is zoned CH and GDO. The purpose of this plat is to create a 4 lot subdivision. Staff recommends any approval of this final plat be subject to all staff comments.



### **Staff Comments:**

- 1) Will the Zaxby's lot be reviewed as an integrated subdivision/site plan?
- 2) Add a note to the final plat that restricts access for lots 11 and 12 per preliminary plat.
- 3) Show the cross access easement on lot 12 and 14 on final plat.
- 4) Remove the constructed elements from final plat.
- 5) Bold property lines between lots 13 and 14.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is affected by the City's Major Thoroughfare Plan, as Rucker Lane is planned to be improved as Fortress Boulevard and John R Rice/Manson Pike have been realigned
- 3) Send a copy of the entire set of staff-approved plans in both .dwg or .dgn vector format as well as in .pdf format. Projection should be in Tennessee State Plane, NAD 83 (U.S. feet). .dwg and .dgn layers should be identified per Gerald Lee. For additional questions contact: [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov).
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 4) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 5) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 6) Resubmit two set of plans to MWSD for the review of the sewer.
- 7) The developer is financially responsible for providing water and sewer service to each lot.
- 8) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 9) MWSD must receive contract and surety prior to signing the plat.
- 10) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
- 11) All sanitary sewer easements must be 30' wide minimum.

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: WILL BOOK 52, PAGE 152; RECORD BOOK 106, PAGE 2438; RECORD BOOK 1270, PAGE 1790; RECORD BOOK 1241, PAGE 2179  
 JANICE H. SMITH  
 OWNER MAP 79, PAR. 100.00

DATE: WILL BOOK 53, PAGE 199; RECORD BOOK 1253, PAGE 2571  
 CLARISSA D. SMITH  
 OWNER MAP 79, PAR. 100.01

DATE: WILL BOOK 53, PAGE 199; RECORD BOOK 242, PP. 2410 & 2412; RECORD BOOK 1243, PG. 1460  
 TWIN B FARM, LP BY: CLARISSA D. SMITH  
 OWNER MAP 79, PAR. 100.02

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. INC. \_\_\_\_\_  
 DATE: \_\_\_\_\_ REGISTERED SURVEYOR  
 TENN. R.L.S. No. \_\_\_\_\_

**CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE**

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: \_\_\_\_\_ CITY ENGINEER

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: \_\_\_\_\_ MURFREESBORO WATER AND SEWER OFFICIAL

**CERTIFICATE FOR APPROVAL OF WATER SYSTEMS**

CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION  
 I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE: \_\_\_\_\_ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY OFFICIAL

**CERTIFICATE OF APPROVAL FOR ELECTRIC POWER**

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE: \_\_\_\_\_ MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

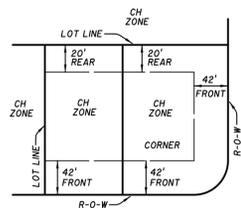
**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

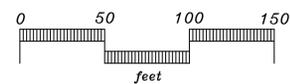
DATE: \_\_\_\_\_ PLANNING COMMISSION SECRETARY

**LEGEND**

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)

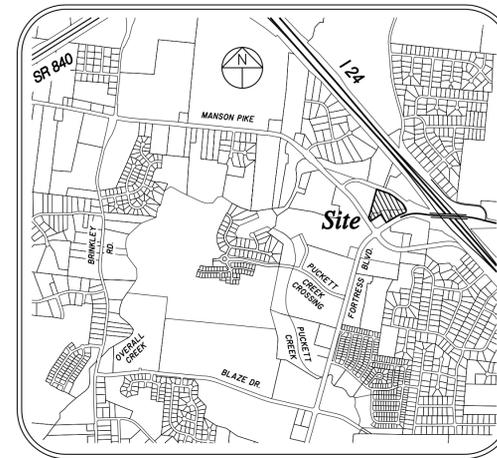
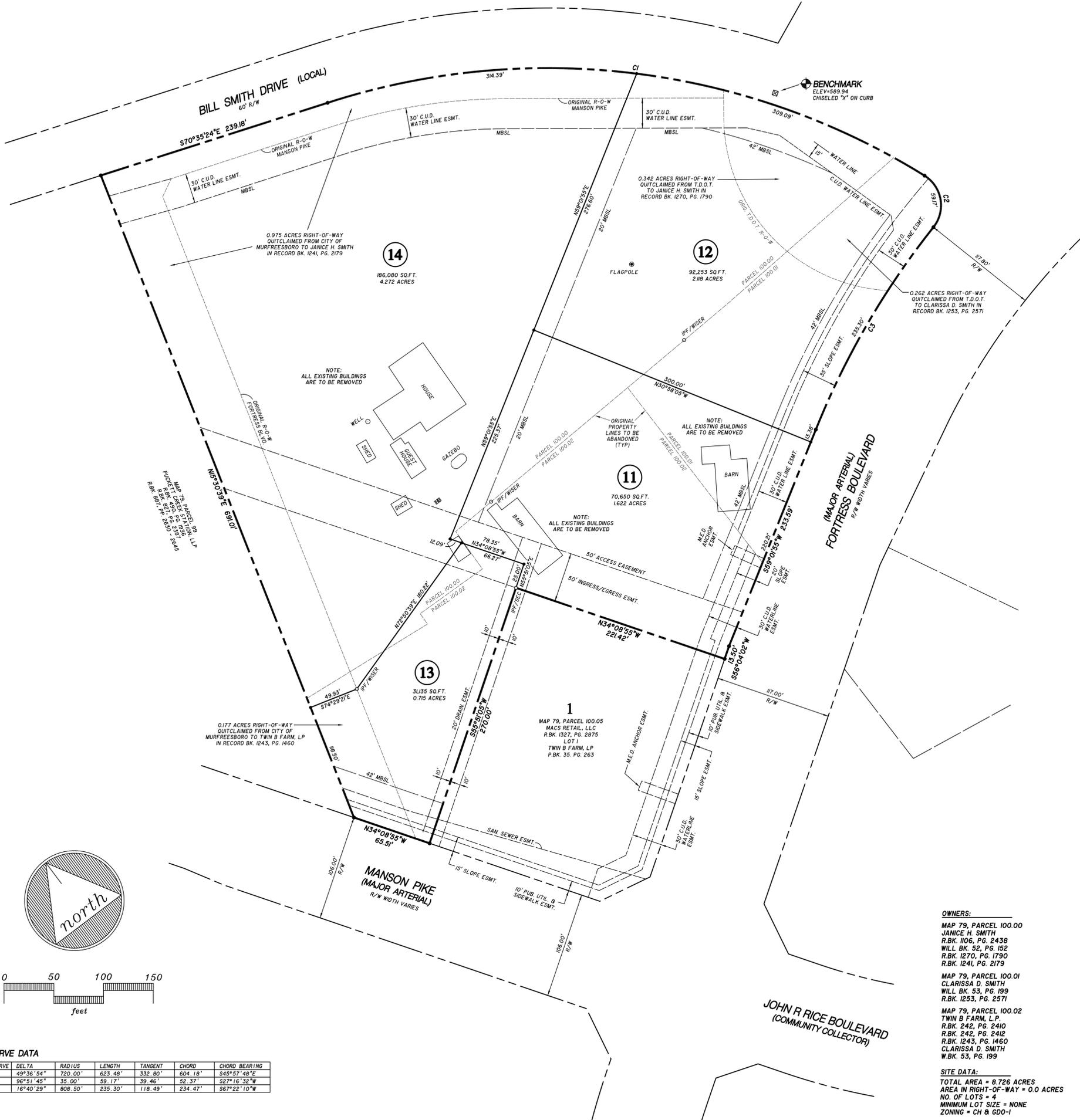


**TYPICAL MINIMUM BUILDING SETBACKS FOR CH ZONING**  
 N.T.S.



**CURVE DATA**

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	49°36'54"	720.00'	623.48'	332.80'	604.18'	S45°57'48"E
C2	96°51'45"	35.00'	59.17'	39.46'	52.37'	S27°16'32"W
C3	16°40'29"	808.50'	235.30'	118.49'	234.47'	S67°22'10"W



**LOCATION MAP**  
 N.T.S.

**GENERAL NOTES**

1. THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 4 COMMERCIAL LOTS.
2. BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT 10675+064 (IND) 93+500.
3. THIS PROPERTY LIES WITHIN ZONE CH, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 47149C0255 H, EFFECTIVE DATE JANUARY 5, 2007.
4. ANY MINIMUM FINISHED FLOOR ELEVATION (MIN FFE) SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
5. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
6. NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
7. SUBJECT PROPERTY IS ZONED CH AND 600-I. MINIMUM BUILDING SETBACKS FOR THIS ZONING DESIGNATION ARE AS FOLLOWS:  
 FRONT = 42' (ABUTTING ARTERIALS & COLLECTORS)  
 SIDE = 0' (ABUTTING CH ZONE)  
 REAR = 20'  
 MAXIMUM BUILDING HEIGHT IN THIS ZONE IS 75 FT.  
 ADDITIONALLY, THIS PROPERTY IS IN A GATEWAY DESIGN OVERLAY DISTRICT NO. 1. PROPERTY IS SUBJECT TO ANY 600-I REQUIREMENTS THAT MAY APPLY.
8. THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
9. IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SATISFACTORY GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
10. PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
11. UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
12. EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
13. WATER SERVICE, DOMESTIC AND FIRE PROTECTION, IS PROVIDED BY CONSOLIDATED UTILITY DISTRICT.
14. SEWER SERVICE IS PROVIDED BY MWSO. THIS PROPERTY IS IN THE OVERALL CREEK ASSESSMENT DISTRICT.
15. A PORTION OF THE EASEMENTS SHOWN HEREON ARE FURTHER DESCRIBED IN RECORD BOOK 955, PAGE 1399, R.O.C. TWIN B FARM, L.P. UNTO CITY OF MURFREESBORO, TO ACCOMMODATE CONSTRUCTION OF THE MANSON PIKE AND FORTRESS BOULEVARD REALIGNMENT PROJECT.
16. THIS PROPERTY MUST COMPLY WITH THE GATEWAY STREETScape MASTER PLAN.
17. ALL EXISTING STRUCTURES ON THIS PROPERTY ARE TO BE REMOVED.

DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

**FINAL PLAT**

**Lots 11, 12, 13 & 14  
 Twin B Farm, L.P.  
 SUBDIVISION**

CITY OF MURFREESBORO, TENNESSEE  
 7th CIVIL DISTRICT OF RUTHERFORD COUNTY

**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
 ENGINEERING • SURVEYING • LAND PLANNING  
 LANDSCAPE ARCHITECTURE  
 WWW.SEC-CIVIL.COM  
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
 PHONE (615) 890-7901 • FAX (615) 895-2567

**OWNERS:**

MAP 79, PARCEL 100.00  
 JANICE H. SMITH  
 R.B.K. 106, PG. 2438  
 WILL BK. 52, PG. 152  
 R.B.K. 1270, PG. 1790  
 R.B.K. 1241, PG. 2179

MAP 79, PARCEL 100.01  
 CLARISSA D. SMITH  
 WILL BK. 53, PG. 199  
 R.B.K. 1253, PG. 2571

MAP 79, PARCEL 100.02  
 TWIN B FARM, L.P.  
 R.B.K. 242, PG. 2410  
 R.B.K. 242, PG. 2412  
 R.B.K. 1243, PG. 1460  
 CLARISSA D. SMITH  
 W.B.K. 53, PG. 199

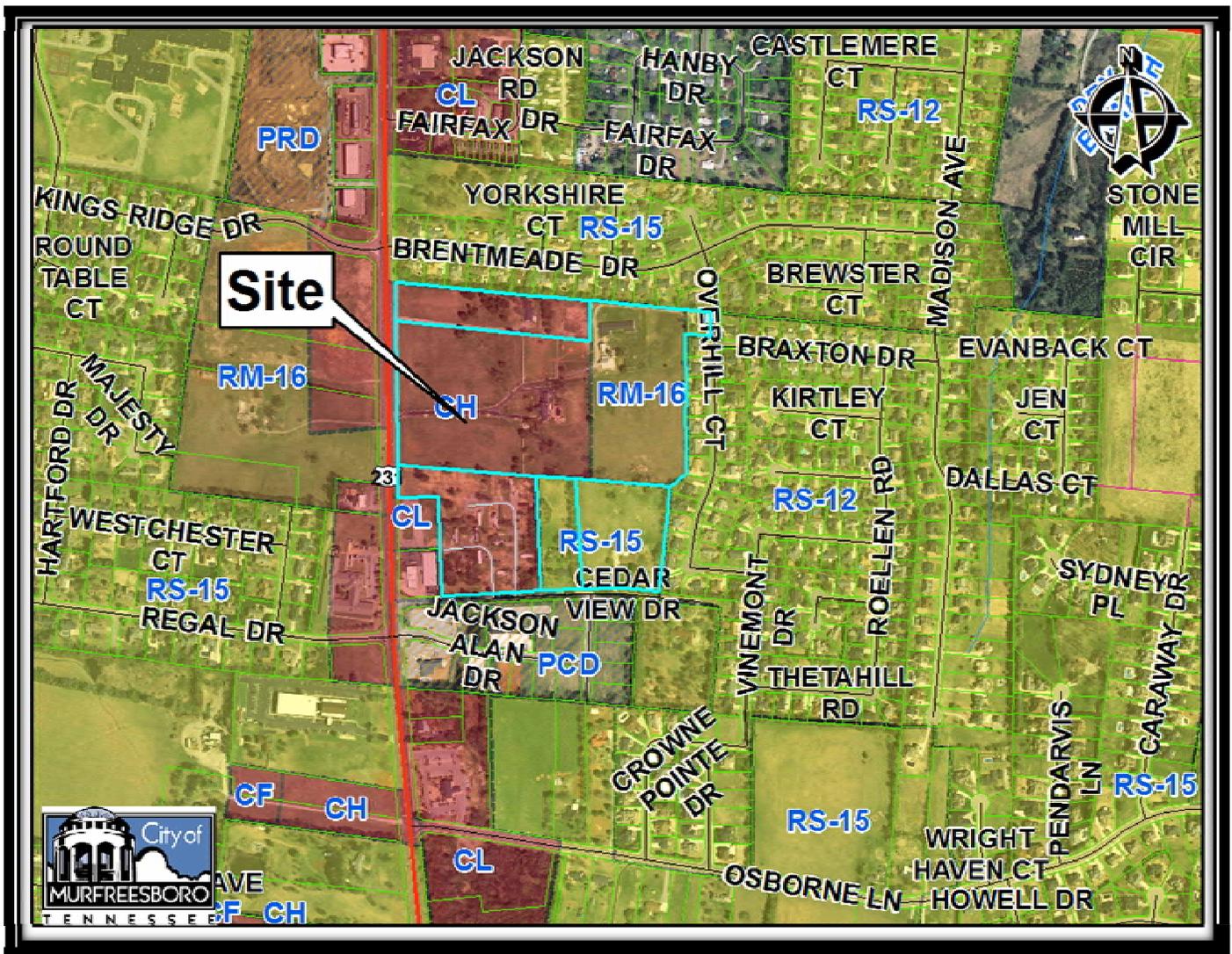
**SITE DATA:**

TOTAL AREA = 8.726 ACRES  
 AREA IN RIGHT-OF-WAY = 0.0 ACRES  
 NO. OF LOTS = 4  
 MINIMUM LOT SIZE = NONE  
 ZONING = CH & 600-I

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**6.a. Jarrell Property [2016-1013] master plan for 8 lots on 7.32 acres zoned CH and RM-16 located along Memorial Boulevard, Nobles Quesenberry and Peppers developer.**

This is the master plan review for a 7.32-acre property located along the east side of Memorial Boulevard. The property is zoned CH and RM-16. The applicant intends to subdivide the property into 8 lots at a later time. If approved, all subsequent plats should be consistent with the master plan. Staff recommends approval of the master plan subject to all staff comments.



### **Staff Comments:**

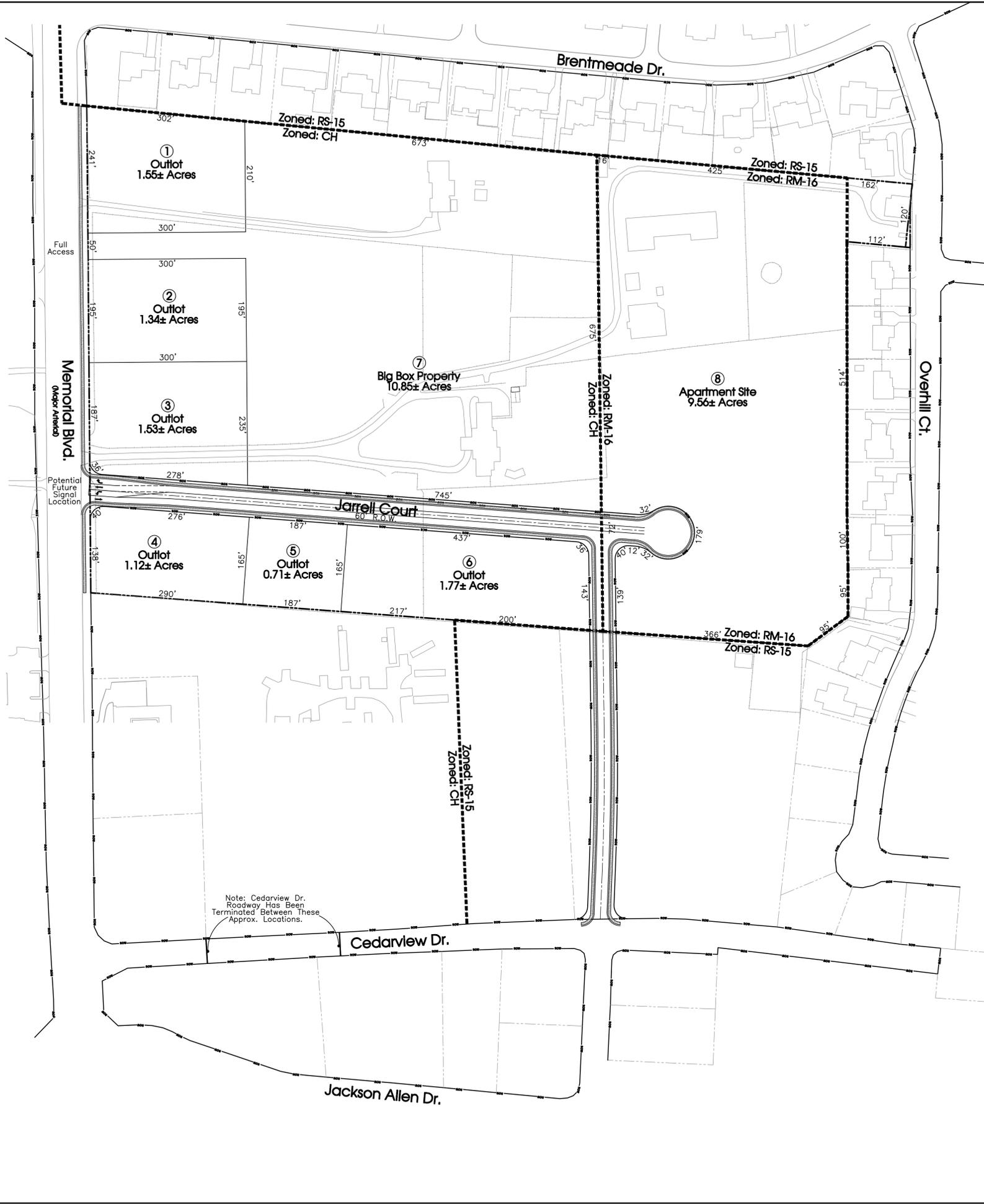
- 1) Label the Suzanne Landon Drive street name on the master plan.
- 2) Show the traffic control elements on the preliminary plat and on the construction plans.
- 3) Approval of this preliminary plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 4) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.
- 5) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations [www.murfreesborotn.gov/planning](http://www.murfreesborotn.gov/planning) and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.

### **Standard Staff Comments:**

- 1) This preliminary plat is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:**

- 1) Show electric and/or utility easements not in public right of way (ROW).
- 2) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 3) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 4) Property is within the Osborne Ln. assessment district. Add this note to the plan.
- 5) Resubmit two sets of plans to MWSD for the review of the water and sewer.
- 6) MWSD must receive contract and surety prior to approving the plans.

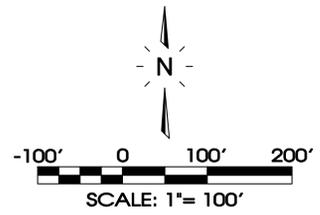


**Legend:**

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
—	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	↔	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	⊕	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	⊕	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	⊕	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	⊕	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT	⊕	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE- X- HEADWALL

EXISTING PHONE	---
EXISTING ELECTRIC	---
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	---
EROSION CONTROL SILT FENCE	---
EROSION EEL	---
EXISTING TREELINE	---
EXISTING FENCELINE	---
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	---
PROPOSED GAS LINE	---
EXISTING STORM	---
PROPOSED STORM	---
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
EXISTING WATER	---
PROPOSED WATER	---

- Notes:**
- 1) Lot 1 & 2 Shall Only Have Access To Memorial Blvd. Thru The Shared Access With Lot 7.
  - 2) Lot 1 & 2 Shall Be Granted Access Easement Thru Lot 7 To Allow Access Back To Proposed Jarrell Court.
  - 3) Lot 3 & 4 Shall Not Have Direct Access Onto Memorial Blvd.



**Owner/Developer:**  
Wayne & Kathryn Nobles, Larry Quesenberry, Rick & Julie Peppers  
1530 Riverview Dr.  
Murfreesboro, TN 37129

**Deed Reference:**  
R.Bk. 1449, Pg. 2956, 2968, 2988  
Map 69, Parcel 27.00 & 28.00

**Yard Requirements:**

CH	RM-16
Front: 42'	30'
Side: 0' (10' if Against RS)	10' (Single Story Perp. To Line) 20' (Two Story Perp. To Line) 25' (Two Story Parallel To Line)
Rear: 20'	25'

**Land Use Data:**  
Zoned: CH & RM-16  
8 Lots on: 7.32± Acres

**Flood Map No.:**  
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0145H dated January 5, 2007.

Approved by the Murfreesboro Planning Commission, with such conditions as are indicated in the minutes of the Commission on \_\_\_\_\_.

Water & Sewer Provider = MWSO

**SITE ENGINEERING CONSULTANTS**  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE

**SFC, Inc.**  
850 MIDDLE TENNESSEE BOULEVARD  
MURFREESBORO, TENNESSEE 37129  
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667  
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

**Jarrell Property**  
Murfreesboro, Tennessee

**Master Plan**

REVISIONS:  
DRAWN: SJA  
DATE: 3-31-16  
CHECKED:  
MAT, RSM  
FILE NAME:  
16046-Master  
SCALE:  
1" = 100'  
JOB NO.  
16046  
SHEET:  
1 of 1

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**6.b. Southpointe Business Campus Lot 23 [2016-3041] site plan for a 10,000 square foot discount store, a 1,000 square foot warehouse, and two 6,000 square foot automobile body shops on 2.14 acres zoned L-I located at 205 Southpointe Court, Jerrold Pedigo developer.**

This is the site plan review for two multi-tenant buildings located along the southern end of the Southpointe Court cul-de-sac. The proposed easternmost building will house a 10,000 square foot discount store and a 6,000 square foot automobile body shop. The proposed southernmost building will house a 1,000 square foot warehouse and a 6,000 square foot automobile body shop. The property is zoned L-I. The site has access to Southpointe Court. The proposed structures are one story with primarily metal exteriors with brick accents. Staff recommends any approval of the site plan be subject to all staff comments.



## **Staff Comments**

- 1) The Planning point of contact for this project is Donald Anthony (615-893-6441, [danthony@murfreesborotn.gov](mailto:danthony@murfreesborotn.gov)). The Engineering point of contact is Jay Bradley (615-893-6441, [jbradley@murfreesborotn.gov](mailto:jbradley@murfreesborotn.gov)).
- 2) Add the property address (205 Southpointe Court) to the site plan.
- 3) Identify the existing public utility easements on the rear and east sides of the property.
- 4) Indicate the heights of both proposed structures.
- 5) Will the development be phased? If the development will be phased, provide a phasing exhibit.
- 6) Label Southpointe Court as a Local street.
- 7) Label the proposed use for the striped area on the north side of the lot. Provide dimensions of the striped area.
- 8) Consider reducing the width of the large landscape island in the middle of the parking area. By removing one parking space from each end of the island, the width of the island can be reduced by nine feet. This reduction would allow for a broader landscaping yard to be installed along the site's I-24 frontage. With the loss of two spaces, the site will still exceed the minimum parking requirement.
- 9) Provide a lighting plan, photometric plot, and manufacturer's cut sheet or equivalent.
- 10) Increase dumpster fence height to eight feet.
- 11) If proposed building elevations have been changed from those included in email from Jerrold Pedigo on March 30, 2016, then submit updated elevations.
- 12) Will proposed structures have rear doors? If rear doors are included, then provide walkways around the affected building(s).
- 13) The request to abandon the drainage easement on the property necessitates a Mandatory Referral to the City Council.
- 14) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.
- 15) A Right of Way Permit and bond may be required for work in the right of way. Contact Danny Lowe in the Engineering Department for additional details
- 16) As with all developments of more than one acre, this development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit
- 17) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.

## **Stormwater Comments**

- 1) This development is required to comply with the City's Stormwater Quality requirements.
- 2) Prior to any permit, submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements
- 3) Prior to C of O, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance
- 4) Prior to C of O, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement
- 5) It appears the three pipes across the site do not have adequate cover. Please verify
- 6) The City will need to grant a Mandatory Referral for the existing drainage easement except for area where the three cross pipes and any storage is located.
- 7) Lot 23 currently provides some detention storage under elevation 600.0 Provide equivalent storage calculations for area under elevation 600.0.

### **Standard Staff Comments**

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside the area designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water & Sewer, Fire & Rescue; Building & Codes, & MED Staff Comments**

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to [jnguyen@medtn.com](mailto:jnguyen@medtn.com).
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
  - Overhead – 40ft. 20ft either side of nearest power pole
  - Down Guys – 5ft x 30ft
  - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 12) Use existing water and/or sewer services where available.
- 13) Show water and sewer service to 2<sup>nd</sup> building.
- 14) Oil/water separator required for automotive shops.

- 15) On-site private cleanouts must use the details found at the following link:  
<http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 16) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 17) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 18) A maximum of 2 – 6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2 – 6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
- 19) Refer to IFC 2012 Table 903.2 for Occupancies required to be sprinkled.
- 20) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**6.c. Three Rivers Mini-Storage [2016-3073] site plan for 91,725 square foot self-service storage facility on 7.3 acres zoned CF located along Cason Lane, Todd Harms developer.**

This is the site plan review for a self-service storage facility consisting of 11 structures totaling 91,725 square feet located along the west side of Cason Lane, south of New Salem Highway. The property is zoned CF. The site has access to Cason Lane via a shared driveway located along the site's northern boundary. The proposed structures are one story (24') with stone, EIFS, and metal exteriors. Staff recommends any approval of the site be subject to all staff comments.



## **Staff Comments**

- 1) The Planning point of contact for this project is Donald Anthony (615-893-6441, [danthony@murfreesborotn.gov](mailto:danthony@murfreesborotn.gov)). The Engineering point of contact is Cey Chase (615-893-6441, [cchase@murfreesborotn.gov](mailto:cchase@murfreesborotn.gov)).
- 2) Provide dimensions of all property lines on the site layout sheet.
- 3) Add maximum building height (24' as shown on the elevations) to the site data chart on the cover sheet.
- 4) Will this development be phased? If the development will be phased, include a phasing schedule.
- 5) Identify any fencing on the site layout with "x" marks. Provide fence and gate details.
- 6) Indicate that Cason Lane is a Local street on the site layout.
- 7) Add one parking space. ( $91,725 / 5,000 = 18$ . The site layout shows 17 spaces. Accessible spaces do not count toward the minimum required parking.) Add a parking table to the cover sheet and/or site layout sheet.
- 8) Add Type D and Type A buffer labels to the site layout sheet.
- 9) Provide a lighting plan, photometric plot, and manufacturer's cut sheet or equivalent.
- 10) The amount of metal and EIFS visible to residential areas and public right-of-way is excessive. Revise the elevations of the south sides of buildings 7, 8, 9, 10, and 11 and the west sides of buildings 6 and 7 to show materials more compatible with the surroundings. Additionally, revise the east sides of buildings 1, 2, and 11 and the north sides of buildings 2, 3, 4, 5, 6, and 11 to show materials more compatible with the surroundings.
- 11) Please show adjacent property zoning. If zoning areas of incompatibility are present, please propose the required buffer plantings.
- 12) Please revise the Type A and Type D landscape buffers to include more broad growing evergreen trees to satisfy the Type A and D requirements.
- 13) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.
- 14) Please show how the stormwater management areas are being screened on the landscape plan. Detention or retention areas shall be landscaped by use of a combination of vegetation, earth berm, walls, or other materials.
- 15) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.
- 16) Will a plat be required to make this into a lot of record?
- 17) Confirm if the existing well will be abandoned.

- 18) Show the flow line of Spence Creek.
- 19) Provide a WQPA within 50' of Spence Creek top of bank.
- 20) Provide circulation at shared entrance to assist staff in understanding its effects on neighboring property and the ROW.
- 21) Additional fire hydrant would be required as requested by MFRD.
- 22) Open cut of Cason Lane for utility will require the approval of the City Manager and City Engineer.
- 23) Provide detail of the open cut.
- 24) Show the limits and repair work to the pavement surface.
- 25) Provide a detail of the weir box for structure 1, 10 and 15.
- 26) A ROW Excavation permit and bond will be required before beginning any work in the right of way.
- 27) Provide a construction phase plan.

### **Stormwater Comments**

- 1) Provide a screen or rack at the orifice for both ponds.
- 2) Confirm the height of the outlet structure at the south pond with the proposed bottom of the pond and the top of the structure.
- 3) Show proposed elevation or contour for the extended detention outlet.
- 4) Provide detail of the Water Quality units.
- 5) This site must meet the City's Stormwater Quality requirements.
- 6) Identify who will be responsible for the long term operation and maintenance of this stormwater facility. A long-term operation and maintenance plan and agreement (<http://www.murfreesborotn.gov/index.aspx?NID=500>) for the stormwater facilities must be signed and notarized prior to issuance of certificate of completion.
- 7) Erosion and sediment control plans (EPSC) should be in 3 phases prior to a land disturbance permit. And should include any utility construction offsite for the benefit of this development.
- 8) Discharges of stormwater associated construction activities on sites that disturb one acre or more and including sites less than 1 acre that are part of a larger common plan of development or sale will require a NPDES Stormwater Construction General Permit (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>). Provide a copy of the NPDES Notice of Coverage or Notice of Intent (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) to the Engineering Dept prior to starting any construction activities and prior to issuance of a land disturbance permit.

- 9) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application (<http://www.murfreesborotn.gov/index.aspx?nid=499>) and 2 copies of the SWPPP/EPSC/NOC must be submitted to the Engineering Department.
- 10) Prior to the issuance of a land disturbance permit and building permit, submit to the Engineering Dept. three (3) hard copies of the site plan, 1 hard copy of the stormwater report with design and calculations and 1 hard copy of the stormwater management record sheet, long-term operation and maintenance plan and agreement for the stormwater facilities (<http://www.murfreesborotn.gov/index.aspx?NID=441>).
- 11) A final construction stormwater inspection certification, CN-1173 and/or Notice of Termination (NOT), CN-1175 (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) will be required prior to certificate of occupancy (CO).
- 12) An Engineer's Certification of the construction of the stormwater facilities (<http://www.murfreesborotn.gov/index.aspx?NID=441>) will be required prior to certificate of occupancy (CO). Provide information on existing, proposed and net impervious surface on the site plan.

### **Standard Staff Comments**

- 1) Per the engineer's certification on this plan, the property lies partially in Zone AE, within an area designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more

remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water & Sewer, Fire & Rescue; Building & Codes, & MED Staff Comments**

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to [jnguyen@medtn.com](mailto:jnguyen@medtn.com).
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
  - Overhead – 40ft. 20ft either side of nearest power pole
  - Down Guys – 5ft x 30ft
  - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 12) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial. A full set of plans must be submitted

directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@ cudrc.com.

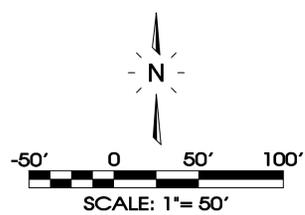
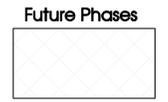
- 13) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@ cudrc.com.
- 14) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@ cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
- 15) All main water line taps are to be made by CUDRC.
- 16) Submit a completed CUDRC "Meter Application and Fixture Count Submittal Form" along with plumbing plans to subdivisions@ cudrc.com. The form can be found at <http://www.cudrc.com/docs/METER-APPLICATION-FIXTURE-UNIT-FORM.aspx>
- 17) All backflow preventers are to be located outside and in an aboveground hotbox.
- 18) Owner(s) must submit a notary signed CUDRC Landscaping Agreement to CUDRC if landscaping is within a CUDRC Easement.
- 19) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 20) Property is within the Salem/Barfield assessment district. Add this note to the plan.
- 21) Use existing water and/or sewer services where available.
- 22) Building permits are not to be issued until fees are paid.
- 23) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 24) The owner/developer must sign a Fence within a City Easement Agreement with MWSD.
- 25) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 26) Submit a copy of the final Site Lighting Plan to MWSD.
- 27) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 28) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 29) The existing sanitary sewer mains that will cross under or over the newly constructed utility main(s) or other infrastructure must undergo an inline Pipeline Assessment Certification Program (PACP) CCTV survey after construction of the new utility line has been completed and be submitted to MWSD for review and approval.
- 30) All new sanitary sewer taps, connections, and manhole adjustments are to be per MWSD specifications and be made under MWSD supervision by a MU licensed utility contractor.
- 31) Additional fire hydrants will be required for this site.
- 32) Gates MUST operate in "Yelp" mode for fire department and emergency equipment access. IFC 503
- 33) Building 11 –Refer to IFC 2012 Table 903.2 for Occupancies required to be sprinkled.

34)An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.



**Building Size**

Building #	Size
1	5,200 Sq.Ft.
2	2,300 Sq.Ft.
3	10,200 Sq.Ft.
4	9,600 Sq.Ft.
5	8,700 Sq.Ft.
6	6,450 Sq.Ft.
7	6,300 Sq.Ft.
8	6,900 Sq.Ft.
9	6,150 Sq.Ft.
10	5,700 Sq.Ft.
11	24,225 Sq.Ft.
Total	91,725 Sq.Ft.



**Legend:**

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
+	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
⊙	EXIST. MANHOLE (SEWER & PHONE)	•	CONCRETE BOLLARD
⊙	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊞	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊞	EXIST. GAS RISER	—	CURB & GUTTER
⊞	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊞	EXIST. WATER METER	↔	TURN LANE ARROWS
⊞	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊞	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊞	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊞	BLOW OFF VALVE	⊗	RIP RAP
⊞	REDUCER	→	RUNOFF FLOW ARROW
⊞	REMOTE FIRE DEPT. CONNECTION	□	INLET FILTER PROTECTION
⊞	CONCRETE THRUST BLOCK	63.25 x	PROPOSED SPOT ELEVATION
⊞	DOUBLE DETECTOR CHECK VALVE	(63.25) x	EXIST. SPOT ELEVATION
⊞	FIRE DEPT. CONNECTION	×	SEWER/STORM FLOW DIRECTION
⊞	FIRE HYDRANT	■	CATCH BASIN
⊞	GATE VALVE & BOX	■	CURB INLET
⊞	WATER METER	⊙	AREA DRAIN
⊞	GAS METER	—	HEADWALL
⊞	GREASE TRAP	⊞	WINGED HEADWALL
⊞	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
⊞	MANHOLE	⊞	TYPE- X- HEADWALL

EXISTING PHONE	_____
EXISTING ELECTRIC	_____
PROPERTY LINE	_____
EASEMENTS	_____
RIGHT OF WAY	_____
EROSION CONTROL SILT FENCE	_____
EROSION EEL	_____
EXISTING TREELINE	_____
EXISTING FENCELINE	_____
MINIMUM BUILDING SETBACK LINE	_____
PHASE BOUNDARY	_____
EXISTING GAS LINE	_____
PROPOSED GAS LINE	_____
EXISTING STORM	_____
PROPOSED STORM	_____
EXISTING CONTOUR LINES	_____
PROPOSED CONTOUR LINES	_____
EXISTING SANITARY SEWER	_____
PROPOSED SANITARY SEWER	_____
EXISTING WATER	_____
PROPOSED WATER	_____

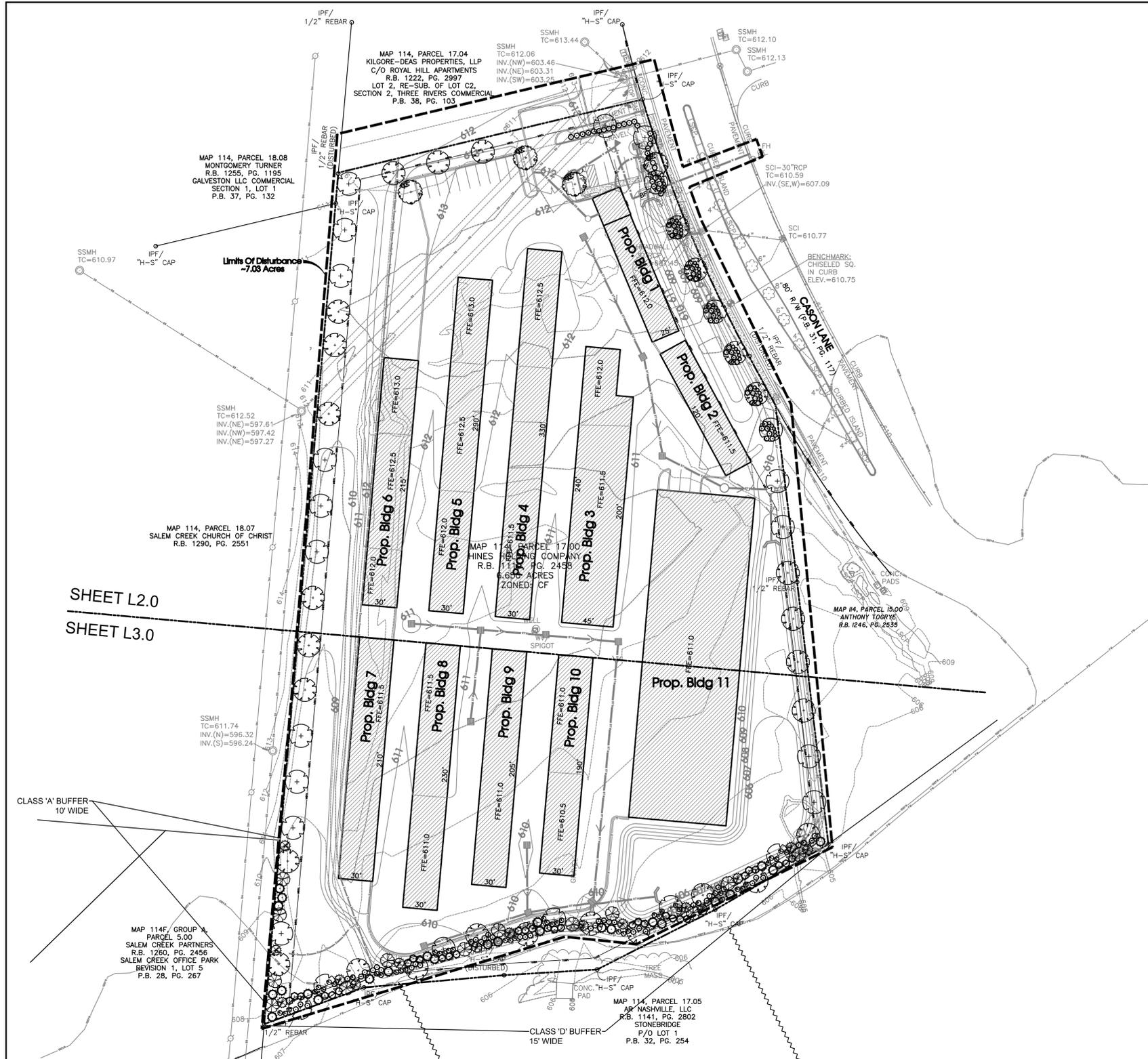
**SEC, Inc.**  
 SITE ENGINEERING CONSULTANTS  
 ENGINEERING • SURVEYING • LAND PLANNING  
 LANDSCAPE ARCHITECTURE  
 850 MIDDLE TENNESSEE BOULEVARD  
 MURFREESBORO, TENNESSEE 37129  
 PHONE: (615) 880-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567  
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

**REVIEW SET**  
 (Not Interfering with Construction)

**Three Rivers Subdivision  
 Mini-Storage**  
 Murfreesboro, TN

**Site & Utility Plan**

REVISED: \_\_\_\_\_  
 DRAWN: SJA  
 DATE: 10-29-15  
 CHECKED: \_\_\_\_\_  
 MAT \_\_\_\_\_  
 FILE NAME: 07106project.dwg  
 SCALE: 1" = 50'  
 JOB NO. 07106  
 SHEET: 4 of 7



**CASON LANE MINI-STORAGE**

**SITE DATA**  
 SITE AREA: 6.64 ACRES  
 SITE ZONING: CF

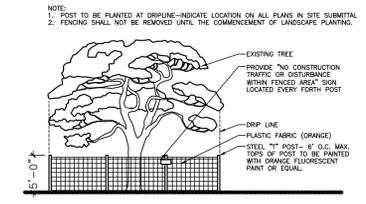
**LANDSCAPE REQUIREMENTS (AS PER SECTION 27)**

REQUIRED PERIMETER LANDSCAPING	REQUIRED	PROVIDED
(EAST - CASON LANE) 289.75' - 11.00' = 278.75 LF 1 SHADE TREE/ 40 LF OF FRONTAGE 1 SHRUB/ 5 LF OF FRONTAGE	7 TREES 56 SHRUBS	7 TREES 56 SHRUBS
(EAST) 382.23 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	10 TREES	10 TREES
(SOUTH) 524.33 LF - CLASS 'D' BUFFER 1 SHADE TREE/ 40 LF OF FRONTAGE	13 TREES	0 TREES (BUFFER REQUIREMENTS)
(WEST) 160.45 LF - CLASS 'A' BUFFER 1 SHADE TREE/ 40 LF OF FRONTAGE	4 TREES	0 TREES (BUFFER REQUIREMENTS)
(WEST) 580.68 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	15 TREES	15 TREES
(NORTH) 272.15' - 107.80' = 164.35 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	4 TREES	4 TREES

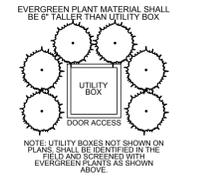
**PARKING LOT REQUIREMENTS**  
 ONE SHADE TREE OR TWO ORNAMENTAL TREES PER 12.5 PARKING STALLS TO BE PLANTED IN LANDSCAPE ISLANDS (MIN. 8' WIDTH).  
 18 PARKING SPACES PROVIDED = 2 TREES REQUIRED  
 2 TREES PROVIDED IN ISLANDS

- PLAN NOTES:**
- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 4" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH.
  - ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
  - ALL TREES AND SHRUBS SHALL BE PLANTED 3' BEHIND BACK OF CURB.
  - ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD. ANY AREA OF DISTURBANCE DENOTED WITH THE SOD HATCH, SHALL BE REPAIRED WITH SEED.
  - ALL LANDSCAPE MATERIALS SHALL BE IRRIGATED BY AN IRRIGATION SYSTEM.

- PLANTING SCHEDULE NOTES**
- SHRUBS AND TREES TO BE OF THE HIGHEST QUALITY.
  - NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
  - SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
  - REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO URBAN ENVIRONMENTAL DEPARTMENT 615-895-8059 PRIOR TO INSTALLATION.
  - ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



- TREE PROTECTION**  
 NOT TO SCALE
- TREE PRESERVATION NOTES:**
- AFTER INSTALLATION OF TREE PROTECTION FENCING, CONTRACTOR SHALL CONTACT KANE ADAMS WITH MURFREESBORO URBAN ENVIRONMENTAL DEPT. AT 615-895-8059 FOR A TREE PROTECTION INSPECTION.
  - ANY PRESERVED TREES DAMAGED OR REMOVED DURING CONSTRUCTION MAY HAVE TO BE REPLANTED PRIOR TO CERTIFICATE OF OCCUPANCY TO FULFILL PERIMETER PLANTING OR BUFFER REQUIREMENTS.
  - TREE PROTECTION FENCING THAT DOES NOT GO TO OR EXCEED THE PRESERVED TREE'S DRIPLINE WILL NOT BE ACCEPTED.



- UTILITY BOX SCREENING**  
 NOT TO SCALE
- EVERGREEN PLANT MATERIAL SHALL BE 8' TALLER THAN UTILITY BOX.**

**Legend:**

EXIST. CONCRETE MONUMENT	BENCHMARK
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL
IRON PIN FOUND (I.P.F.)	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION
EXIST. SIGN POST	HC SIGN
EXIST. SEWER CLEANOUT	PROPOSED SIGN POST
EXIST. MANHOLE (SEWER & PHONE)	CONCRETE BOLLARD
EXIST. CATCH BASIN (STORM SEWER)	WHEEL STOP
EXIST. WATER/GAS VALVE	CONCRETE SIDEWALK
EXIST. TELEPHONE RISER	EXTRUDED CURB
EXIST. GAS RISER	CURB & GUTTER
ELECTRICAL ENCLOSURE	TRAFFIC ARROW
EXIST. WATER METER	TURN LANE ARROWS
EXIST. UTILITY POLE	REVISION NUMBER
EXIST. FIRE HYDRANT	DRAINAGE STRUCTURE DESIGNATION
POST INDICATOR VALVE	DRAINAGE PIPE DESIGNATION
BLOW OFF VALVE	RIP RAP
REDUCER	RUNOFF FLOW ARROW
REMOTE FIRE DEPT. CONNECTION	INLET FILTER PROTECTION
CONCRETE THRUST BLOCK	PROPOSED SPOT ELEVATION
DOUBLE DETECTOR CHECK VALVE	EXIST. SPOT ELEVATION
FIRE DEPT. CONNECTION	SEWER/STORM FLOW DIRECTION
FIRE HYDRANT	CATCH BASIN
GATE VALVE & BOX	CURB INLET
WATER METER	AREA DRAIN
GAS METER	HEADWALL
GREASE TRAP	WINGED HEADWALL
EXTERIOR CLEANOUT ECO	CONCRETE SWALE
MANHOLE	TYPE- X- HEADWALL

Boundary Information Taken From Deeds Topographic Information Taken From City GIS Info

**PLANTING SCHEDULE**

Group	Qty.	Plant Key	Botanical Name	Common Name	Hgt. Min.	Spnd. Min.	Plant Size	Type	Root	Spacing	Notes
Canopy Trees	29	LT	Liriodendron tulipifera	Tulip Tree	14'-16'		3" Cal.	Dec.	B&B	As Shown	5' Clear trunk, single, straight central leader, evenly branched, symmetrical crown, matched*
	24	GN	Quercus nuttallii	Nuttall Oak	14'-16'		3" Cal.	Dec.	B&B	As Shown	5' Clear trunk, single, straight central leader, evenly branched, symmetrical crown, matched*
	4	ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	14'-16'		3" Cal.	Dec.	B&B	As Shown	5' Clear trunk, evenly branched, symmetrical crown, matched*
	13	CC	Cercis canadensis	Eastern Redbud	10'-12'		2" Cal.	Dec.	B&B	As Shown	Matched, well-branched
Evergreen Trees	15	CD	Cedrus deodara 'Bracken's Best Cedar'	Bracken's Best Deodar Cedar (BBC)	6'	4'	Evj	B&B	8' O.C.	Full to ground, dense, well-branched	
	23	IN	Ilex x 'Nellee R Stevens'	Nellee R Stevens Holly	6'	4'	Evj	B&B	8' O.C.	Full to ground, dense, well-branched	
Shrubs	15	AG	Abelia x grandiflora 'Kaleidoscope' P.P.#16,988	Kaleidoscope Abelia	24"	24"	Evj	3 Gal.	3' O.C.	Well-branched, dense, matched	
	20	AM	Abelia x 'Mardi Gras' P.P.# 15,203	Mardi Gras Abelia	24"	24"	Evj	3 Gal.	3' O.C.	Well-branched, dense, matched	
	44	HO	Hydrangea quercifolia	Oakleaf Hydrangea	24"	24"	Evj	5 Gal.	4' O.C.	Full, well-branched, matched	
	9	CB	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	24"	24"	Evj	3 Gal.	3' O.C.	Dense, full, matched	
	24	IM	Ilex x meserveae 'China Girl'	China Girl Holly	30"	36"	Evj	B&B	4' O.C.	Dense, full, matched	
	81	PL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken English Laurel	24"	24"	Evj	3 Gal.	5' O.C.	Full, well-branched	
	31	VP	Viburnum x pragnese	Prague Viburnum	48"	36"	Evj	Cont.	5' O.C.	Dense, full, matched	

\* Matched means: Trees of the same species shall have the following characteristics: matched by branch height, caliper, height of tree, spread of branches and branching structure, and overall canopy shape.

**SITE ENGINEERING CONSULTANTS**  
 ENGINEERING • SURVEYING • LAND PLANNING  
 LANDSCAPE ARCHITECTURE

**SFC, Inc.**  
 850 MIDDLE TENNESSEE BOULEVARD  
 MURFREESBORO, TENNESSEE 37129  
 PHONE: (615) 890-7901  
 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667

**REVIEW SET**  
 (Not Interfered With)

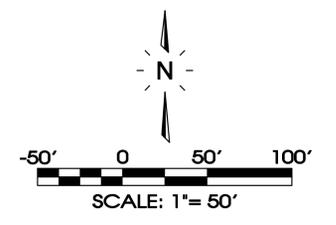
Professional Engineer Seal: Robert S. Moulchan, State of Tennessee, No. 1141, Exp. 12/31/2016

**Cason Lane Mini-Storage**  
 Murfreesboro, TN

**Landscape Plan**

REVISIONS:

DRAWN: RSM, SLB  
 DATE: 03-31-2016  
 CHECKED: RSM  
 FILE NAME: 07106\_LA.dwg  
 SCALE: 1"=50'  
 JOB NO. 07106  
 SHEET: L1.0





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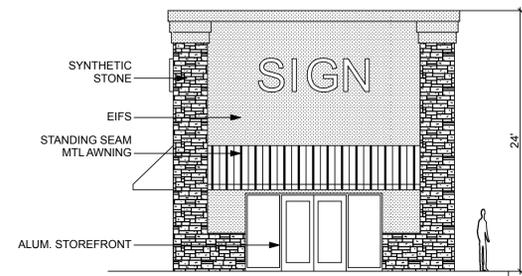
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865.602.7771  
Fax 865.602.7742  
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NEW STORAGE BUILDINGS FOR  
**CASON LANE  
MINI STORAGE**  
MURFREESBORO, TENNESSEE

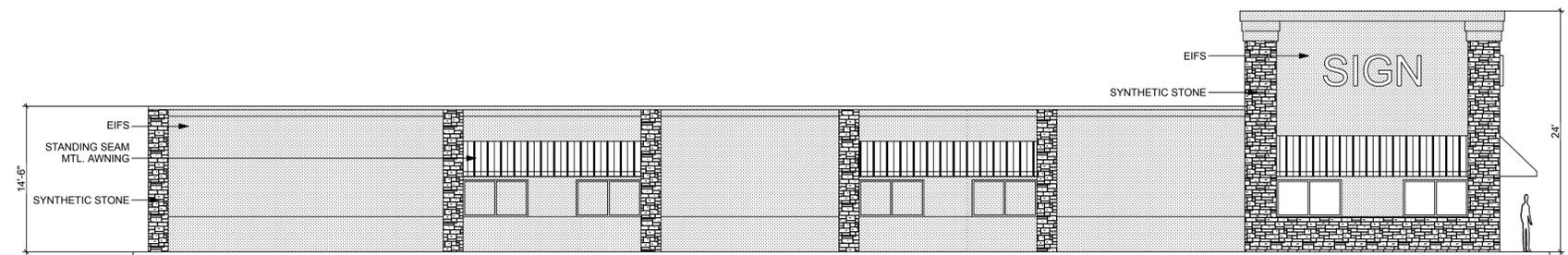
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ELEVATIONS**

DATE: 03 MARCH 2016  
JOB #: 16006  
PROJ MGR: GES

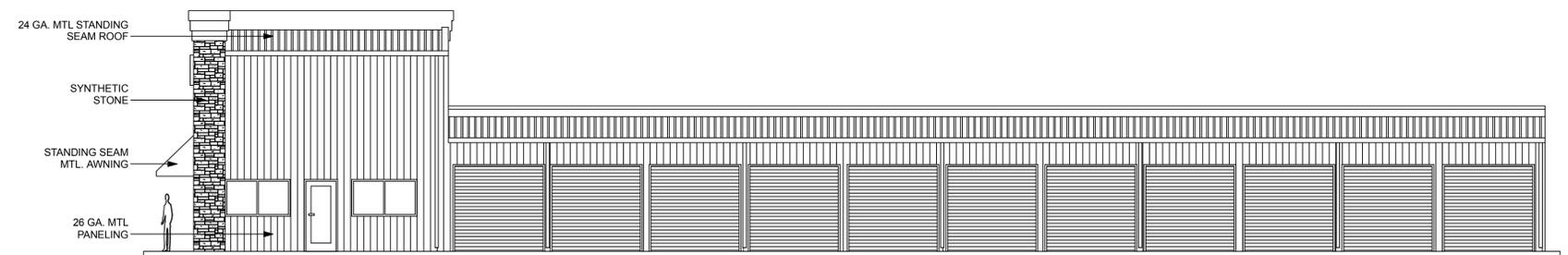
**A4.1**



**3** BLDG. #1 NORTH ELEVATION  
A4.1 SCALE: 1/8" = 1'-0"



**1** BLDG. #1 EAST ELEVATION  
A4.1 SCALE: 1/8" = 1'-0"



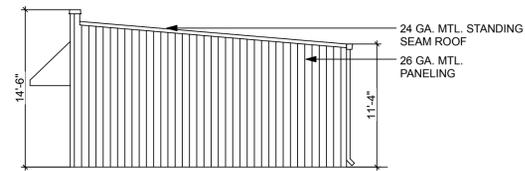
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A4.1 SCALE: 1/8" = 1'-0"



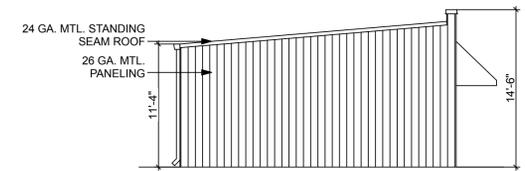
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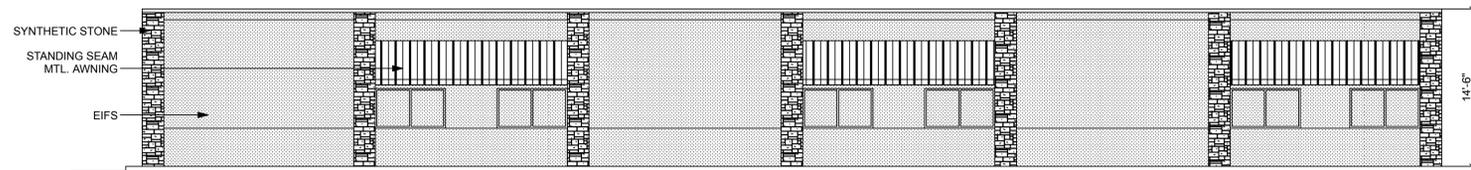
NEW STORAGE BUILDINGS FOR  
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MURFREESBORO, TENNESSEE



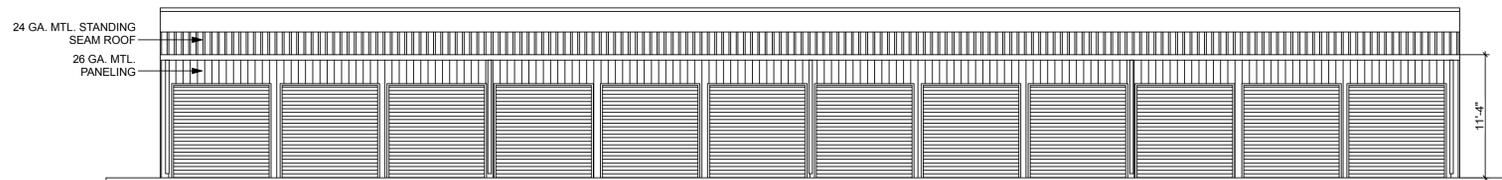
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SCALE: 1/8" = 1'-0"



**3**  
**A4.2** BLDG. #2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**2**  
**A4.2** BLDG. #2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**1**  
**A4.2** BLDG. #2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

BLDG. #2 EXTERIOR  
ELEVATIONS

DATE: 03 MARCH 2016  
JOB #: 16006  
PROJ MGR: GES

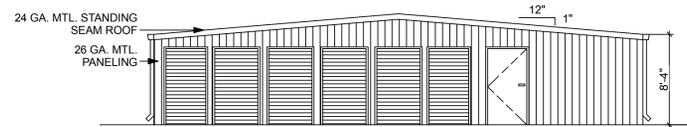
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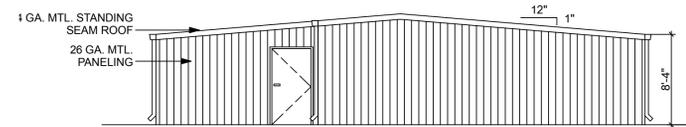
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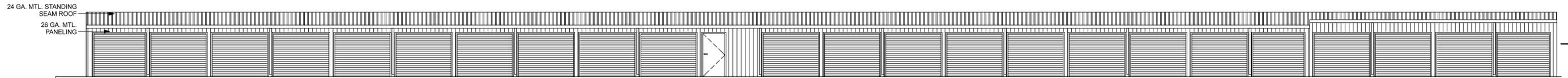
NEW STORAGE BUILDINGS FOR  
**CASON LANE  
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MURFREESBORO, TENNESSEE



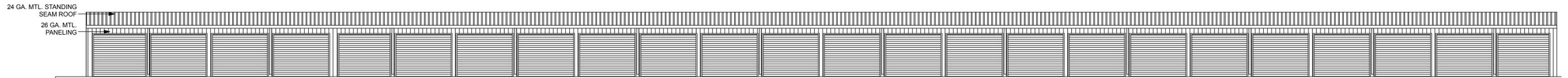
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SCALE: 1/8" = 1'-0"



**3**  
**A4.3** BLDG. #3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**2**  
**A4.3** BLDG. #3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**1**  
**A4.3** BLDG. #3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

BLDG. #3 EXTERIOR  
ELEVATIONS

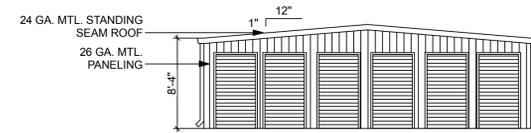
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PROJ MGR: GES

**A4.3**

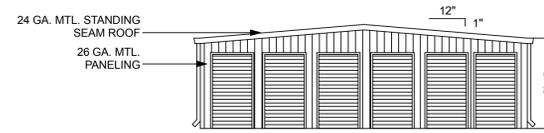


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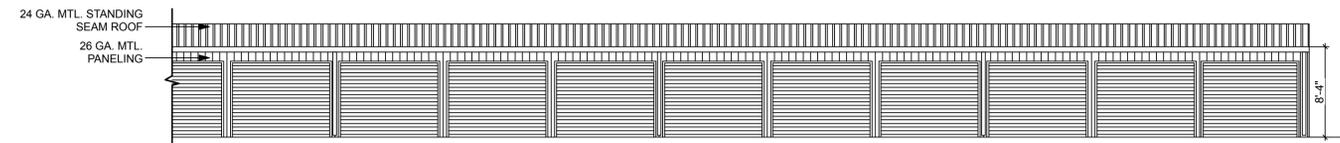
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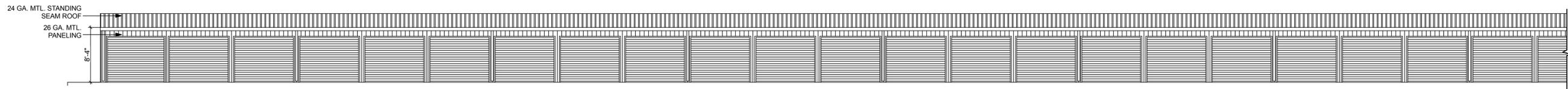
**6** BLDG. #4 SOUTH ELEVATION  
A4.4 SCALE: 1/8" = 1'-0"



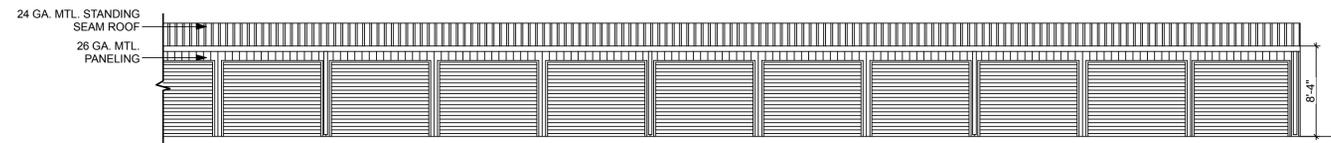
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A4.4 SCALE: 1/8" = 1'-0"



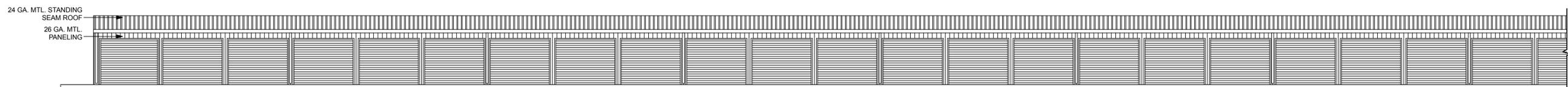
**4** BLDG. #4 WEST ELEVATION  
A4.4 SCALE: 1/8" = 1'-0"



**3** BLDG. #4 WEST ELEVATION  
A4.4 SCALE: 1/8" = 1'-0"



**2** BLDG. #4 EAST ELEVATION  
A4.4 SCALE: 1/8" = 1'-0"



**1** BLDG. #4 EAST ELEVATION  
A4.4 SCALE: 1/8" = 1'-0"

NEW STORAGE BUILDINGS FOR  
**CASON LANE**  
**MINI STORAGE**  
MURFREESBORO, TENNESSEE

BLDG. #4 EXTERIOR  
ELEVATIONS

DATE: 03 MARCH 2016  
JOB #: 16006  
PROJ MGR: GES

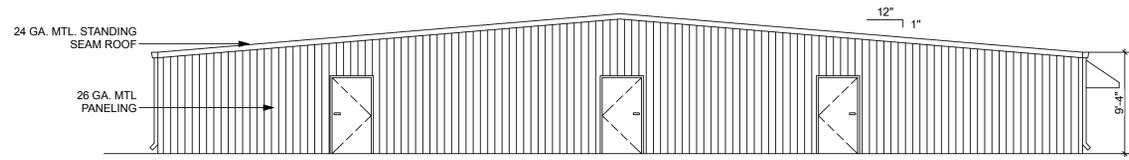
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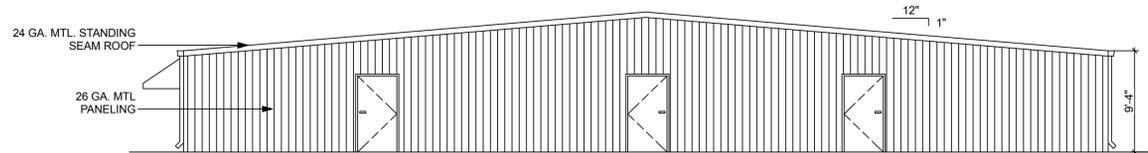
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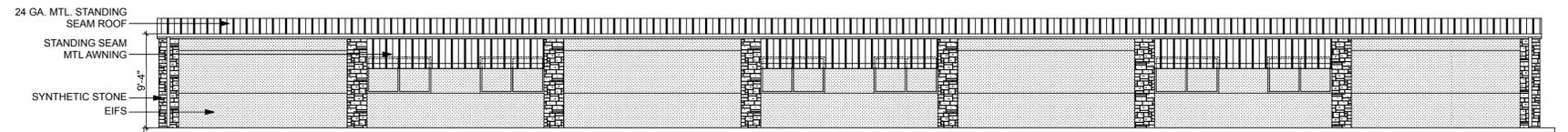
NEW STORAGE BUILDINGS FOR  
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MURFREESBORO, TENNESSEE



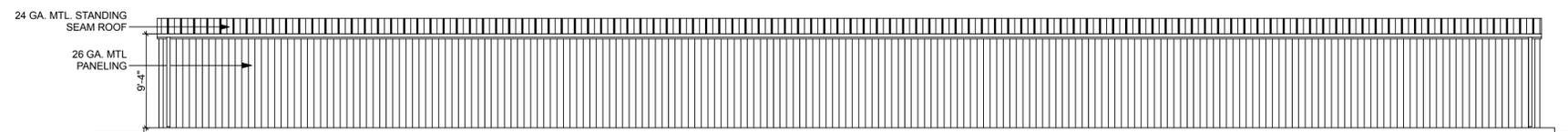
**4** BLDG. #11 SOUTH ELEVATION  
A4.11 SCALE: 1/8" = 1'-0"



**3** BLDG. #11 NORTH ELEVATION  
A4.11 SCALE: 1/8" = 1'-0"



**2** BLDG. #11 EAST ELEVATION  
A4.11 SCALE: 1/8" = 1'-0"



**1** BLDG. #11 WEST ELEVATION  
A4.11 SCALE: 1/8" = 1'-0"

BLDG. #11 EXTERIOR  
ELEVATION

DATE: 03 MARCH 2016  
JOB #: 16006  
PROJ MGR: GES

**A4.11**

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**7.a. Zoning application [2016-417] for approximately 5.6 acres located along West Northfield Boulevard and Sulphur Springs Road to amend the PCD, Tarver Properties Inc applicant.**

The subject property is located south of West Northfield Boulevard and west of Sulphur Spring Road. The subject property consists of one parcel which is developed with an institutional group assembly (church). A spring is also located on the property. The properties to the south and west are zoned RS-15 (Single-Family, Residential District) and are an established, single-family subdivisions. The property to the east is zoned RM-16 (Multi-family, residential district) and is the location of Haynes Manor apartment community. Sinking Creek and its floodway are located to the west, along Sulphur Springs Road. The property to the north, across West Northfield Boulevard is zoned RS-10 and is the location of single-family dwellings and an undeveloped parcel on the corner. On the northwest intersection are the Saddlebrook apartments, which are zoned PUD.

This property was rezoned in 2005 to PCD (Planned Commercial District) called Spring Village to allow a limited amount of commercial and institutional uses. Exhibits have been included from the Spring Village program book in the packet. The uses are limited to no establishments where on premise consumption of intoxicating beverages is the primary activity, not auto sales and/or service and no amplified outdoor music. Those same conditions are staying in the PCD. The applicant has a contract to purchase the property and has requested to amend the current PCD by replacing the approved Spring Village PCD program with the Northfield Village PCD program. The proposed PCD requires that any new structures be a single story structure with a hip, gables or pitched roof. The exterior materials allowed are brick, cement board siding, or cedar board siding.

The PCD is to allow the property to be divided into two lots. Lot 1 is a proposed self-storage facility and Lot 2 is being proposed to develop as a neighborhood commercial node. The Zoning Ordinance asks that planned development applications compare the proposed PCD to an existing bulk zone and, in this case, the CF district (Fringe Commercial District) is closest to the type of development they are asking the Planning Commission to approve. The applicants have gone through the list of permitted uses and are proposing the following uses:

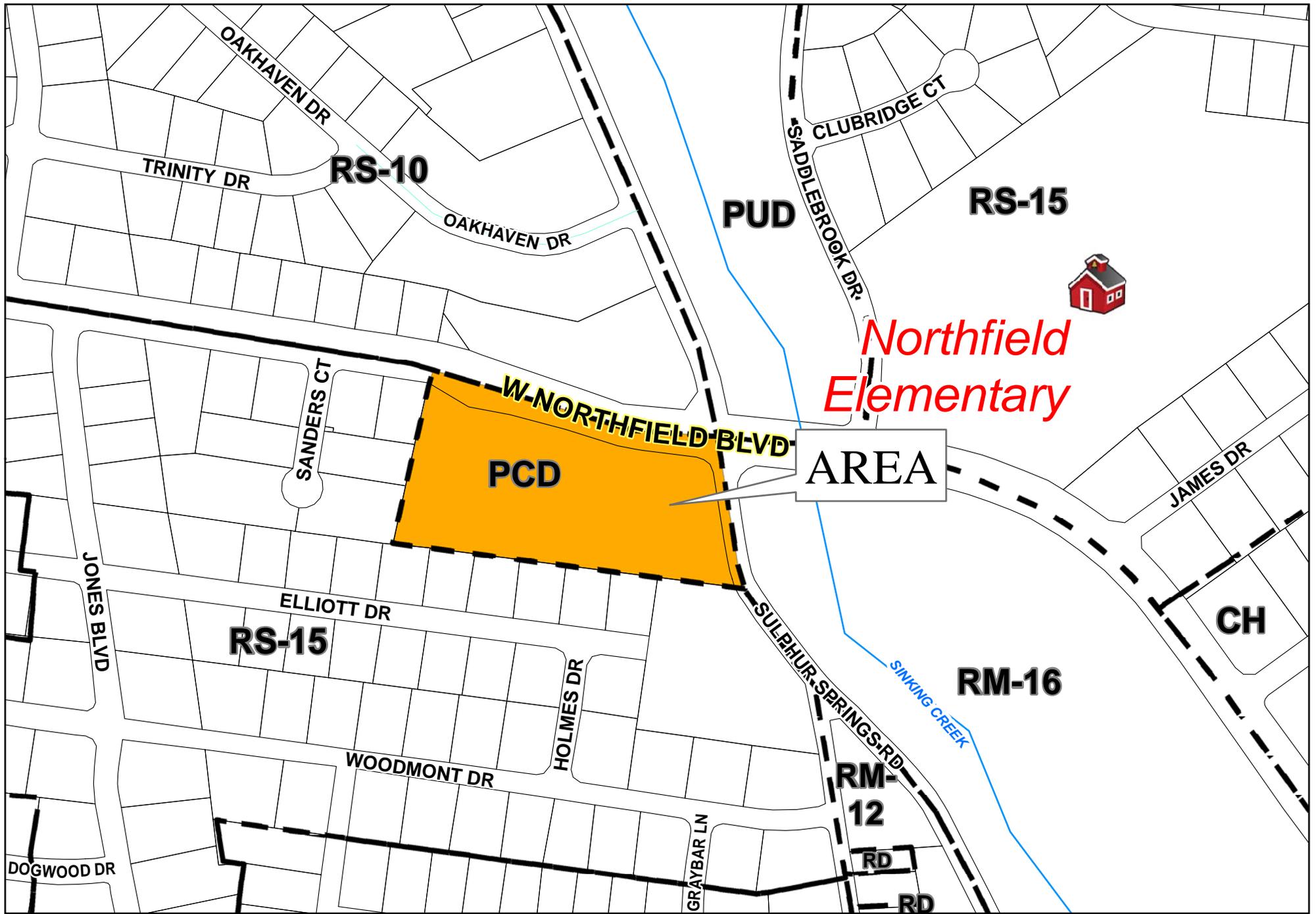
- |                                       |   |
|---------------------------------------|---|
| 1. Self-Storage Facility on Lot 1     | 11. Retail Bakery                       |
| 2. Daycare center                     | 12. Bank Branch office                  |
| 3. Museum                             | 13. Bank, Drive-up electronic teller    |
| 4. Philanthropic institution          | 14. Bank, Main Office                   |
| 5. Public building                    | 15. Barber or Beauty Shop               |
| 6. Post office or postal facility     | 16. Book or Card Shop                   |
| 7. Amusements                         | 17. Business and Communication Services |
| 8. Antique Shop <3,000 SF             | 18. Catering Establishment              |
| 9. Apothecaries (pharmaceutical only) | 19. Clothing Store                      |
| 10. Art or Photo Studio or Gallery    |   |

- |   |  |
|---|--|
| 20. Convenience Sales and Service,<br>Max. 5,000 sq. ft of floor area (no fuel pumps) | 31. Karate Instruction                           |
| 21. Delicatessen  | 32. Locksmith                                    |
| 22. Doughnut Shop   | 33. Music or Dancing Academy                     |
| 23. Dry Cleaning  | 34. Offices                                      |
| 24. Dry Cleaning Pick-up Station  | 35. Optical Dispensaries                         |
| 25. Financial Service   | 36. Personal Service Establishment               |
| 26. Flower or Plant Store   | 37. Pet Shop                                     |
| 27. Garden & Lawn Supplies (no outdoor storage)                                       | 38. Pharmacies                                   |
| 28. Glass-Stained and Leaded  | 39. Photo Finishing                              |
| 29. Ice Cream Shop  | 40. Reducing and Weight Control Service          |
| 30. Interior Decorator  | 41. Restaurant and Carry-out Restaurant          |
|   | 42. Retail Shop, other than enumerated elsewhere |

The Planning Commission may recommend adding to the list of permitted uses or the removal of particular uses. The hours of operation for the self-storage facility will be limited to 6am-10pm. The buildings will be single story with hip, gabled or pitched roofs. The exterior materials will be brick and/or stone, EIFS details and simulated Spanish tile roofing. Illustrations have been included in the program book. Staff is uncertain if the design standards apply to both lots or only to the Lot 1 self-storage facility.

The planned development zoning also allows for exceptions from the Zoning Ordinance or Subdivision Regulations. The applicants have requested exceptions be made to the front and rear setbacks. The CF district requires a 42' front setback from both front lot lines, 10' side setbacks and a 20 rear setback. The PCD requests 15' front setback, and 15' rear setback.

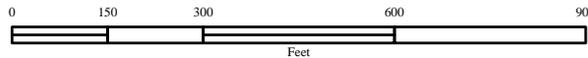
The applicants held a neighborhood meeting at Northfield Elementary on March 21, 2016. The Northfield Village PCD program book has been included with the agenda materials. The applicants will be available to make a presentation regarding the proposed zoning. The Planning Commission will need to consider the matter and then schedule it for a public hearing.



**Rezoning Request for Property Along W. Northfield Blvd.  
PCD Amendment**



Path: G:\planning\rezon\northfieldvillagePCDamend.mxd



GIS Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

SPRING  
VILLAGE



Spring Village at Northfield • Murfreesboro, TN  
HOLLOWAY-WALDRON DEVELOPMENT



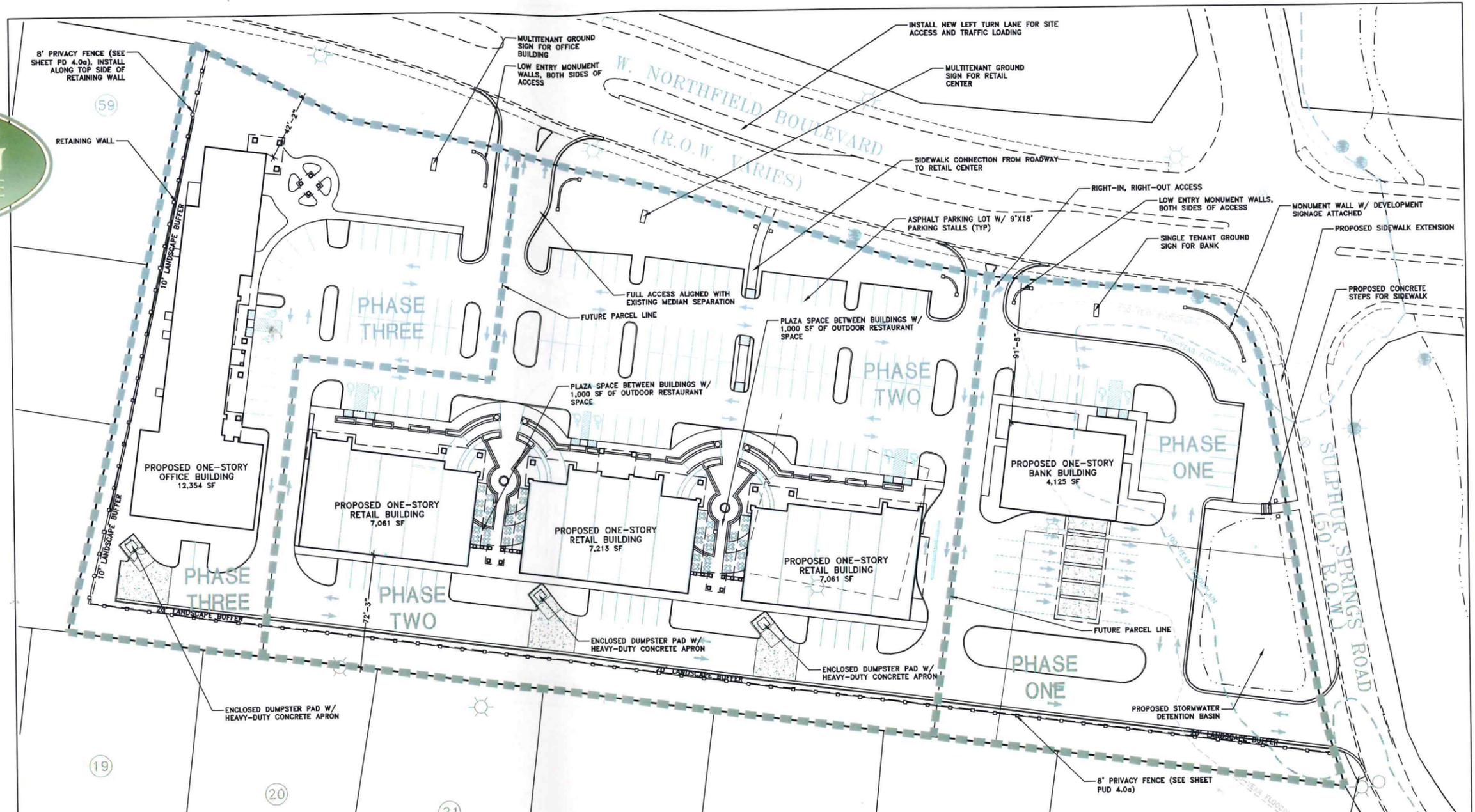
Rendering by  
Oliveros & Friends  
2112 Bishopsgate Dr.  
Toledo, OH 43614 U.S.A.  
Phone: 1.419.385.8100



SITE DATA	
EXISTING ZONING:	RS15
EXISTING USAGE:	VACANT CHURCH & MULTI-FAMILY RESIDENTIAL
TOTAL ACREAGE:	5.60 AC (100% OF DEVELOPMENT AREA)
PROPOSED ZONING:	PLANNED COMMERCIAL DISTRICT (PCD)
PROPOSED USAGE:	MIXED-USE RETAIL AND OFFICE
PROPOSED USE SQUARE FOOTAGES:	
BANK:	4,125 SF
OFFICE:	12,058 SF
RETAIL:	21,333 SF
MAXIMUM SQUARE FOOTAGE IN BUILDINGS:	37,518 SF
LAND USES BY AREA:	
COMMERCIAL / RETAIL USE:	37,518 SF (0.86 AC, OR 15.4%)
OPEN SPACE:	52,005 SF (1.19 AC, OR 21.3%)
OFF-STREET PARKING AND LOADING:	92,262 SF (2.11 AC, OR 37.7%)
FLOOR AREA RATIO (FAR):	0.157
TOTAL PARKING REQUIRED:	125 SPACES (1 SPACE / 300 SF @ 37,518 SF) 50 SPACES (1 SPACE / 100 SF @ 5,000 SF)
TOTAL PARKING PROVIDED:	175 TOTAL SPACES 176 SPACES INC. 10 HANDICAPPED SPACES (4 VAN ACCESSIBLE)



# Planned Development Site Master Plan



**SITE DATA**  
 EXISTING ZONING:  
 EXISTING USAGE:  
 TOTAL ACREAGE:  
 PROPOSED ZONING:  
 PROPOSED USAGE:  
 PROPOSED USE SQUARE FOOTAGES:  
 BANK:  
 OFFICE:  
 RETAIL:  
 MAXIMUM SQUARE FOOTAGE IN BUILDINGS:  
 LAND USES BY AREA:  
 COMMERCIAL / RETAIL USE:  
 OPEN SPACE:  
 OFF-STREET PARKING AND LOADING:

RS15  
 VACANT CHURCH & MULTI-FAMILY RESIDENTIAL  
 5.60 AC (100% OF DEVELOPMENT AREA)  
 PLANNED COMMERCIAL DISTRICT (PCD)  
 MIXED-USE RETAIL AND OFFICE

4,125 SF  
 12,058 SF  
 21,335 SF  
 37,518 SF

37,518 SF (0.86 AC, OR 15.4%)  
 52,005 SF (1.19 AC, OR 21.3%)  
 92,262 SF (2.11 AC, OR 37.7%)

0.157  
 125 SPACES (1 SPACE / 300 SF @ 37,518 SF)  
 50 SPACES (1 SPACE / 100 SF @ 5,000 SF)  
 175 TOTAL SPACES  
 176 SPACES  
 INC. 10 HANDICAPPED SPACES (4 VAN ACCESSIBLE)

**NOTES**  
 1. DEVELOPMENT TO FOLLOW GATEWAY DESIGN OVERLAY DISTRICT GUIDELINES FOR LANDSCAPING AND SIGNAGE.  
 2. SEE SHEET PD 4.0 FOR DUMPSTER ENCLOSURE DETAILS.  
 3. OFFICE SUITE ARCHITECTURAL PLANS TO INCLUDE REAR EMERGENCY ACCESS.  
 4. PROPERTY TO BE SUBDIVIDED INTO PARCELS WITH CROSS ACCESS EASEMENTS AND JOINT USE PARKING.  
 5. ALL SIGNAGE TO MEET CITY OF MURFREESBORO CODES AND SIGNAGE SHALL RECEIVE APPROVAL THROUGH MURFREESBORO CODES DEPARTMENT FOR COMPLIANCE.

**SIGNAGE STANDARDS**  
**BUILDING FACADE (ATTACHED) SIGNAGE**  
 - SINGLE TENANT: 3 SQUARE FOOT / LINEAR FOOT  
 - MULTITENANT: 3 SQUARE FOOT / LINEAR FOOT  
 - MAXIMUM 60 SF / TENANT  
 - MAXIMUM 2.5 FEET TALL

**WINDOW SIGNS**  
 - MAXIMUM 25% OF INDIVIDUAL WINDOW PANE AREA

**MULTITENANT GROUND SIGN**  
 - ONE PER LOT  
 - MAXIMUM HEIGHT - 12'  
 - 200 SF TOTAL (DOUBLE-FACED: 100 SF PER SIDE)

**SINGLE TENANT GROUND SIGN**  
 - ONE PER LOT  
 - MAXIMUM HEIGHT - 8'  
 - 100 SF TOTAL (DOUBLE-FACED: 50 SF PER SIDE)

**DEVELOPMENT ID SIGN**  
 - ONE PER DEVELOPMENT  
 - MAXIMUM HEIGHT - 8'  
 - 100 SF TOTAL AREA

**LEGEND**

- OPAQUE SLAT FENCE
- TRAFFIC DIRECTIONAL ARROW
- HEAVY DUTY CONCRETE PAD
- LIGHT POLE
- UTILITY POLE
- MANHOLE
- BUILDING ROOF OVERHANG
- END PROPOSED SIDEWALK EXTENSION



## Potential uses for occupants of Northfield Village include:

### OTHER HOUSING

- Day-Care Center
- Museum
- Philanthropic Institution
- Public Building

### COMMERCIAL

- Amusements
- Antique Shop <3,000 SF
- Apothecaries (pharmaceutical only)
- Art or Photo Studio or Gallery
- Retail Bakery
- Bank Branch Office
- Bank, Drive-Up Electronic Teller
- Bank, Main Office
- Barber or Beauty Shop
- Book or Card Shop
- Business and Communication Service
- Catering Establishment
- Clothing Store
- Convenience Sales and Service, max. 5,000 sf floor area (no fuel pumps)
- Delicatessen
- Doughnut Shop
- Dry Cleaning
- Dry Cleaning Pick-up Station

- Financial Service
- Flower or Plant Store
- Garden and Lawn Supplies (no outdoor storage)
- Glass –Stained and Leaded
- Ice Cream Shop
- Interior Decorator
- Karate Instruction
- Locksmith
- Liquor Store
- Music or Dancing Academy
- Offices
- Optical Dispensaries
- Personal Service Establishment
- Pet Shop
- Pharmacies
- Photo Finishing
- Reducing and Weight Control Service
- Restaurant and Carry-out Restaurant\*
- Retail Shop, other than enumerated elsewhere
- Specialty Shop
- Video Rental

### TRANSPORTATION AND PUBLIC UTILITIES

- Post Office or Postal Facility

\*No establishments where on-premise consumption of intoxicating beverages is primary activity.  
Additional Notes: There shall be no auto sales and/or service.  
There shall be no amplified outdoor music.

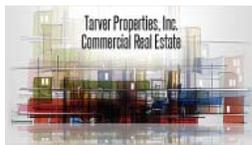
# NORTHFIELD VILLAGE



A REQUEST TO REZONE TO A PCD

Submitted March 31, 2016

SEC Project # 05010



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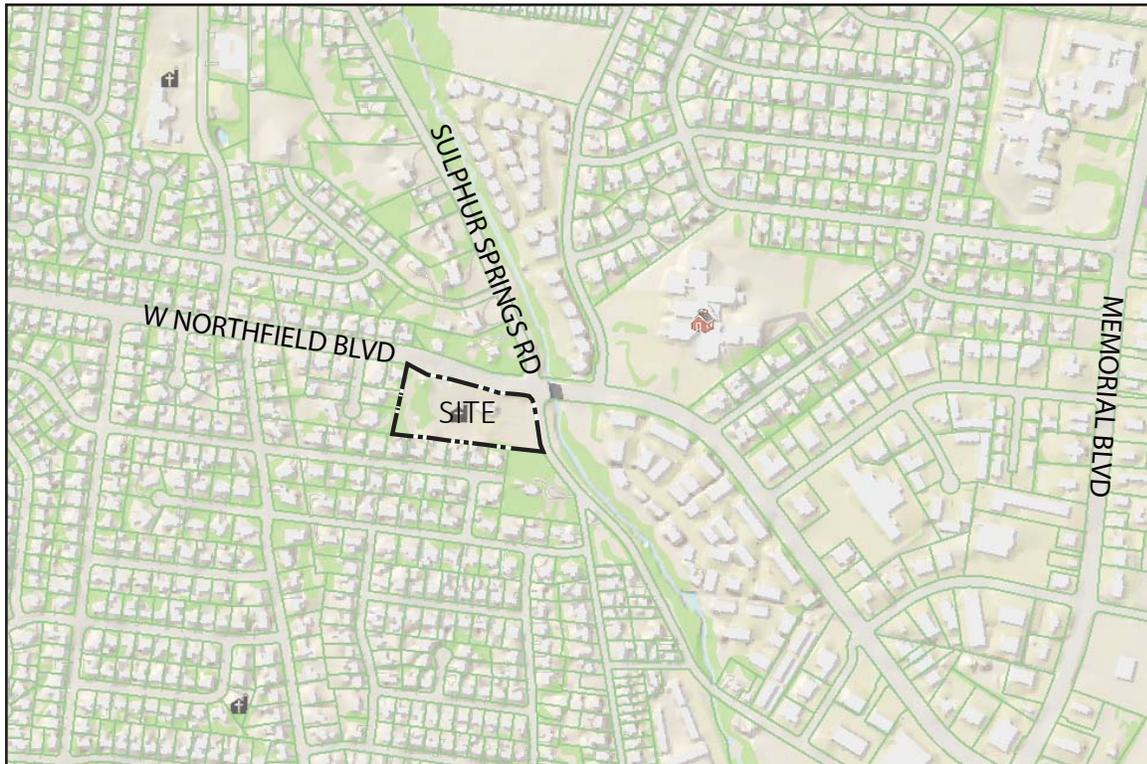
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AERIAL IMAGE

↑  
NOT TO SCALE



GIS IMAGE

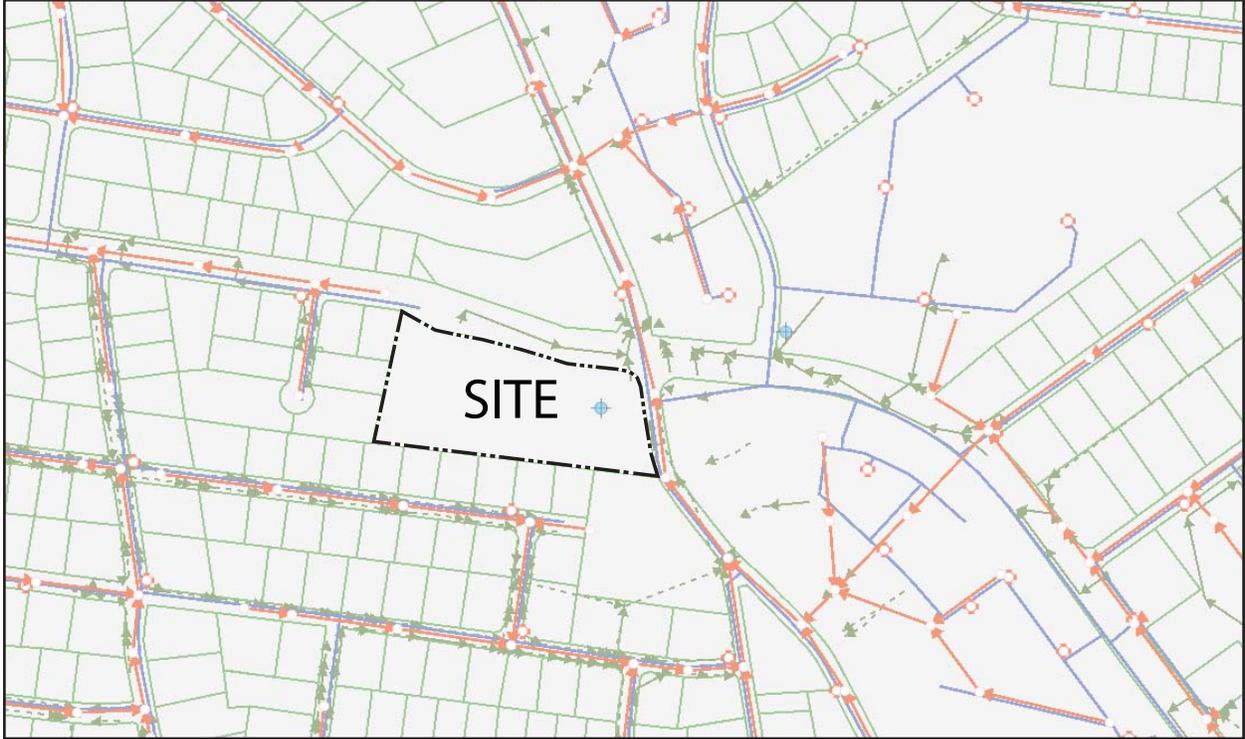
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Tarver Properties, Inc. respectfully requests to rezone the property at 1205 Sulphur Springs Road, which is currently owned by H.W.S. Partnership to a Planned Commercial Development (PCD). The property is located at the southwest corner of the intersection of Sulphur Springs Road and West Northfield Boulevard. The site is identified as parcel 11.00 of tax map 80k group A, and is approximately 5.60 acres.

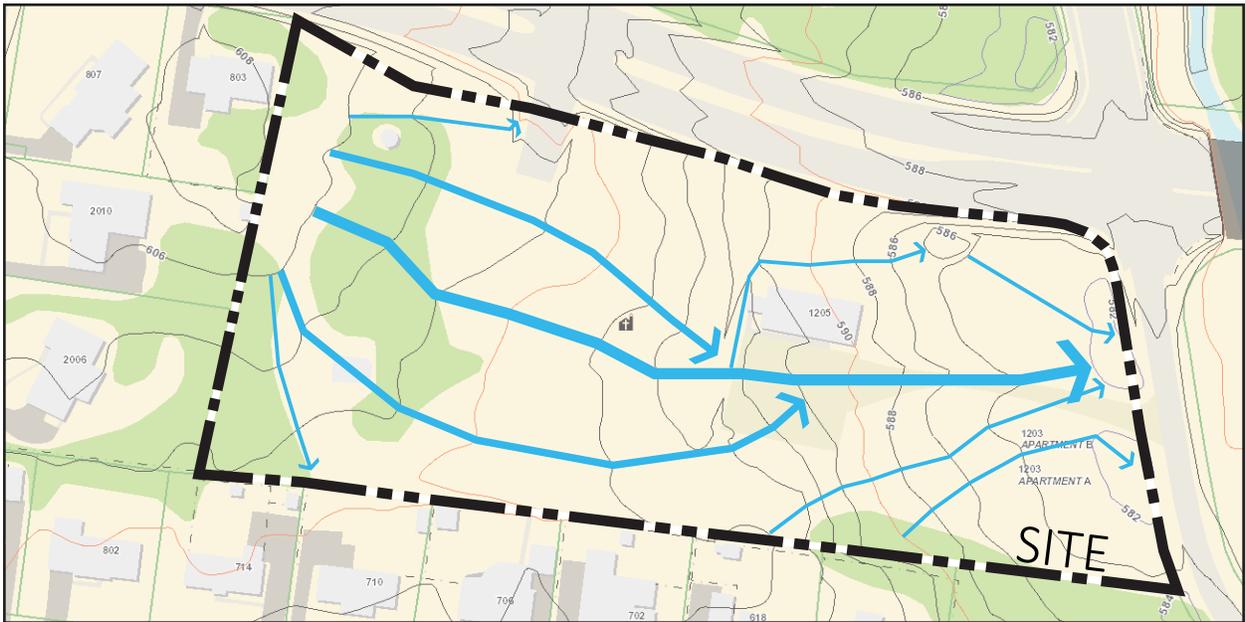
The surrounding area consists of Forest Hills Estates to the south and west, a single family residence to the north across W. Northfield Boulevard, Haynes Manor Apartments to the east across Sulphur Springs Road, and Saddlebrook Apartments on the northeast corner of the intersection.

The request for the PCD zoning is to specifically allow for a mini-storage facility to be constructed on Lot 1, with Lot 2 being left undeveloped at this time. A list of potential uses for Lot 2 is outlined within this booklet. The guidelines established within this booklet will allow for a need in the community to be fulfilled while mitigating impact to the surrounding area through sensitive and quality design and construction.





UTILITIES - WATER AND SEWER



TOPOGRAPHY AND HYDROLOGY





## CITY OF MURFREESBORO

The property has/will have access to public rights-of-way on Sulphur Springs Road and West Northfield Boulevard. The mini-storage lot will have direct access, as well as a shared access point on lot 2 to West Northfield Boulevard. A third point of access for the mini-storage will be provided via a shared access drive to Sulphur Springs Road along the southern edge of lot 2. Lot 2, when designed and developed, will utilize these same three ingress/egress points shared within this PCD.



## MURFREESBORO WATER AND SEWER DEPARTMENT

Sanitary sewer service will connect to a 24" gravity sewer line located in the R.O.W. of Sulphur Springs. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. Sanitary sewer service will be provided by the Murfreesboro Water & Sewer Department.

A 10" water main located in the R.O.W. of Sulphur Springs Road. Water service will be connected to the main. The developer will be responsible for extending the waterline into the site for domestic and fire water service. Water service will be provided by the M.W.S.D.



## MURFREESBORO ELECTRIC DEPARTMENT

Murfreesboro Electric Department will be providing electrical service. All electric service will be underground. Electricity is currently located along the western R.O.W. of Sulphur Springs Road.

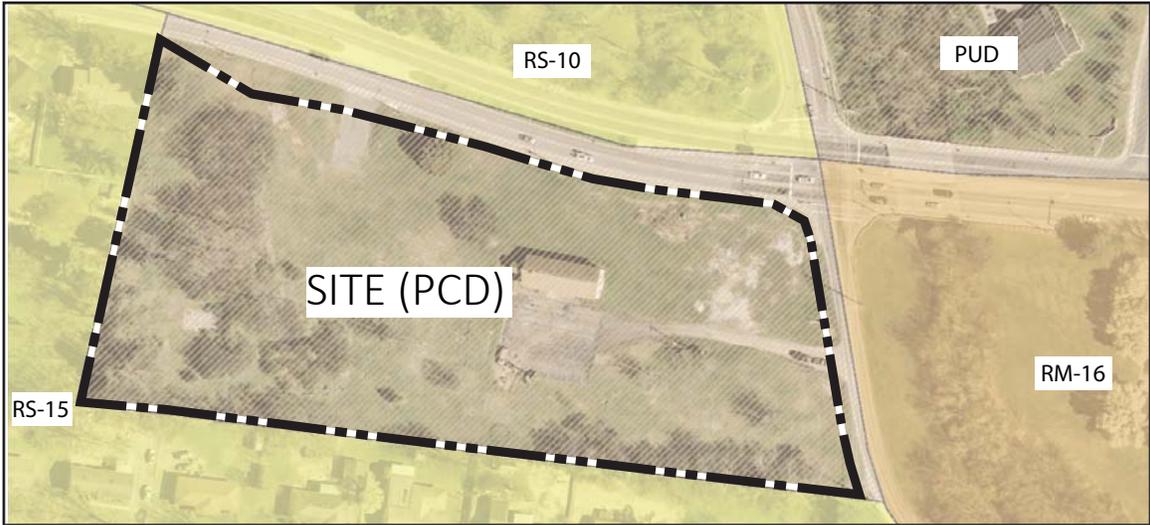
## TOPOGRAPHY AND HYDROLOGY

The existing topography of the site shows the site's topography is generally from a high point along the western property down to a low spot near the intersection. Stormwater drainage follows the topography where almost all surface drainage flows to the low point near the intersection of Sulphur Springs Road and West Northfield Boulevard. An underground storm pipe leaves the property heading north and eventually discharges into Sinking Creek.



ON-SITE PHOTOS

  SITE BOUNDARY  
NOT TO SCALE



EXISTING ZONING

 NOT TO SCALE



**IMAGE 1**

VIEW SOUTH ONTO EXISTING BUILDING.



**IMAGE 2**

VIEW NORTHEAST ONTO INTERSECTION OF-NORTHFIELD BLVD. AND SULPHUR SPRINGS RD.



**IMAGE 3**

VIEW EAST ONTO SULPHUR SPRINGS RD., WHICH IS ADJACENT TO THE SITE BEFORE IT INTERSECTS WITH W NORTHFIELD BLVD.



**IMAGE 4**

VIEW SOUTH TOWARDS FOREST HILLS ESTATES.



**IMAGE 5**

VIEW SOUTHWEST TOWARDS FOREST HILLS ESTATES.



**IMAGE 6**

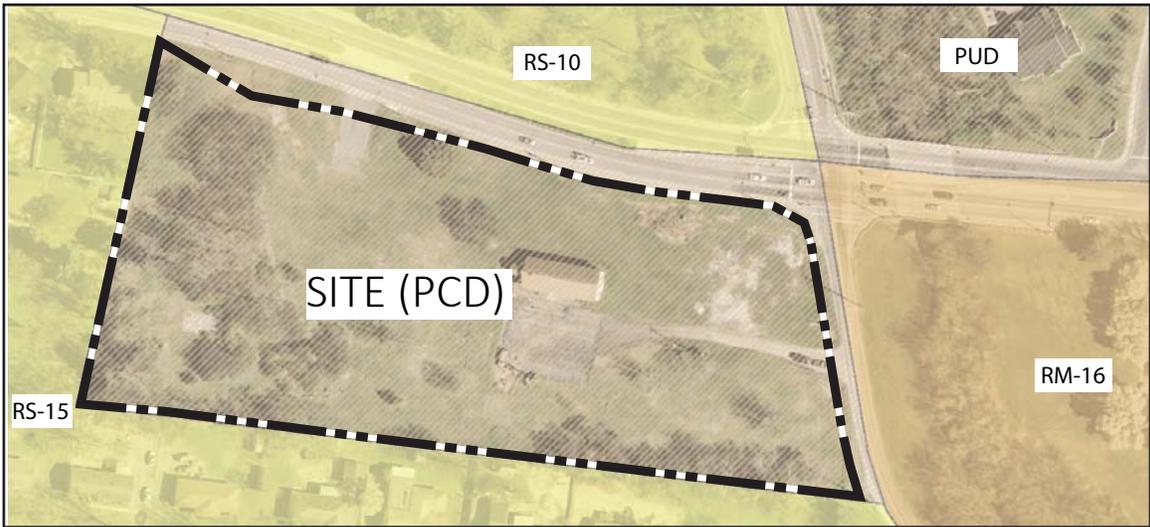
VIEW WEST TOWARDS FOREST HILLS ESTATES.



ON-SITE PHOTOS

NOT TO SCALE

  SITE BOUNDARY



EXISTING ZONING

NOT TO SCALE





**IMAGE 7**

VIEW NORTHEAST ONTO W NORTHFIELD BLVD. AS STEEP ELEVATION CHANGE SEPARATES SAID BLVD. FROM THE SITE.



**IMAGE 8**

VIEW NORTH ONTO SITE'S ENTRANCE/EXIT ROAD STUB.



**IMAGE 9**

VIEW NORTHWEST ONTO VISUAL THROUGHWAY WITH W NORTHFIELD BLVD.



**IMAGE 10**

VIEW SOUTHEAST ONTO THE SITE FROM PUBLIC SIDEWALK WITH ELEVATION CHANGE SEPARATING SAID SPACE WITH THE SITE.



**IMAGE 11**

VIEW SOUTHWEST, ACROSS W NORTHFIELD BLVD., ONTO SITE'S ENTRANCE/EXIT ROAD STUB.



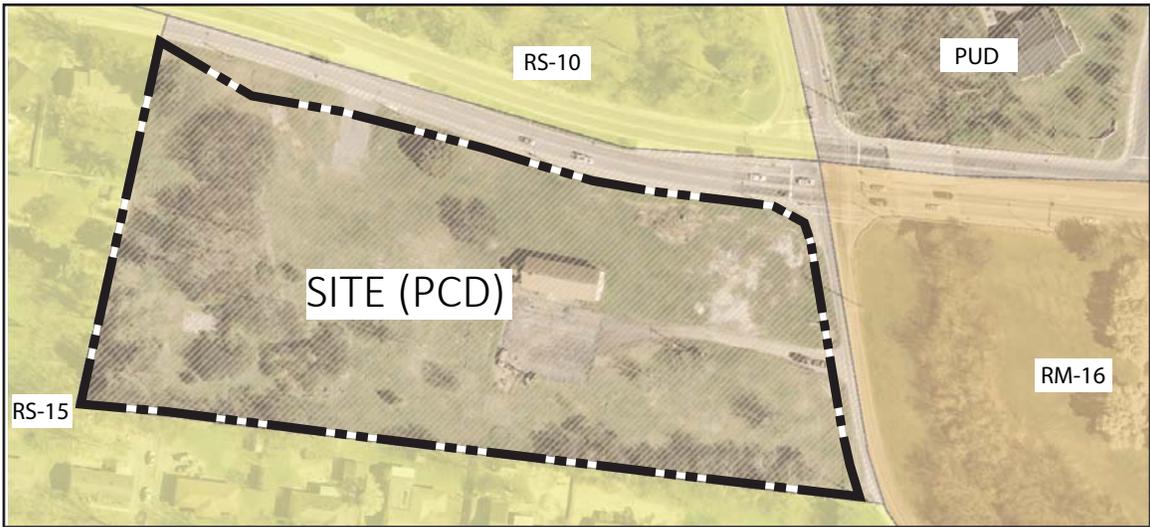
**IMAGE 12**

VIEW NORTH ONTO SANDERS CT. CONNECTING INTO W NORTHFIELD BLVD.



ON-SITE PHOTOS

  SITE BOUNDARY  
NOT TO SCALE



EXISTING ZONING

 NOT TO SCALE



**IMAGE 13**

VIEW SOUTHEAST ONTO INTERSECTION OF NORTHFIELD BLVD. AND SULPHUR SPRINGS RD.



**IMAGE 14**

VIEW SOUTHWEST ONTO SITE FROM THE INTERSECTION OF W NORTHFIELD BLVD. AND SULPHUR SPRINGS RD.



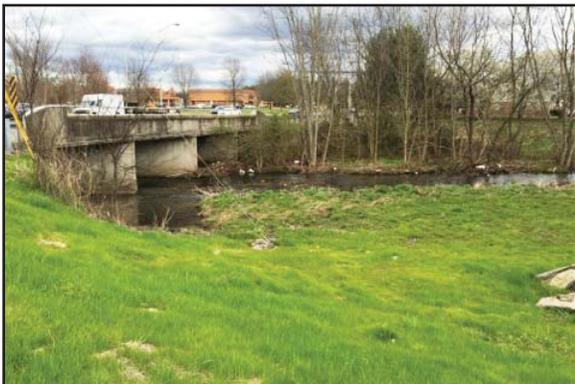
**IMAGE 15**

VIEW WEST ACROSS SULPHUR SPRINGS RD. ONTO SITE.



**IMAGE 16**

VIEW WEST, ACROSS SULPHUR SPRINGS RD., EXISTING MATURE VEGETATION SEPERATING FOREST HILLS ESTATES FROM THE SITE.



**IMAGE 17**

VIEW EAST, ACROSS SULPHUR SPRINGS RD., AS IT CROSSES SINKING CREEK.



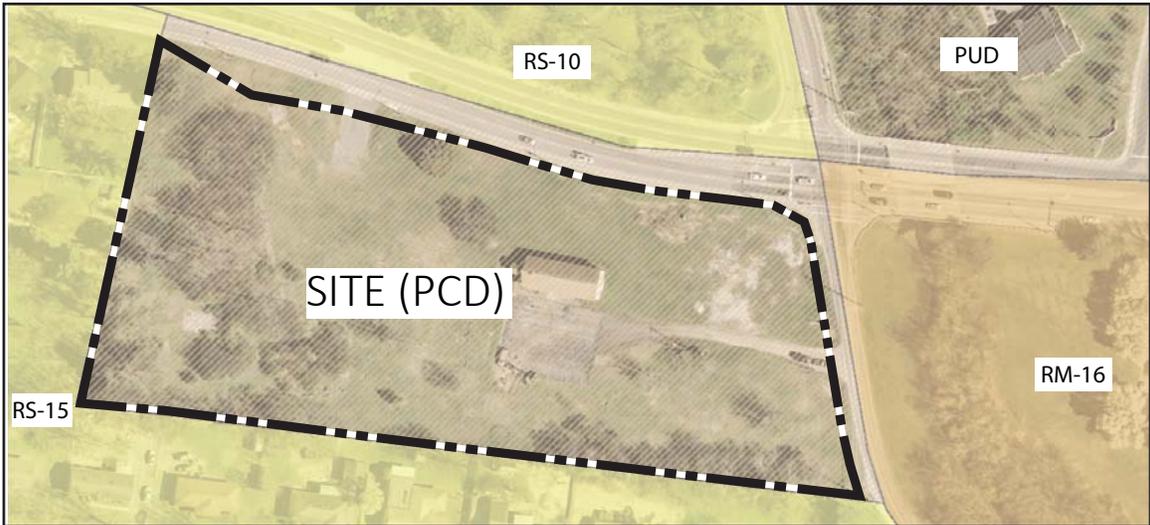
**IMAGE 18**

VIEW NORTHEAST, ACROSS SADDLEBROOK DR., INTO NORTHFIELD ELEMENTARY SCHOOL.



ON-SITE PHOTOS

NOT TO SCALE   SITE BOUNDARY



EXISTING ZONING

NOT TO SCALE 



**IMAGE 19**

VIEW NORTH FROM HOLMES DRIVE AT THE INTERSECTION WITH ELLIOTT DR.



**IMAGE 20**

VIEW EAST, ALONG ELLIOTT DR., ONTO FOREST HILLS ESTATES.



**IMAGE 21**

VIEW EAST, ALONG ELLIOTT DR., ONTO FOREST HILLS ESTATES.



**IMAGE 22**

VIEW EAST, ALONG ELLIOTT DR., ONTO FOREST HILLS ESTATES.



**IMAGE 23**

VIEW EAST, ALONG ELLIOTT DR., ONTO FOREST HILLS ESTATES.



**IMAGE 24**

VIEW SOUTHEAST, ALONG SANDERS CT., ONTO FOREST HILLS ESTATES.



**SITE PLAN - ZOOMED IN**

- PROPOSED STORAGE UNIT
  - OFFICE
  - LAWN
  - PLANT BED
  - PAVEMENT
  - LOT 2
- NOT TO SCALE



**SECURITY GATE - 6 FEET IN HEIGHT**

## **Synopsis**

Northfield Village consists of two lots on 5.60 acres. Lot 1 is proposed to be a mini-storage facility, while Lot 2 has no end-user at this time. A list of allowable use types is provided in this booklet for Lot 2. These sites will provide for adequate parking, circulation, solid waste, storm-water and landscaping. These features will be accompanied by distinctive monument signs along Sulphur Springs Road and West Northfield Boulevard.

### **Proposed Site Characteristics:**

- All parking will be located at least 5 feet from property lines (side, rear, and r.o.w.)
- All parking areas to be screened from public right-of-way by landscaping.
- Any solid waste enclosures will be constructed of materials consistent with building architecture and be at least 8 feet tall with opaque gates.
- Type 'C' buffer will be constructed along the length of the western and southern boundaries of Lot 1 where building elevations face adjacent properties.
- Buildings fronting onto public rights-of-way will have a strong base established with use of landscaping.
- Monument signage located at entrances along roadways to have materials consistent with building architecture and accented with landscaping.
- All mechanical equipment (i.e. hvac and transformers) to be screened.
- All on-site utilities will be underground.
- Mini-storage business hours will be limited to 6:00 am to 10:00 pm.
- Mini-storage will have two gated entrances with key pads for access.
- On-site lighting will comply with city standards to prevent light pollution.
- Parking will comply with Murfreesboro's zoning ordinance for uses that comply with commercial fringe (CF) district and those outlined on page 22.
- All parking will have curbing.
- Construction of Lot 1, the mini-storage, is anticipated to begin within 90-120 days after zoning is completed.
- Lot 1 will be constructed in one buildout.

### **Minimum Building Setbacks - Lot 1:**

Front/R.O.W.: 15-foot

Side: 10-foot

Rear: 15-foot

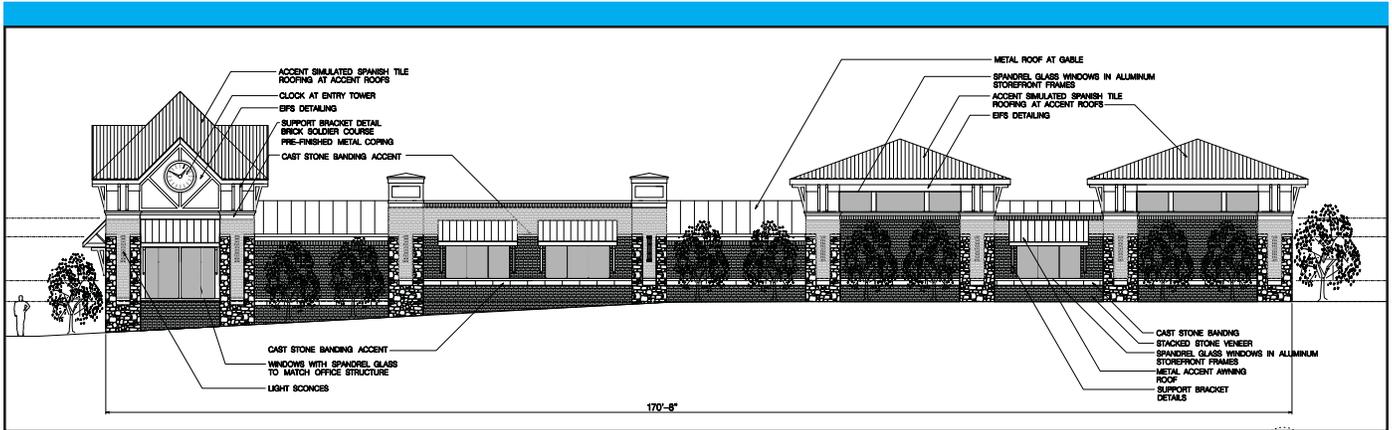


**Architecture Characteristics:**

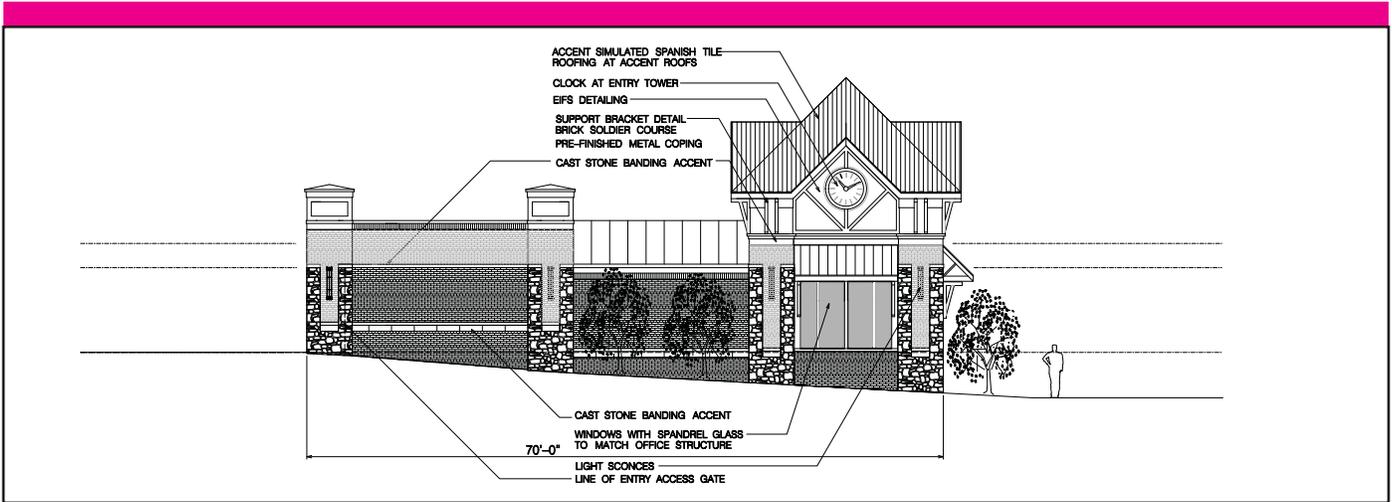
- Building heights shall not exceed 35 feet in height.
- Single story building.
- Hip, gabled, or pitched roof.

**Mixture of High Quality Materials Consisting of:**

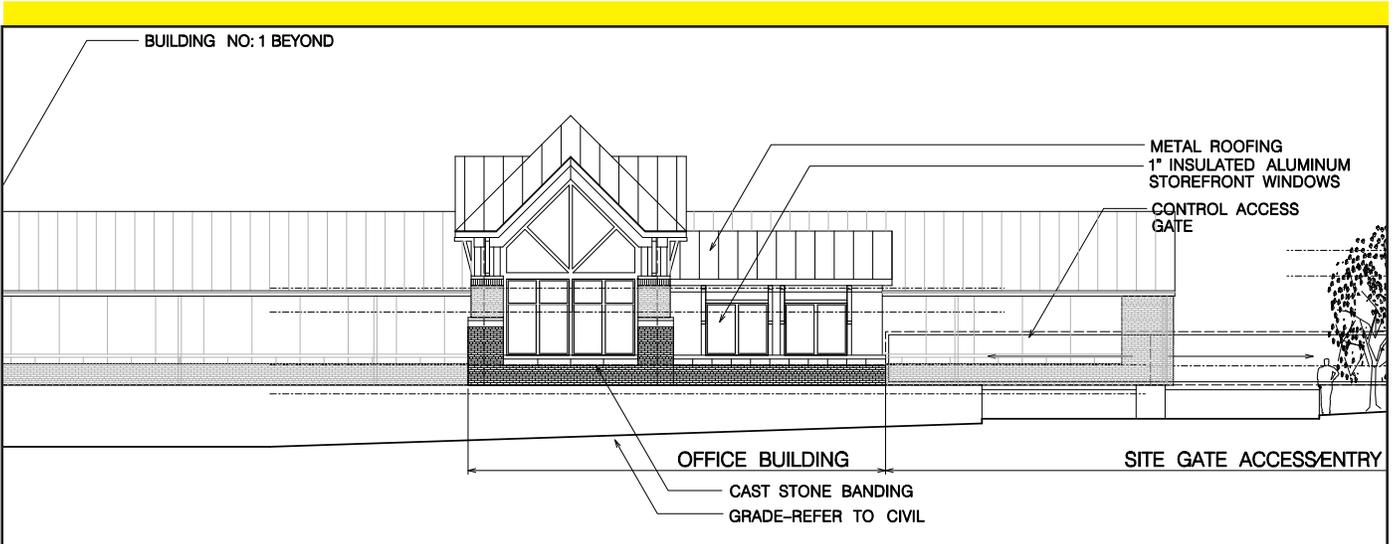
- Brick
  - Stone
  - Metal roofing
  - Windows
  - Metal in trim and soffit areas
  - Simulated Spanish tile roofing
  - EIFS detailing
  - Pre-finished metal coping
  - Cast stone
  - Pilaster cap
- 
- Colors will be reviewed with planning staff and by planning commission, but are intended to be neutral in nature.
  - Architectural base by use of different materials, different colors, or change in pattern or combination of these techniques.
  - Multiple rooflines.



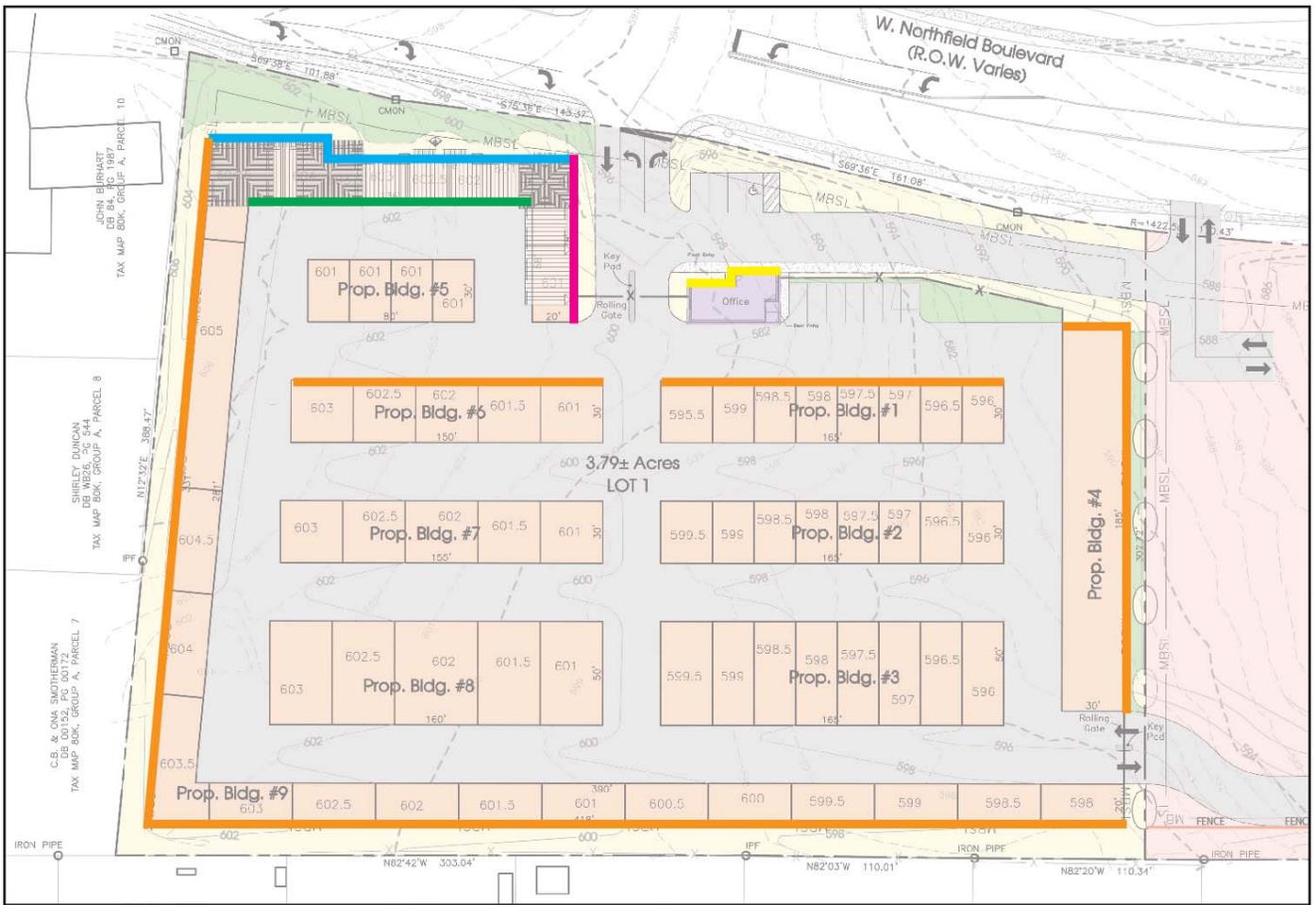
(A) PROPOSED STORAGE BUILDING #9 ELEVATION (FACING W. NORTHFIELD BOULEVARD)



(B) PROPOSED STORAGE BUILDING #9 ELEVATION (FACING ENTRANCE/EXIT GATE)



(C) PROPOSED OFFICE BUILDING ELEVATION (FACING W NORTHFIELD BOULEVARD)



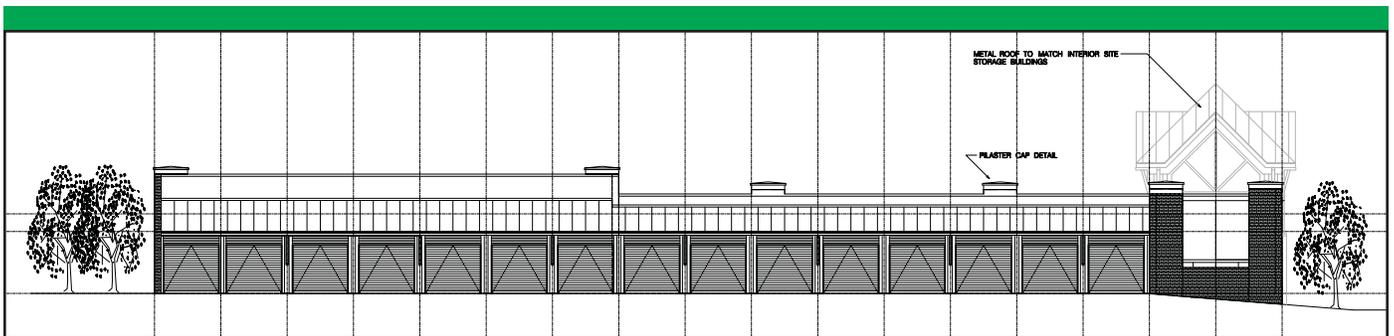
SITE PLAN - ELEVATIONS MAP

NOT TO SCALE

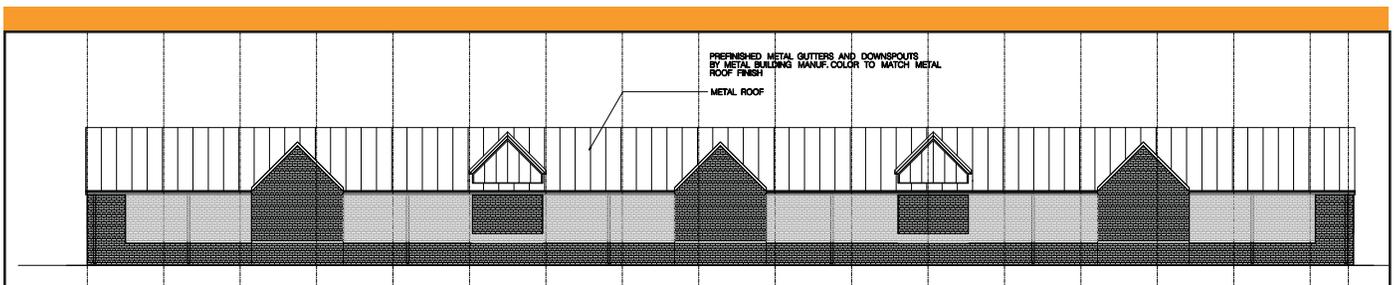


- (A)
- (B)
- (C)

- (D)
- (E)



(E) PROPOSED STORAGE BUILDING #9 ELEVATION (FACING PROPOSED BUILDING # 5)



(D) PROPOSED STORAGE BUILDING #1 ELEVATION (FACING W NORTHFIELD BLVD. AND PERIMETER OF DEVELOPMENT)

**LOT 2 ALLOWABLE USES:**

**OTHER HOUSING**

- Day-Care Center
- Museum
- Philanthropic Institution
- Public Building

**TRANSPORTATION AND PUBLIC UTILITIES**

- Post Office or Postal Facility



**PVC BUFFER FENCE - 6 FEET IN HEIGHT**

**COMMERCIAL**

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>• Amusements</li> <li>• Antique Shop &lt;3,000 SF</li> <li>• Apothecaries (pharmaceutical only)</li> <li>• Art or Photo Studio or Gallery</li> <li>• Retail Bakery</li> <li>• Bank Branch Office</li> <li>• Bank, Drive-Up Electronic Teller</li> <li>• Bank, Main Office</li> <li>• Barber or Beauty Shop</li> <li>• Book or Card Shop</li> <li>• Business and Communication Service</li> <li>• Catering Establishment</li> <li>• Clothing Store</li> <li>• Convenience Sales and Service, max. 5,000 sf floor area (no fuel pumps)</li> <li>• Delicatessen</li> <li>• Doughnut Shop</li> <li>• Dry Cleaning</li> <li>• Dry Cleaning Pick-up Station</li> </ul> | <ul style="list-style-type: none"> <li>• Financial Service</li> <li>• Flower or Plan Store</li> <li>• Garden and Lawn Supplies (no outdoor storage)</li> <li>• Glass-Stained and Leaded</li> <li>• Ice Cream Shop</li> <li>• Interior Decorator</li> <li>• Karate Instruction</li> <li>• Locksmith</li> <li>• Music or Dancing Academy</li> <li>• Offices</li> <li>• Optical Dispensaries</li> <li>• Personal Service Establishment</li> <li>• Pet Shop</li> <li>• Pharmacies</li> <li>• Photo Finishing</li> <li>• Reducing and Weight Control Service</li> <li>• Restaurant and Carry-out Restaurant</li> <li>• Retail Shop, other than enumerated elsewhere</li> </ul> |
|---|---|

*\* No establishments where on-premise consumption of intoxicating beverages is primary activity. Additional Notes: There shall be no auto sales and/or service. There shall be no amplified outdoor music.*



**SITE PLAN - LOT 2**



While the immediate use of Lot 2 is unknown at this time, the commercial zoning that this PCD is built upon, those allowable uses are outlined on page 22. Therefore, additional standards for those anticipated uses have been outlined here below. The allowable uses listed were taken from the allowable uses for Commercial Fringe (CF) District, which is intended to allow low impact commercial uses in relative close proximity to residential to provide commercial retail uses and personal services for a relatively small area.

**Minimum Site Characteristics:**

- Building heights shall not exceed 35 feet in height.
- All parking will be located at least 5 feet from property lines (side, rear, and R.O.W.).
- All parking areas to be screened from public right-of-way by landscaping.
- Any solid waste enclosures will be constructed of materials consistent with building architecture and be at least 8 feet tall with opaque gates.
- Type 'C' buffer accompanied by a 6 foot tall opaque pvc fence to be constructed along the Lot 2 portion of the southern property line to screen the rear yards of neighbor's lots from the site's parking lot and shared access drive.
- Buildings will have a strong base established with use of landscaping.
- Monument signage located at entrances along roadways to have materials consistent with building architecture and accented with landscaping.
- All mechanical equipment (i.e. hvac and transformers) to be screened.
- All on-site utilities will be underground.
- On-site lighting will comply with city standards to prevent light pollution.
- Parking will comply with Murfreesboro's zoning ordinance for uses that comply with Commercial Fringe (CF) District and those outlined on page 22.
- All parking will have curbing.
- Construction of Lot 2 will begin once an end-user has chosen the site and receives site plan approval from the planning commission.

**Minimum Building Setbacks - Lot 2:**

- Front: 30-foot
- Side: 10-foot
- Rear: 20-foot



**CONCEPTUAL LANDSCAPE PLAN**

**FRONTAGE LANDSCAPE: DECIDUOUS TREES**



(A)



(B)

- (A) *Ulmus parvifolia* 'Emer II' / 'Emer II' Alle Elm
- (B) *Zelkova serrata* 'Green Vase' / Sawleaf Zelkova
- (C) *Buxus* x 'Green Mountain' / Boxwood
- (D) *Prunus laurocerasus* 'Otto Luyken' / Luykens Laurel
- (E) *Lagerstroemia indica* 'GAMAD VI' / Berry Dazzle Crape Myrtle
- (F) *Miscanthus sinensis* 'Adagio' / Adagio Eulalia Grass
- (G) *Liriope spicata* 'Silver Dragon' / Creeping Lily Turf
- (H) *Setcreasea pallida* 'Purple Heart' / Purple Heart Setcreasea

- (I) *Iberis sempervirens* 'Little Gem' / Little Gem Candytuft
- (J) *Liriope muscari* 'Variegata' / Variegated Lily Turf
- (K) *Magnolia grandiflora* 'D.D. Blanchard' TM / Southern Magnolia
- (L) *Thuja standishii* x *plicata* 'Green Giant' / Green Giant Arborvitae
- (M) *Cryptomeria Japonica* 'Radi-cans' / Japanese Cedar
- (N) *Viburnum x pragense* / Prague Viburnum
- (O) *Prunus laurocerasus* 'Schipkaensis' / Schipka Laurel

**FRONTAGE LANDSCAPE: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES**



(C)



(D)



(E)



(F)

**FRONTAGE LANDSCAPE: GROUNDCOVER**



(G)



(H)



(I)



(J)

## TYPE 'C' LANDSCAPE BUFFER: EVERGREEN TREES



(K)



(L)



(M)

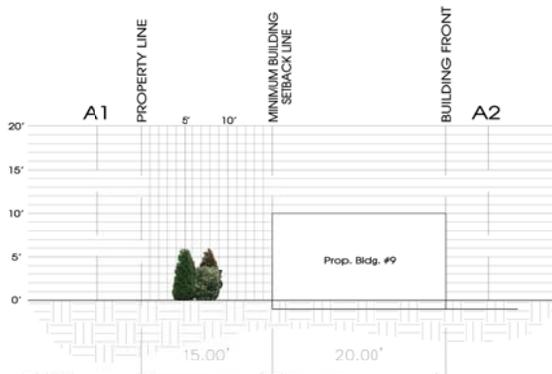
## TYPE 'C' LANDSCAPE BUFFER: EVERGREEN SHRUBS



(N)



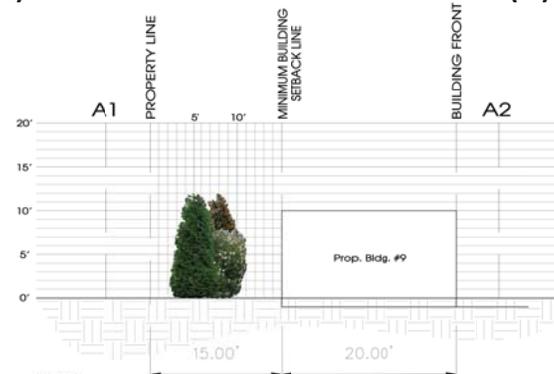
(O)



**NOTES:**

- The space between 'property line' and minimum building setback line may have varying elevation change not graphically demonstrated.
- Vegetation is shown at initial planting height.

### INITIAL PLANTING HEIGHT



**NOTES:**

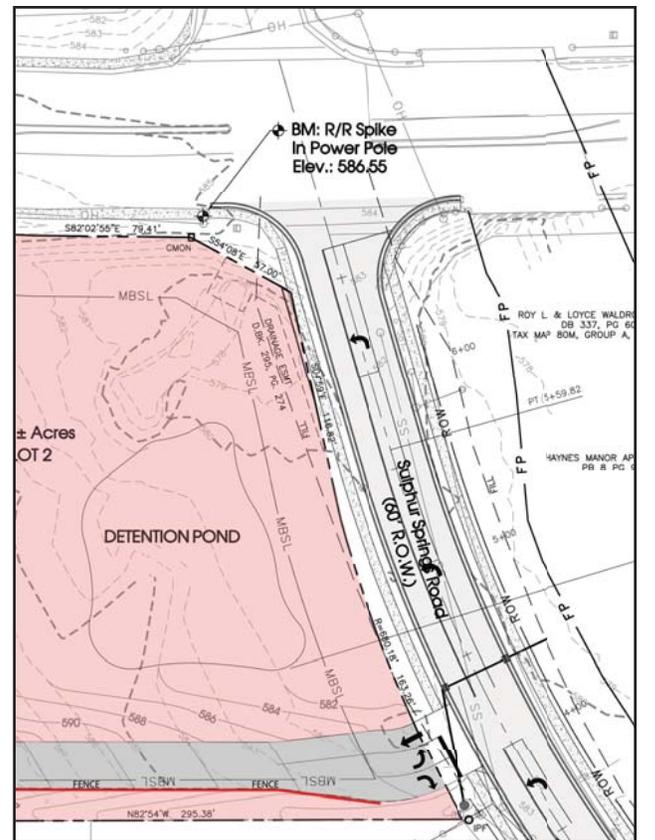
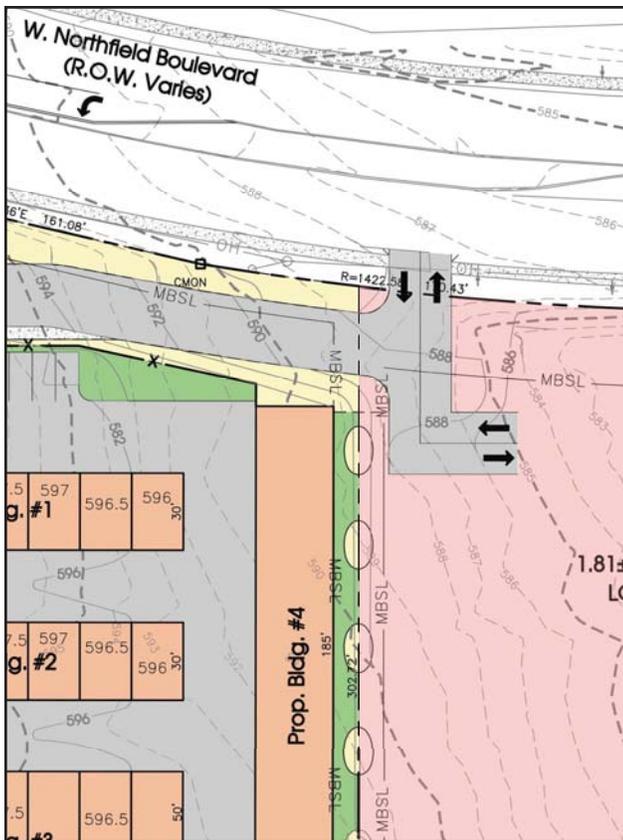
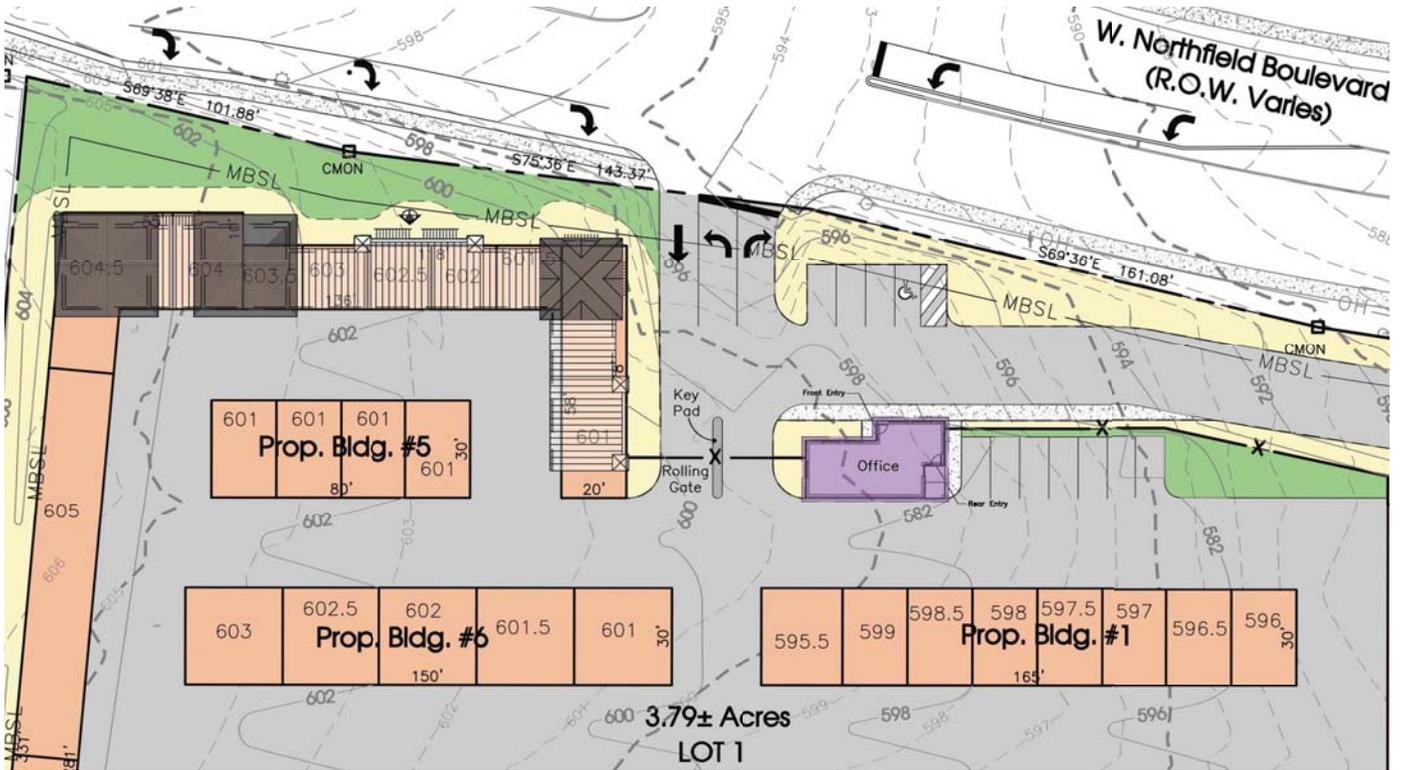
- The space between 'property line' and minimum building setback line may have varying elevation change not graphically demonstrated.
- Vegetation is shown at average height for 10 years.

### 10-YEAR PLANTING HEIGHT

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

#### Landscaping Characteristics:

- A minimum 5 feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- West and south perimeter of lot 1 will have a type 'c' landscape buffer planted.
- The southern property line of lot 2 will have a type 'c' landscape buffer planted including a solid opaque pvc fence (minimum 6-foot tall) to provide screening for the adjacent neighbors properties.
- The buffer fence will be located on the parking lot side with the landscape buffer materials between the fence and adjacent property.
- All mechanical equipment screened with landscaping and/or walls.
- Solid waste enclosure screened with masonry wall and landscaping.
- Base of buildings will have at least 3 foot landscape strip.
- Monument signage will be supplemented with landscaping.
- Landscaping will be in conformance with city of Murfreesboro's landscaping ordinance.
- All landscape areas to have fully automatic irrigation system.



INGRESS/ EGRESS PLANS

- NOT TO SCALE
- PROPOSED STORAGE UNIT
- PLANT BED
- FENCE
- OFFICE
- LAWN
- PAVEMENT
- LOT 2

Pursuant to the Murfreesboro major thoroughfare plan, Sulphur Springs Road and West Northfield Boulevard are not planned to be upgraded. As per this rezoning request, the plan proposes that additional improvements be made to the roadways around the perimeter of the site. The PCD proposes improvements to both Sulphur Springs Road and West Northfield Boulevard.

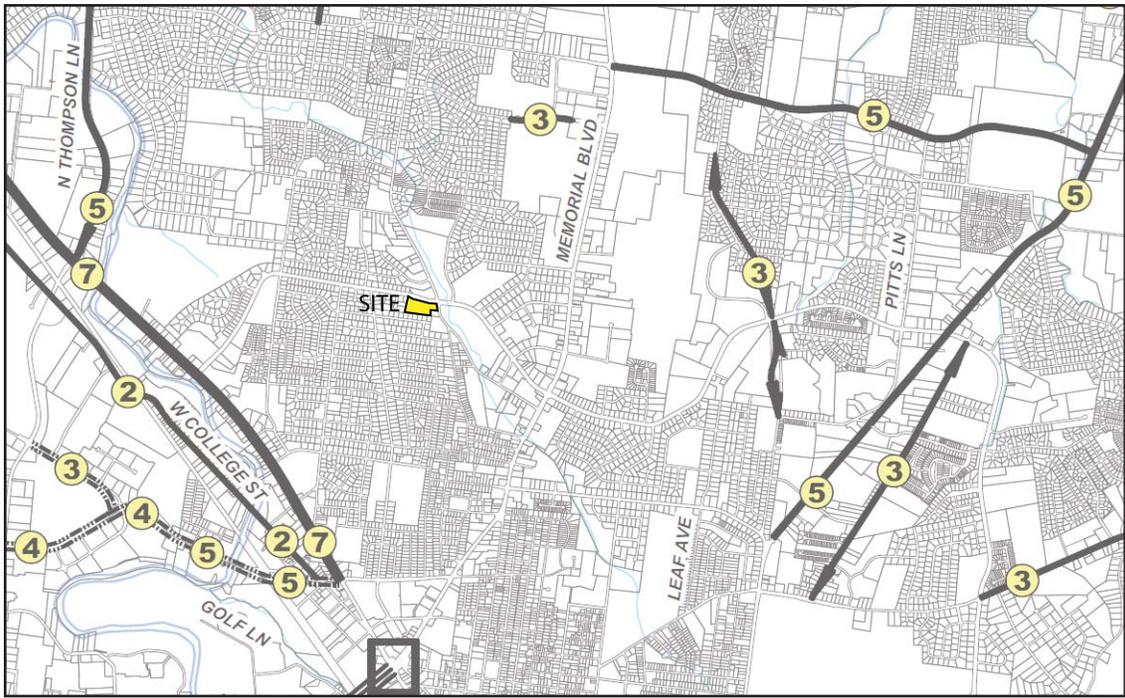
The Sulphur Springs improvements call for adding additional pavement for a dedicated left hand turn lane to W. Northfield Boulevard. Along with a dedicated left hand turn lane into the site at the shared access drive along the south property line on Lot 2.

Proposed improvements to West Northfield Boulevard include adding a dedicated left hand turn lane from west-bound-lanes into the mini-storage site. Along with a dedicated right hand turn lane off of the east-bound travel lanes on W. Northfield Boulevard into the mini-storage site. A second shared entrance off of the eastbound lanes along W. Northfield Boulevard will be provided for shared ingress/egress from Lot 2.

On-site turning movements have been planned to provide maximum stacking distances and the optimal design to minimize impact to the city's rights-of-way.

All on-site drive lanes and parking spaces will be designed to comply with the City of Murfreesboro's zoning ordinance, dimensionally and quantities.

All vehicular areas will be surfaced with asphalt pavement or concrete pavement and will be determined at construction plan phase.



THOROUGHFARE PLAN

1.) A MAP SHOWING AVAILABLE UTILITIES, EASEMENTS, ROADWAYS, RAIL LINES AND PUBLIC RIGHT-OF-WAY CROSSING AND ADJACENT TO THE SUBJECT PROPERTY.

**RESPONSE: AN EXHIBIT IS GIVEN ON PAGE 6 ALONG WITH DESCRIPTIONS OF EACH.**

2.) A GRAPHIC RENDERING OF THE EXISTING CONDITIONS AND/OR AERIAL PHOTOGRAPH(S) SHOWING THE EXISTING CONDITIONS AND DEPICTING ALL SIGNIFICANT NATURAL TOPOGRAPHICAL AND PHYSICAL FEATURES OF THE SUBJECT PROPERTY; LOCATION AND EXTENT OF WATER COURSES, WETLANDS, FLOODWAYS, AND FLOODPLAINS ON OR WITHIN ONE HUNDRED (100) FEET OF THE SUBJECT PROPERTY; EXISTING DRAINAGE PATTERNS; LOCATION AND EXTENT OF TREE COVER; AND COMMUNITY GREENWAYS AND BICYCLE PATHS AND ROUTES IN PROXIMITY TO THE SUBJECT PROPERTY.

**RESPONSE: AN EXHIBIT IS GIVEN ON PAGE 6 THAT SHOWS THE EXISTING CONTOURS AND DRAINAGE PATTERNS ALONG WITH AN AERIAL PHOTOGRAPH OF THE AREA. A PORTION OF THE PROPERTY IS SUBJECT TO THE FLOODPLAIN ASSOCIATED WITH SINKING CREEK. A PORTION OF THE SITE LIES WITHIN ZONE AE, PER COMMUNITY PANEL 47149C0260H EFFECTIVE DATE: 1/5/2007.**

3.) A PLOT PLAN, AERIAL PHOTOGRAPH, OR COMBINATION THEREOF DEPICTING THE SUBJECT AND ADJOINING PROPERTIES INCLUDING THE LOCATION OF STRUCTURES ON-SITE AND WITHIN TWO HUNDRED (200) FEET OF THE SUBJECT PROPERTY AND THE IDENTIFICATION OF THE USE THEREOF.

**RESPONSE: EXHIBITS AND PHOTOGRAPHS ON PAGES 4-15 GIVE THE LOCATION OF EXISTING STRUCTURES ON THE SUBJECT PROPERTY AND THE SURROUNDING PROPERTIES. AN EXHIBIT ON PAGE 8 GIVES THE ZONING OF THOSE SAME PROPERTIES.**

4.) A DRAWING DEFINING THE LOCATION AND AREA PROPOSED TO BE DEVELOPED FOR BUILDINGS AND PARKING; STANDARDS FOR PEDESTRIAN AND VEHICULAR CIRCULATION; THE PROPOSED POINTS OF INGRESS AND EGRESS TO THE DEVELOPMENT; THE PROVISION OF SPACES FOR LOADING; PROPOSED SCREENING TO BE MADE IN RELATION TO ABUTTING LAND USES AND ZONING DISTRICTS; AND THE EXTENT OF PROPOSED LANDSCAPING, PLANTING AND OTHER TREATMENT ADJACENT TO SURROUNDING PROPERTY.

**RESPONSE: PAGES 16-27 LISTS STANDARDS AND EXHIBITS SHOWING THE CONCEPT PLAN WHICH SHOWS EACH OF THESE ITEMS.**

5.) A CIRCULATION DIAGRAM INDICATING THE PROPOSED PRINCIPAL MOVEMENT OF VEHICLES, GOODS AND PEDESTRIAN WITHIN THE DEVELOPMENT TO AND FROM EXISTING THOROUGHFARE.

**RESPONSE: THE SITE PLAN ON PAGE 16 & 26 INDICATES ACCESS POINTS.**

6.) IF THE PLANNED DEVELOPMENT IS PROPOSED TO BE CONSTRUCTED IN STAGES OR UNITS DURING A PERIOD EXTENDING BEYOND A SINGLE CONSTRUCTION SEASON, A DEVELOPMENT SCHEDULE INDICATING:

(AA) THE APPROXIMATE DATE WHEN CONSTRUCTION OF THE PROJECT CAN BE EXPECTED TO BEGIN; **RESPONSE: THE PHASING OF THE DEVELOPMENT IS DISCUSSED ON PAGE 17 & 23**

(BB) THE ORDER IN WHICH THE PHASES OF THE PROJECT WILL BE BUILT; **RESPONSE: THE PHASING OF THE DEVELOPMENT IS DISCUSSED ON PAGE 17 & 23**

(CC) THE MINIMUM AREA AND THE APPROXIMATE LOCATION OF COMMON SPACE AND PUBLIC IMPROVEMENTS THAT WILL BE REQUIRED AT EACH STAGE; **RESPONSE: THE PHASING OF THE DEVELOPMENT IS DISCUSSED ON PAGE 17 & 23**

(DD) A BREAKDOWN BY PHASE FOR SUBSECTIONS[5] AND [6] ABOVE; **RESPONSE: THE PHASING OF THE DEVELOPMENT IS DISCUSSED ON PAGE 17 & 23**

7.) A WRITTEN STATEMENT GENERALLY DESCRIBING THE RELATIONSHIP OF THE PROPOSED PLANNED DEVELOPMENT TO THE CURRENT POLICIES AND PLANS OF THE CITY AND HOW THE PROPOSED PLANNED DEVELOPMENT IS TO BE DESIGNED, ARRANGED AND OPERATED IN ORDER TO PERMIT THE DEVELOPMENT AND USE OF NEIGHBORING PROPERTY IN ACCORDANCE WITH THE APPLICABLE REGULATIONS OF THIS ARTICLE.

**RESPONSE: THE PROPERTY IS CURRENTLY ZONED PCD. THE SURROUNDING AREA HAS A MIXTURE OF USES CONSISTING OF RESIDENTIAL DETACHED AND ATTACHED STRUCTURES, CHURCHES, AND SCHOOLS, AND COMMERCIAL DEVELOPMENTS. THE SCHOOL AND CHURCH ARE INSTITUTIONAL USES, WHICH ARE TYPICALLY CONSIDERED TO BE COMPLIMENTARY AND COHESIVE WITH THE SURROUNDING NEIGHBORHOODS. LIKE THOSE USES, THIS PROPOSED PCD WILL PROVIDE AMENITIES AND NEEDS FOR THE LOCAL RESIDENTS. THE CONCEPT PLAN AND DEVELOPMENT STANDARDS COMBINED WITH THE ARCHITECTURAL REQUIREMENTS SHOWN WITHIN THIS BOOKLET WILL ALLOW THIS SITE TO FILL A NEED IN THIS AREA.**

8.) A STATEMENT SETTING FORTH IN DETAIL EITHER (1) THE EXCEPTIONS WHICH ARE REQUIRED FROM THE ZONING AND SUBDIVISION REGULATIONS OTHERWISE APPLICABLE TO THE PROPERTY TO PERMIT THE DEVELOPMENT OF THE PROPOSED PLANNED DEVELOPMENT OR (2) THE BULK, USE, AND/OR OTHER REGULATIONS UNDER WHICH THE PLANNED DEVELOPMENT IS PROPOSED.

RESPONSE: THE FRONT SETBACKS REQUESTED ARE 27 FEET LESS THAT THE REQUIRED SETBACK FOR A (CF) DEVELOPMENT. THE SIDE SETBACKS REQUESTED ARE SAME AS REQUIRED FOR A (CF) DEVELOPMENT. THE REAR SETBACKS REQUESTED ARE 5 FEET LESS THAN THE REQUIRED SETBACK FOR A (CF) DEVELOPMENT. THE MAXIMUM HEIGHT IS 10 FEET LESS THAN WHAT IS ALLOWED IN A (CF) DEVELOPMENT.

9.) A TABULATION OF THE MAXIMUM FLOOR AREA PROPOSED TO BE CONSTRUCTED, THE F.A.R. (FLOOR AREA RATIO), THE L.S.R. (LIVABILITY SPACE RATIO) AND THE O.S.R. (OPEN SPACE RATIO).

THESE TABULATIONS ARE FOR THE PCD

RESPONSE: THE DATA CHART BELOW IS NOT COMPLETE DUE TO THE UNKNOWN DEVELOPMENT ASSOCIATED WITH THE UNDEVELOPED LOT 2. THE DATA IN THE CHART IS ONLY BASED ON AREAS FROM LOT 1. THIS CHART WILL NOT BE ACCURATE UNTIL SUCH TIME THAT A DESIGN FOR LOT 2 IS SUBMITTED FOR APPROVAL, WHICH WILL PROVIDE REMAINING DATA TO MAKE THE CHART ACCURATE IN RELATION TO THE TOTAL SITE AREA.

TOTAL SITE AREA	243663
TOTAL MAXIMUM FLOOR AREA	64357
TOTAL LOT AREA	243663
TOTAL BUILDING COVERAGE	64357
TOTAL DRIVE/ PARKING AREA	85693
TOTAL RIGHT-OF-WAY	0
TOTAL LIVABLE SPACE	93613
TOTAL OPEN SPACE	179306
FLOOR AREA RATIO (F.A.R.)	0.26
LIVABILITY SPACE RATIO (L.S.R.)	1.45
OPEN SPACE RATIO (O.S.R.)	2.79

**SQUARE FOOTAGE AND RATIO CALCULATIONS (LOTS 1 AND 2)**

10.) THE NATURE AND EXTENT OF ANY OVERLAY ZONE AS DESCRIBED IN SECTION 24 OF THIS ARTICLE AND ANY SPECIAL FLOOD HAZARD AREA AS DESCRIBED IN SECTION 34 OF THIS ARTICLE

RESPONSE: THIS PROPERTY IS IN THE AIRPORT OVERLAY DISTRICT (AOD). THIS SITE IS NOT IN THE BATTLEFIELD PROTECTION DISTRICT (BPD), GATEWAY DESIGN OVERLAY DISTRICT (GDO), HISTORIC DISTRICT (H-1), OR PLANNED SIGNAGE OVERLAY DISTRICT (PS). A PORTION OF THE PROPERTY IS SUBJECT TO THE FLOODPLAIN ASSOCIATED WITH SINKING CREEK. A PORTION OF THE SITE LIES WITHIN ZONE AE, PER COMMUNITY PANEL 47149C0260H EFFECTIVE DATE: 1/5/2007.

11.) THE LOCATION AND PROPOSED IMPROVEMENTS OF ANY STREET DEPICTED ON THE MURFREESBORO MAJOR THOROUGHFARE PLAN AS ADOPTED AND AS IT MAY BE AMENDED FROM TIME TO TIME.

RESPONSE: PAGE 27 DISCUSSES THE MAJOR THOROUGHFARE PLAN.

12.) THE NAME, ADDRESS, TELEPHONE NUMBER, AND FACSIMILE NUMBER OF THE APPLICANT AND ANY PROFESSIONAL ENGINEER, ARCHITECT, OR LAND PLANNER RETAINED BY THE APPLICANT TO ASSIST IN THE PREPARATION OF THE PLANNED DEVELOPMENT PLANS. A PRIMARY REPRESENTATIVE SHALL BE DESIGNATED.

RESPONSE: THE PRIMARY REPRESENTATIVE IS MATT TAYLOR OF SEC, INC. ALL CONTACT INFORMATION IS LOCATED ON THE COVER OF THIS BOOKLET.

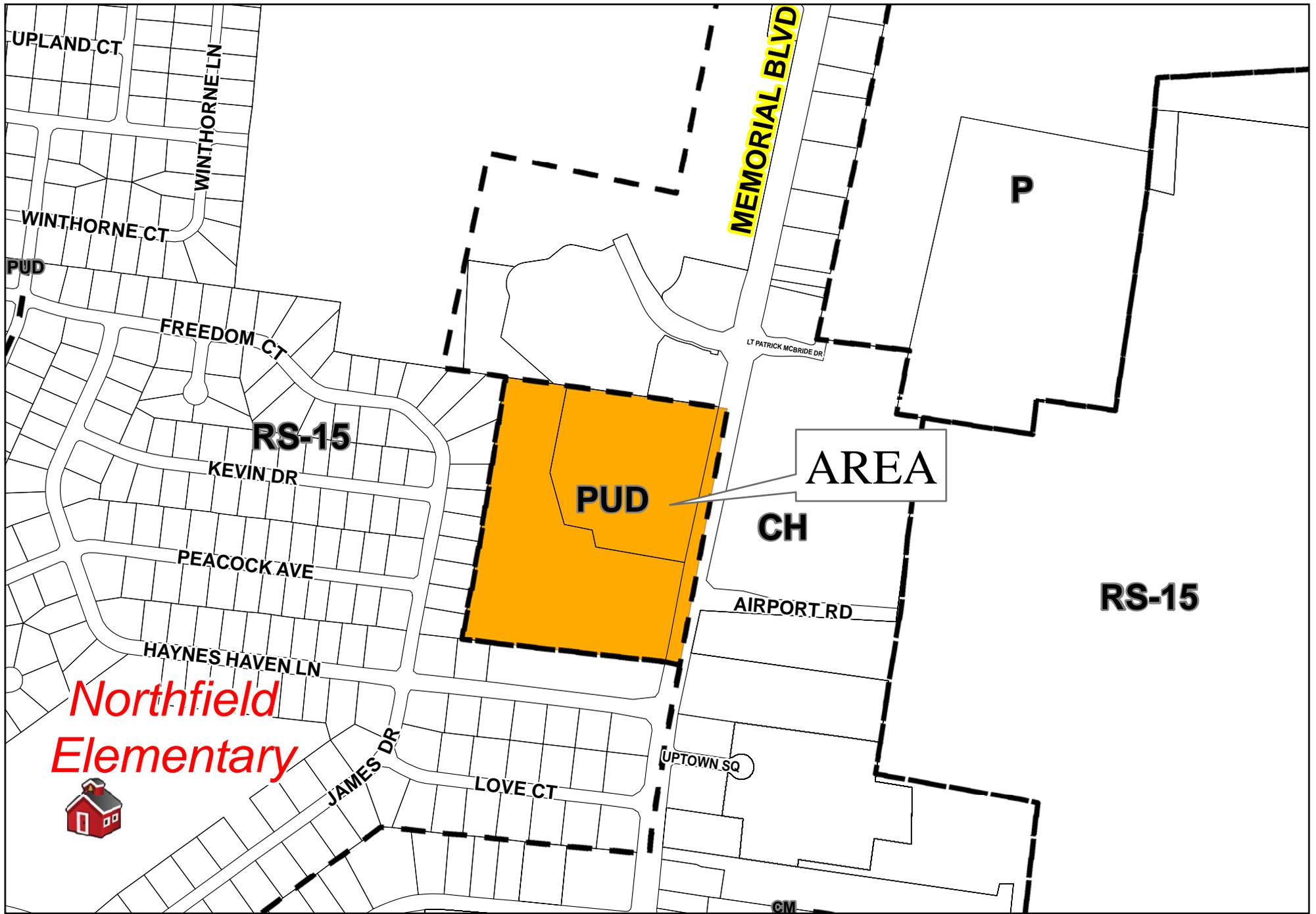
**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 20, 2016**

**7.b. Zoning application [2016-418] for approximately 22.5 acres located along Memorial Boulevard and Haynes Haven Lane to amend the PCD, National HealthCare Corp. applicant.**

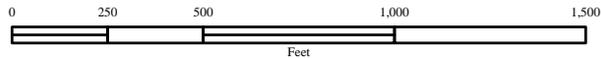
The subject property is a portion of the developed Adams Place Memory Care. The property is zoned PUD (Planned Unit District) and is located west of Memorial Boulevard. Adams Place is an existing facility with 93 unit independent living apartments, with 83 assisted living units and 90 skilled living beds. The properties to the north and east are zoned CH (Highway Commercial District). The properties to the south and west are zoned RS-15 (Single-family, residential district). The subject property was zoned PUD in 2001 with a portion of the property remaining RS-15.

The request is to amend the PCD to allow the addition of 23 units strictly for the memory care unit. This is a self-contained unit that will be served by an existing kitchen, offices and other administrative services. Originally the applicants provided the PUD amendment area as 46 acres; however they have refined the request down to 26 acres.

The applicants will be available to make a presentation regarding the proposed zoning amendment. Staff expects to have additional comments at the meeting. The Planning Commission will need to consider the item, after which it will need to schedule it for a public hearing.



**Rezoning Request for Property Along Memorial Blvd.  
PUD Amendment**



Path: G:\planning\rezon\adamsplacepudamend.mxd



GIS Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

# Adams Place Memory Care Addition

## PLANNED UNIT DEVELOPMENT

### SHEET INDEX

1. PROJECT SUMMARY
2. SITE LOCATION AND AERIAL MAP
3. EXISTING CONDITIONS
4. ADJACANT ZONING
5. UTILITIES
6. SITE PLAN
- 7 ARCHITECTURAL ELEVATIONS/ PLAN
8. PLANNED DEVELOPMENT CRITERIA



SUBMITTED TO PLANNING COMMISSION  
March 31, 2016

Plans Prepared By:

**HS HUDDLESTON-STEELE**  
**ENGINEERING, INC.**

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

# Development Team

# Adams Place Memory Care

PLANNED UNIT DEVELOPMENT

## Planning and Engineering



2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

Huddleston-Steele Engineering, Inc.

Attention: Clyde Rountree, RLA

2115 N.W. Broad Street

Murfreesboro, Tn 37129

Phone: 615.893.4084

## Owner

National Health Care Corporation

Attn: Thomas B. Campbell

100 Vine Street, City Center

Murfreesboro, TN 37130

615.890.2020

Jim Bailey

Johnson + Bailey Architects P.C.

100 East Vine Street

Murfreesboro, TN. 37130

615.890.4560

# Project Summary

## Adams Place Memory Care

PLANNED UNIT DEVELOPMENT



### Project Summary

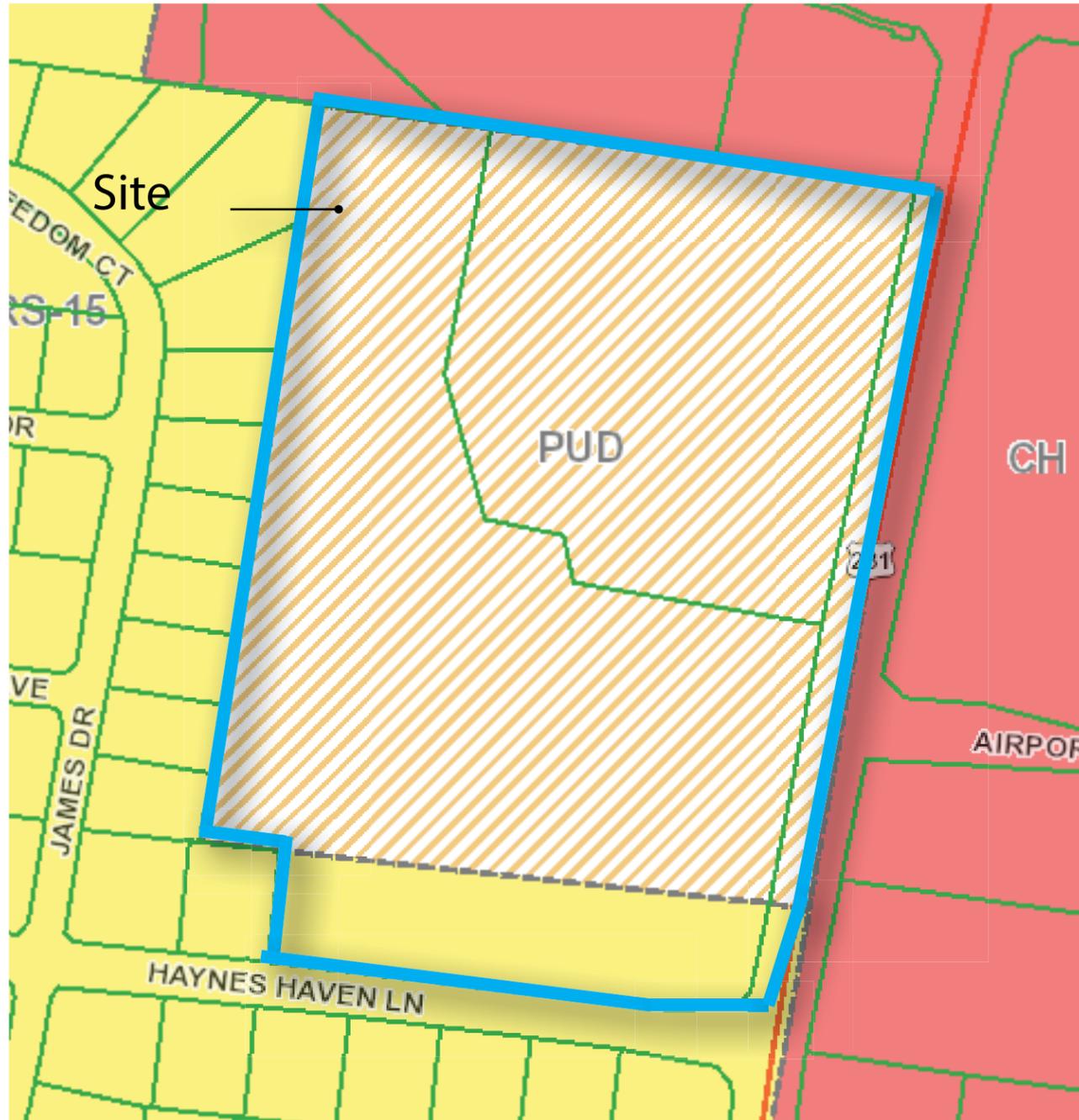
Adams Place an outstanding facility serving the needs of the elderly citizens for over 18 years is expanding their services to meet the growing needs for memory care among the elderly community.

Adams Place management believe expanding their community service profile to include the new memory care unit is a much needed service in senoir living care. This new addition will help Adams Place fulfill their desire to provide the full continuum of care for the existing and future residence. As a continuum care retirement center, Adams Place provides 93 independent living apartments, 83 assisted living units, and 90 skilled living beds.

The current plan is to add 23 units strictly for the memory care unit. This is a self contained unit, however, the new unit will be served by an existing kitchen, offices and other administrative services.

# Site Location and Aerial Map

# Adams Place Memory Care PLANNED UNIT DEVELOPMENT



Site Location Map



Aerial Location Map

# Existing Conditions

# Adams Place Memory Care PLANNED UNIT DEVELOPMENT



View of Future Building Location



View of Future Building Location



View of Future Building Location



View of Future Building Location

# Utilities

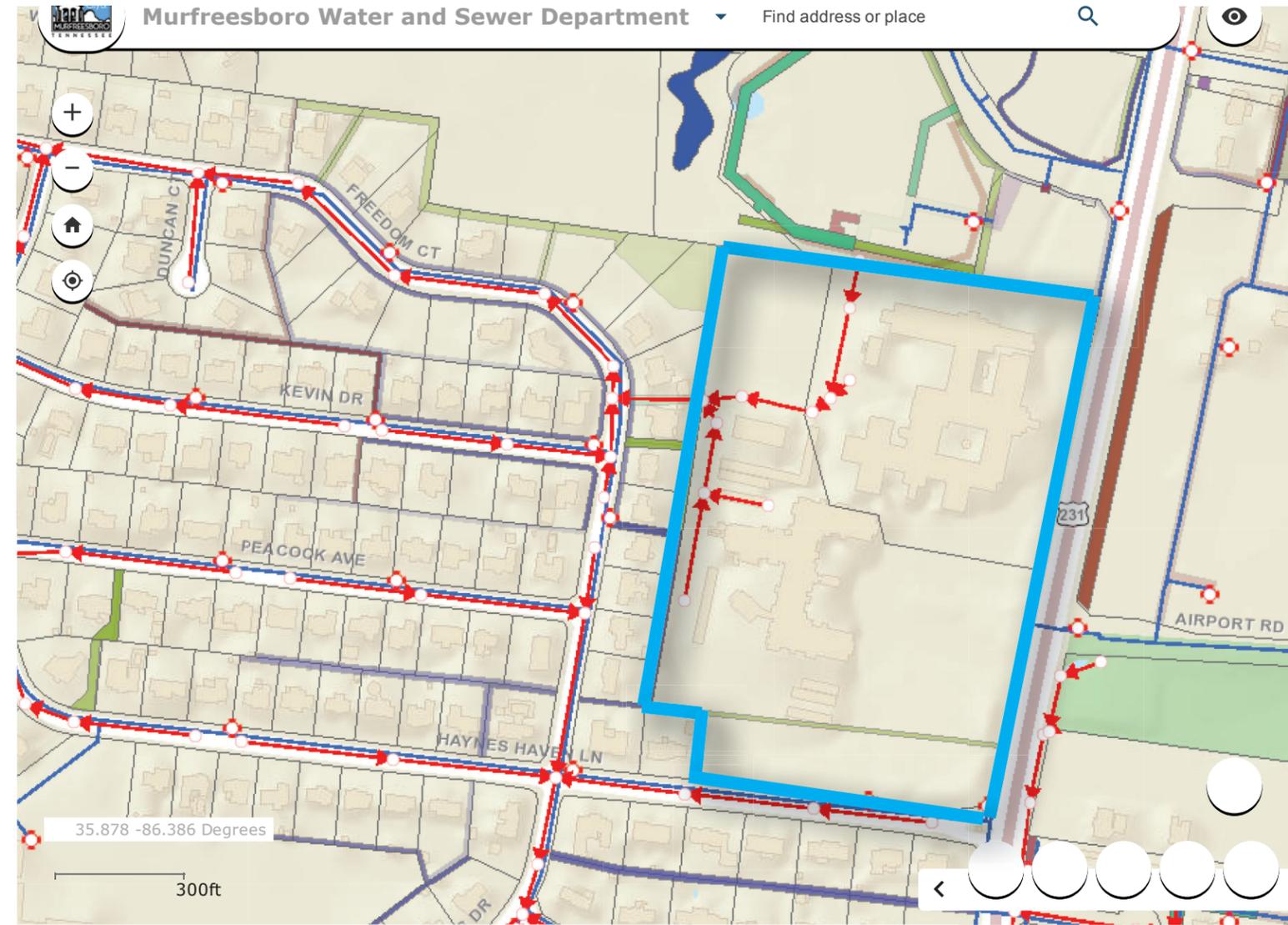
# Adams Place Memory Care

PLANNED UNIT DEVELOPMENT

Murfreesboro Electric (MTEMC)  
Electricity will be supplied by Murfreesboro Electric

Water will be supplied by Murfreesboro Water and Sewer

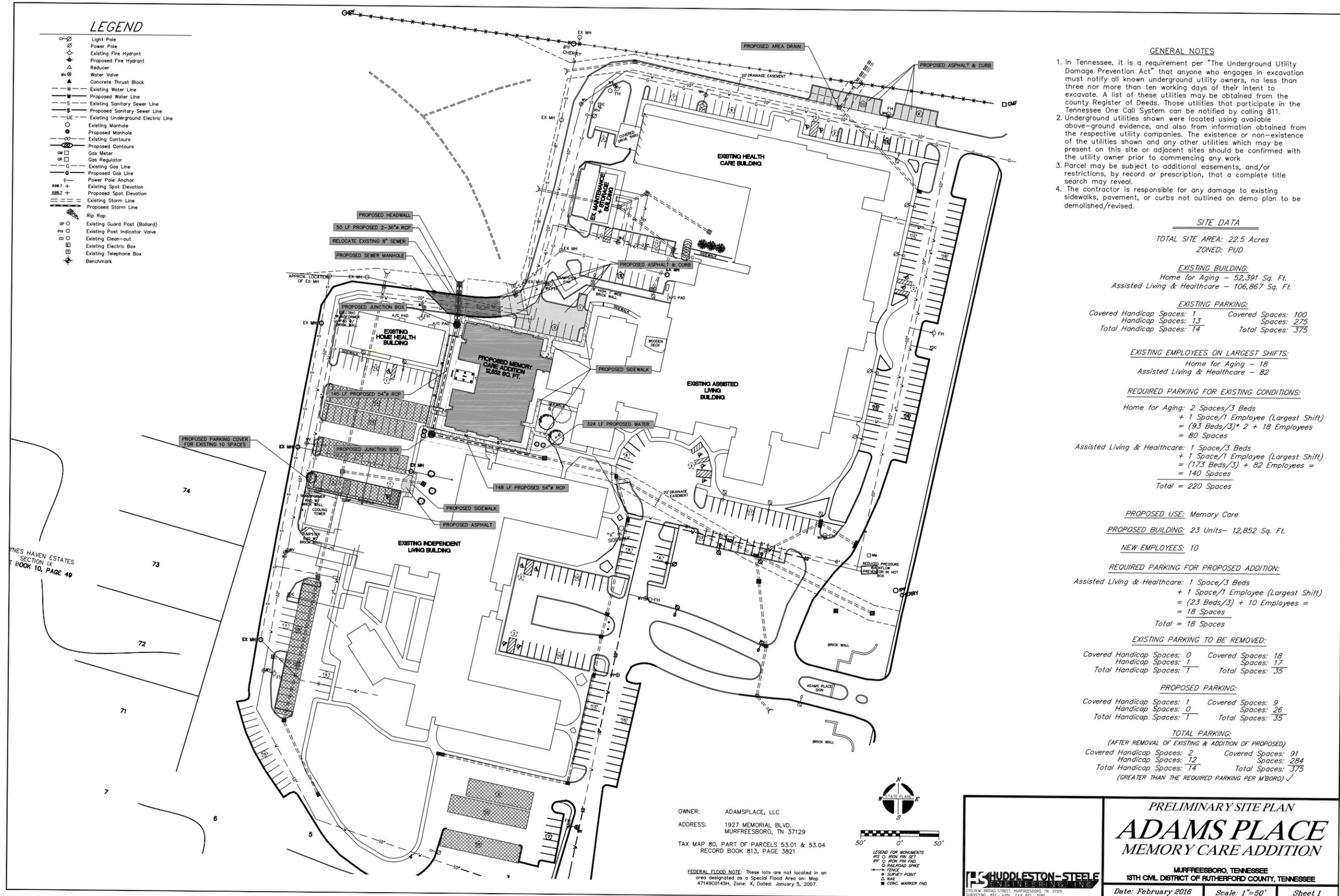
Atmos Energy  
Natural gas will be supplied by Atmos Energy



# Site Plan

# Adams Place Memory Care

## PLANNED UNIT DEVELOPMENT





## General Applicability Per Section 13 - Planned Development Regulations

1. Ownership and division of land: The site is owned National Health Care Corporation. The lot is currently zoned PUD and RS-15 in the City of Murfreesboro.
2. Waiver of BZA action: No action of the BZA shall be required for approval of this planned unit development.
3. Common open space: Due to the fact that this is an addition to an existing structure no formal open space will be added.
4. Accessibility to site: The property is accessible from Memorial Boulevard and Haynes Haven Lane.
5. Off street parking . The addition of the 23 memory care unit and additional 10 for employees will require 18 spaces, however Adams Place will be adding an additional 35 spaces..
6. Pedestrian circulation: Sidewalks will be provided to connect the new facility with the existing facility.
7. Privacy and screening: Surrounding land uses to the South and West is the Haynes Haven Subdivision which has a well established buffer. To the East is Memorial Boulevard where no buffer is required.
8. Zoning and subdivision modifications proposed: No zoning changes are proposed for the site.
9. Phasing: The project shall be completed in one phase.
10. Annexation: No annexation is required for this site.
11. Landscaping: Landscaping will be provided around the new addition and no additional buffer landscaping is required.
12. Major Throughfare Plan: The PUD is consistent with the Major throughfare plan.
13. Applicant contact information: Contact information is located on sheet 1.
14. Proposed Signage: No signage is associated with the addition.

## Section 13 – Project Development Criteria Requirements

1. Identification of existing utilities: Shown in pattern book sheet 5
- 2/3. Graphics, renderings, maps and or aerial photography showing existing conditions and natural features of the site: Shown in pattern book sheet 3 - 7.
- 4/5. Drawing and/or diagrams identifying areas of development, proposed buildings, screening, proposed landscaping and pedestrian and vehicular circulation: Shown in pattern book page 6
6. Development schedule: The project is currently being projected to start immediately upon permit acquisition, August or September, 2016.
7. Relationship of the planned development to current city policies and plans: The development is consistent with the growth in the area
8. Proposed deviation from zoning and subdivision ordinance: No modifications are under consideration.
9. Site tabulation data for land area, FAR, LSR, and OSR: Data provided on Master Plan on sheet 6
10. The nature and extent of any overlay zones as described in Section 24 and 34: No overlays effect this development.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

City Hall

1:00 p.m.

## Members Present

Bob Lamb, Chairman  
Doug Young, Vice Chairman  
Kathy Jones  
Kirt Wade  
Eddie Smotherman  
Ken Halliburton

## Staff Comments

Gary Whitaker, Planning Director  
Matthew Blomeley, Principal Planner  
Margaret Ann Green, Principal Planner  
Joe Ornelas, Planner  
Carolyn Jaco, Recording Assistant  
David Ives, City Attorney  
Ram Balachandran, Traffic Engineer  
Sam Huddleston, Environmental Engineer  
Jay Bradley, Project Engineer  
Amelia Kerr, Sign Administrator  
Cey Chase, Interim Engineer  
Brad Barbee, Landscape Site Plan Inspect.  
Carl Peas, Fire Marshall

Chairman Bob Lamb called the meeting to order after determining there was a quorum. The minutes of the December 16, 2015, Planning Commission meeting were approved as submitted.

## Old Business

Zoning application [2015-431] for approximately 16.5 acres located along West Thompson Lane to be zoned as General's Landing PRD simultaneous with annexation and for approximately 16.5 acres to be rezoned from RS-15 to General's Landing PRD, Blue Sky Construction applicant. Ms. Margaret Ann Green began by

explaining on February 3, 2016, the Planning Commission conducted a public hearing which after the hearing it had been deferred action on the item. The developer's representative, Mr. Bill Huddleston, committed to providing additional information regarding drainage, agreed to shoot topographic elevations up West Thompson Lane and provide preliminary plans for a relief ditch that would drain low areas. Last, the Planning

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

Commission requested further discussion regarding density, architectural design, and site design.

The staff comments from the February 11, 2016 Planning Commission meeting are the following:

The subject property is located north of West Thompson Lane, just north of its intersection with Siegel Road. The subject properties consist of portions of two parcels. The properties to the east are zoned CU (College and University District). The properties to the west and south are zoned RS-15 (Single-Family Residential District). The Siegel school complex is located along the southern side of West Thompson Lane. A portion of both parcels is currently located in Murfreesboro City limits and the remainder is in the unincorporated area of Rutherford County. A petition for annexation has been made to include the entire two parcels within Murfreesboro's municipal boundary. The portion of property currently located in the City is zoned RS-15 and the applicants are requesting it be rezoned from RS-15 to PRD (Planned Residential District). The request is also to zone the 16.5 acres to PRD simultaneous with annexation.

The General's Landing PRD program book had been provided with the agenda materials. The maximum number of units proposed is 178 on 33 acres for a density of 5.3 dwelling units per acre. If the properties were zoned RS-15, then approximately 89 single-family dwelling units would be permitted. The development consists of two different ownership types: single family detached and multi-family residential.

As proposed, the plans show 31 detached single-family homes on the western side contiguous with the Northboro Court single-family subdivision. The PRD compares these lots to the RS-8 district, as the minimum lot size is 9,000 square feet. The

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## February 17, 2016

applicant is requesting a 30' front setback; however, staff recommends the front setback be 35' to allow 4 cars to be parked in the driveway. The Zoning Ordinance requires single-family, detached homes to have 4 parking spaces per dwelling unit and that number may not include garage spaces. The proposed homes will be a minimum of 2,400 square feet with a 2-car garage with carriage style doors. The exterior material is brick, stone, EIFS or cement fiber board.

The multi-family portion of the development is to allow townhouse style multi-family dwellings very similar to the General's Retreat development on Compton Road. As proposed are 91 townhomes with garage space and 56 townhomes without. These units have a minimum 1,600 square feet and will be brick, stone or cement fiber board. The units with garages will have carriage style doors. The applicant has not asked for an exception to the parking standards for multi-family portion of this development. The applicants have asked for an exception to the setback requirements to allow the garage to be 25' from the property line and the face of the house to be 30' from the property line. This could result in the "snout" house look where the garage projects in front of the house. The applicant is requesting an except to the standard that would require a Type C buffer between the multi-family development and adjacent single family zone to allow the creation of a Type A buffer. No buffer is required between single-family detached dwelling units. The applicants held a neighborhood meeting at Siegel Elementary on January 27, 2016.

Mr. Bill Huddleston and Mr. Brian Burns were in attendance to represent the applicant. Mr. Huddleston came forward making known they had revisited this area to address the drainage concerns. He had shot elevations along the common line between General's Landing and Northboro Court for a future drainage swell. He explained there were several

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

low points within the existing subdivision. Drainage would become a beneficial improvement with this proposed development. Continuing, Mr. Huddleston made known there had been a neighborhood meeting in his office the previous day which he had explained how their drainage concerns could be improved. From this meeting, there had been good dialog between the neighbors and himself.

Continuing, Mr. Huddleston made known while meeting with the neighbors he had addressed their concerns regarding the density. He distributed to the Planning Commission the new proposal for less density and more green space. The total number of single family homes would remain the same; however, the townhome units have been reduced by seventeen units. Also, garages would be added with every townhome. Ms. Jones asked if all of these changes would be included in the pattern book. Mr. Ken Halliburton asked if they had included the thirty five foot setback. Mr. Brian Burns came forward explaining seventy five percent of the townhomes would include a two car garage and the remaining townhomes would have a one car garage. All townhome units would have a thirty five foot long driveway to accommodate up to four vehicles.

The Planning Commission continued discussing all the changes being added and to make certain the garage doors were not in rows. Mr. Brian Burns made known he would stagger the garage doors to create an architecture element. Ms. Kathy Jones wanted to know if turn lanes would be added to this project. Mr. Huddleston made known Thompson Lane had turn lanes and there would be turn lanes coming out of this project. Mr. Burns made explained the front of the development would include landscaping with a monument sign. Ms. Green stated there would be a detention pond that would require a Type C buffer.

Mr. Eddie Smotherman complimented Mr. Bill Huddleston for his efforts addressing the drainage issues for an existing subdivision.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

Mr. Tom Clark wanted to know the exact number of units being proposed with the modifications. Mr. Bill Huddleston stated there would be 130 townhomes and 31 single family detach homes.

Ms. Kathy Jones made a motion to approve subject to all staff comments including the 35-foot driveway, seconded by Mr. Kirt Wade. The motion carried by unanimous vote in favor.

## Consent Agenda

Chairman Lamb read the following items to be considered for approval.

Brighton Park at Kingdom Ridge Section 4 [2015-1005] preliminary plat for 43 lots on 14.31 acres zoned PRD located along Covenant Boulevard and Sapphire Dr., Swanson Development developer.

Evergreen Farms Section 33 [2016-2013] final plat for 29 lots on 5.74 acres zoned PRD located along Bellamy Lane, Evergreen Farms Development developer.

Westwind Section 1 [2016-2016] final plat for 40 lots on 11.94 acres zoned RS-8 located along Veterans Parkway and Pitchers Lane, Cornerstone Development developer.

Providence Pointe Commercial Lot 2 [2016-2015] final plat for 1 lot on 2.99 acres zoned RM-16CL located along Journey Drive Halls Hill Pike, Swanson Development developer.

Bullseye Guns [2016-3001] site plan for 5,810 ft<sup>2</sup> gun range on 0.89 acres zoned L-I located along Shelby Street, Kleda Brooks developer.

Belle Haven Cove Phase 2 [2016-3011] site plan for 54 multi-family units on 9.77 acres zoned RM-16 located along Saint Andrews Drive, Ole South Properties Inc. developer.

MTSU [2016-3021] site plan for parking lot modifications on 4.3 acres zoned CU located south of Greenland Drive, Middle Tennessee State University developer.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## February 17, 2016

Spotlight Dance Studio [2016-3023] site plan for 5,283 ft<sup>2</sup> building on 0.7 acres zoned PUD located along Luke Court, Meghan Casteel developer.

Barfield Commons [2016-3028] site plan for 8,000 ft<sup>2</sup> medical office on 1.78 acres zoned OG located along Veterans Parkway, Murfreesboro 231 Partners developer.

Puckett Downs Section 4 [2016-3032] site plan for 38 unit multi-family development on 2.9 acres zoned PRD located along Prometheus Way, Ole South Properties developer.

The Villas at Cloister Ph. 4 [2016-3043] site plan for 54 unit multi-family development on 3.8 acres zoned PRD located along Tony Lama Lane, O'Brien Loyd Ventures developer.

Sheffield Park Amenity Center [2016-3039] site plan for 814 ft<sup>2</sup> cabana and pool house on 1.6 acres zoned PRD located along Blackwell Boulevard, Beazer Homes Corp. developer.

Ms. Kathy Jones made a motion to approve the consent agenda, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.

### Gateway Design Overlay

Waterstone Office Park Lot 7 [2016-3017 & 2016-6001] final design & site plan review for 40,527 ft<sup>2</sup> office building on 2.69 acres zoned MU & GDO-3 located along Williams Drive, HPHK Partners developer. Ms. Margaret Ann Green began by

describing the final design review for a new 40,527 square foot general office and medical office building located along Williams Drive, adjacent to the Gateway Pond. The plans for this project were originally reviewed and approved as Final Design Review in January 2010. The proposed uses are permitted by right within the MU and GDO-3 districts. The proposed building is a three story structure with a cast-stone base on the first floor and brick above. The window header and sill are cast-stone with an EIFS cornice above the

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

second level and along the roof line. A drive-thru canopy is located along the western side due to the building being used for medical offices.

Ms. Green explained this site plan had been reviewed by the Design Review Committee earlier this morning making the known the applicant will need to address the following issues:

- The building exceeds the requirements for formal open space. The applicants have proposed direct access onto the City Greenway which would circle the pond as their formal open space.
- For shade space they are committing to provide a pergola, benches, tables, trash receptacles, etc.
- Properly screen view shed for all rooftop units

Mr. Matt Taylor was present to represent the applicant. He stated they would make the changes by adding a pergola, revise the building materials and work with staff in providing all details.

**Mr. Doug Young made a motion to approve subject to all staff comments, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.**

**Integra Creek Phase 2 [2016-3029] initial/final design review for car/dog wash on 4.2 acres zoned RM-16 and GDO-1 located along Manson Pike, Panther Murfreesboro developer.** Ms. Margaret Ann Green began by describing the initial and final design review for a modification to an approved plan for Integra Creek Phase 2 for grading and drainage revisions and for revisions to a car and dog wash amenity. The plan removes 3 parking spaces from Phase 2, however, the site meets parking standards. Phases 1 and 2 will be combined into one phase. The building materials and renderings have been submitted for approval.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

Mr. Bill Huddleston was in attendance to represent the applicant.

Mr. Kirt Wade made a motion to approve subject to all staff comments, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Alive Hospice (Waterstone Lot 13) [2016-3024 & 2016-6002] initial design review for 20,592 ft<sup>2</sup> building on 2.1 acres zoned CH, L-I & GDO located along Williams Drive, Alive Hospice developer. WITHDRAWN

Rose Corner Development [2016-3038 & 2016-6004] initial design review for 18,944 ft<sup>2</sup> multi-tenant building on 0.43 acres zoned MU and GDO-1 located along Medical Center Parkway and Robert Rose Drive, the Capital Corporation developer. Ms. Margaret Ann Green began by describing the initial design review for two new 9,472 square foot multi-tenant buildings (18,944 square feet total) located along Medical Center Parkway and Robert Rose Drive. The proposed uses, mix restaurant and retail space in each building and is permitted by right. The proposed building is a one story structure.

Ms. Green made known staff would like the area between the two propose buildings be considered as open space that would include hardscape.

Mr. Caleb Thorne and Mr. Jason Lowe were in attendance to represent the applicant. Mr. Thorne came forward making known they were in agreement with staff's comment to provide open space between the two buildings. They would provide details for the open space at final design review. Mr. Jason Lowe came forward making known the buildings were primarily brick masonry. However, they have not finalized the brick material as of yet. Also, there is a view shed along Medical Center Parkway and Robert Rose Drive making this a four sided building. They are in agreement in providing screening and design elements along the rear of the building.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

Mr. Kirt Wade wanted to know if there would be signage on the back of the buildings, in which Ms. Green answered no. They would have signage facing Robert Rose Drive.

**Mr. Doug Young made a motion to approve subject to all staff comments; including, working with staff on details, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.**

**Henley Station Phase 2 [2016-3033 & 2016-6003] initial design review for 178 dwelling unit multi-family development on 11.5 acres zoned MU, RS-15, PUD, and GDO-1 located along Robert Rose Drive and Willowoak Trail, Lifestyle Communities developer.** Ms. Margaret Ann Green began by describing the initial design review for a new 178 dwelling unit multi-family development on 11.5 acres located adjacent to the existing Henley Station PUD along Robert Rose Drive and Willowoak Trail. This is a proposed phase 2 of the Henley Station multi-family development. The proposed use is permitted by right within the MU and GDO-1 districts. This property exceeds the 5 acre minimum for multiple-family developments. The maximum density permitted in the MU district is 25 dwelling units per acre; this site falls below the maximum permitted density (15.5 d.u./a). There are various types of building elevations which are a mix of townhouse style construction (some with parking garages on the first floor) and flats. The proposed buildings are three stories and consist of brick and cementitious siding. There is no any vinyl being proposed with this development.

Ms. Green explained that Phase 1 and Phase 2 would be on two different lots of record. Therefore, each development would be required to meet their own minimum standards such as formal open space, solid waste management, setbacks, etc.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

Mr. Hal Clark, Mr. Chase Miller and their design team were in attendance to represent the applicant. Mr. Clark came forward making known the buildings would be similar as Phase 1. However, they are proposing for a variety of brick materials on each building for Phase 2 with cementitious siding. The back of the buildings will not have any vinyl. Continuing, Mr. Clark explained the buildings would be raised and garages would be at the back of the buildings.

Mr. Chase Miller came forward to explain the materials and how the materials would be placed on the front of the buildings. There will be phasing of both of the communities being together. They are proposing to blend red brick material with Phase 1 development. While entering the development different material and color masses will be introduced while mixing up the colors.

Chairman Bob Lamb made known he was at The Goat restaurant located at Henley Station and had noticed roof shingles were missing on top of the steep roofs at the Phase 1 buildings. He made known this was an issue that needed to be addressed with their steep roofs. Mr. Miller stated he would check on this particular issue.

Mr. Tom Clark wanted to know how many units were in Phase 1. Mr. Miller answered 403. For Phase 2, they are proposing 177 townhomes and stack flats. All units would be rental.

Mr. David Ives wanted to know if there would be any variances requested with this site plan. Mr. Miller explained they has revised their plans and will no longer need any variances.

The Planning Commission discussed their concerns regarding the master plan for street connection. This plan has not been approved by the Traffic Department. Mr. Miller commented he would be working with staff on improving their street plan.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

Mr. David Ives made known he has concerns with this development being straight zoning and how to enforce hardy material on the back of their buildings and their design criteria. Ms. Green commented this being in the Gateway their material boards with colors would be the materials used.

**Mr. Ken Halliburton made a motion to approve the initial site plan design subject to all staff comments, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.**

## **Plats and Plans**

**Little Caesars [2016-3031] site plan for 7,200 ft<sup>2</sup> commercial center on 2.8 acres zoned CH located along Warrior Drive and Southgate Boulevard, Pat McMillian developer.** Ms. Margaret Ann Green began by describing the site plan review for a 7,200 square foot commercial center located north of Warrior Drive and west of Southgate Boulevard. The property is zoned CH and the proposed uses are permitted. The site will not have access directly onto Warrior Drive, but will along Southgate Boulevard. The proposed building is one story (24') with a brick veneer base, pre-finished equitone panels with small grooves. The front facing Warrior Drive is proposed to be aluminum corrugation with neon tubes between and the drive through window; staff is concerned this elevation does not meet the standards regarding building orientation and screening of service areas.

Ms. Green made known before final approval the following issues would need to be addressed:

- Align the proposed drive with an existing drive to make certain they are directly aligned

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- Improve the front of the building that will be facing Warrior Drive with materials and architecture
- Parapet will need to be raised.

Mr. Manly Thweat and Mr. Mike Stewart were in attendance to represent the applicant. Mr. Mike Stewart came forward with samples of the pre-finished equitone smooth flat panels. He made known the details of the material and how it is similar as hardy board. Ms. Green wanted to know if they would consider another color than what had been provided, in which Mr. Stewart agreed to work with staff. He made known the colors could be mixed match.

**Mr. Doug Young made a motion to approve subject to all staff comments, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

**Jordan Farm Property [2016-3034] site plan for soccer practice facility on 20.3 acres zoned RS-15 located along Leanna Road, Murfreesboro Parks & Recreation Department developer.** Mr. Matthew Blomeley began by describing the site plan review for a proposed City-operated soccer practice facility. The facility will consist of six (6) soccer fields and the parking required to support the use. The subject property is zoned RS-15 and the proposed use is permitted by special use permit. The Board of Zoning Appeals granted a special use permit for the proposed use at its January 27th regular meeting. BZA approval was made subject to a Type D buffer being provided around the soccer fields. It should also be noted that there will be no lighting associated with the development at this time, as it will be a day use only. If lights are proposed in the future for either the parking lot or the fields, then the special use permit must be amended.

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Mr. Blomeley made known the following items will need to be addressed before final approval:

- Meeting all lighting requirements and photometric plans
- Revise site plan by adding the bathroom being proposed to be built in 2017
- Review and approve landscaping requirements

Mr. Danny Goodwin and Mr. Chris Camp were in attendance to represent the applicant.

Chairman Lamb asked if this property would be impacted by the Cherry Lane street improvements, in which Mr. Blomeley answered the frontage of the property would be impacted. Vice Chairman Young asked if there was a target date for the fields to be played on, in which Mr. Chris Camp made known they were in the bidding phase after this site plan is approved. They would like for the fields to be open during the fall of this year or fall of 2017. Also, this plan is designed to allow the expansion of Cherry Lane. An entry drive will be there for a couple of years, next, they propose a new entry drive will be built that will tie in with the Cherry Lane improvements.

Mr. Eddie Smotherman requested to add a three lane access drive out of this site due to the volume of vehicles trying to leave this site at the same time. Mr. Camp replied he would add this request to their plans.

**Mr. Doug Young made a motion to approve subject to all staff comments, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.**

**Miracle Field at McKnight Park [2016-3037] site plan for recreation fields on 3.5 acres zoned P located along DeJarnette Lane, Murfreesboro Parks & Recreation Department developer.** Mr. Matthew Blomeley began by describing the site plan review for two (2) proposed baseball fields at McKnight Park. One of the fields will be a Miracle

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Field, which will be designed to be accessible for people with disabilities. The subject property is zoned P and the proposed use is permitted by right. On January 27<sup>th</sup> the Board of Zoning Appeals granted variances relative to the height of the field light fixtures as well as footcandle measurements at the property line associated with the ball fields.

Mr. Danny Goodwin and Mr. Chris Camp were in attendance to represent the applicant. Mr. Camp stated he would address all staff comments.

Mr. Eddie Smotherman stated this is a wonderful project and it will be a real asset to this community.

**Mr. Eddie Smotherman made a motion to approve subject to all staff comments, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.**

**Easton Place [2016-3008] site plan for 184 unit multi-family development on 10.26 acres zoned RM-16 located along Cason Lane, Gwaltney Communities LLC developer.** Mr. Matthew Blomeley began by describing the site plan review for a proposed multi-family residential development located along the east side of Cason Lane north of New Salem Highway. The subject property is zoned RM-16 and the proposed use is permitted by right. This apartment community will consist of four apartment buildings and clubhouse. The applicant proposes to include density bonus such as swimming pool, pool house, tot-lot and bike rack. This plan achieves the parking requirements with garages for vehicles only.

Mr. Blomeley made known before final approval staff recommended the applicant address the following issues:

- Continue working with staff regarding elevations, orientation and architecture that will be visible to Cason Lane

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- Add standard cross walk markings along the front of this site

Mr. Chris Goodman was in attendance to represent the applicant.

Chairman Lamb made known his concerns with the proposed traffic circle/roundabout. He requested for this area to be revisited. Mr. Chris Goodman made known he would. Mr. Blomeley stated any revisions to the design of the circle would be reviewed and approved by Mr. Ram Balachandran prior to any permits.

**Mr. Ken Halliburton made a motion to approve subject to all staff comments, including the traffic circle being reviewed and approved by Mr. Ram Balachandran, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.**

**Chariot Pointe Apartments (formally Kings Crossing) [2016-3025] site plan for 1,100 ft<sup>2</sup> leasing office and other site modifications on 10.9 acres zoned RS-15 and RM-16 located at 1710 East Northfield Boulevard, Murfreesboro Leased Housing Associates**

**I developer.** Mr. Matthew Blomeley began by describing the site plan review for site modifications at an existing apartment complex located along the south side of East Northfield Boulevard. The subject property is zoned RM-16 and this existing use is permitted by right. The complex has recently been purchased by a new owner, and the new owner wants to make various site improvements, including the construction of a new leasing office, converting the existing leasing office into a clubhouse, adding a playground, adding a mail kiosk, and adding a trash compactor. The northernmost acre of the site is zoned RS-15. It is undeveloped with the exception of the apartment complex swimming pool. The developer wishes to construct the new leasing office in this area. In order for the leasing office to be constructed in this area, it must be rezoned to a multi-family zoning designation. Staff recommends that approval of the portion of the site plan in the

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northernmost acre zoned RS-15 be made subject to the approval of the rezoning of this property to RM-16.

Mr. Matthew Blomeley requested before final approval the following issues should be addressed:

- Add a trash compactor
- Approve this site plan and its entire northern acre, but, not allow any construction for the leasing office on the northern acre until the rezoning request is approved.
- Building orientation of the proposed lease office should include the appearance of a front facing Northfield Blvd.
- Meet all buffer requirements once the rezoning request is approved

Ms. Kathy Jones requested for a crosswalk be added to the parking area across from the leasing office.

Mr. Jason Brewitt was in attendance to represent the applicant. Mr. Brewitt agreed to work with staff.

**Mr. Tom Clark made a motion to approve subject to all staff comments including the crosswalk, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.**

**Southpointe Business Campus Lot 23 [2016-3041] site plan for multiple buildings totaling 23,500 ft2 on 2.1 acres zoned L-I located along Southpointe Court, Jerrold Pedigo developer.** Mr. Matthew Blomeley began by describing the site plan review for a new multi-tenant commercial/industrial building along Southpointe Court. The uses include a discount store, as well as office/warehouse uses. The property is zoned L-I and the proposed uses are permitted by right.

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Mr. Blomeley made known there were several outstanding issues that needed to be addressed before final approval as being the following:

- HVAC units should be relocated either on the roof of the building or the opposite side of the building
- Re-design the parking lot to maximize parking spaces
- Meet orientation requirements and architecture elevations that will be reviewed and approved by the Planning Director
- Provide proper screen area for parked vehicles that will be stored on this site
- Provide a truck simulator with the changes being made to the parking lot

Mr. Bill Huddleston and Mr. Jerrold Pedigo were in attendance to represent the applicant.

Mr. Pedigo came forward making known he would work with Mr. Huddleston to address all issues.

The Planning Commission continued with discussions regarding the elevations and the parking lot should be improved for this site. This building will have presentation and visibility along Southpointe Court and I24. Chairman Lamb suggested adding landscaping. If there is ever a future owner of this building they may not enforce the same rules as Mr. Pedigo.

**Vice Chairman Doug Young commented due to the unresolved issues, he recommended a deferral, seconded by Mr. Kirt Wade. The motion carried by unanimous vote in favor.**

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## **New Business**

Annexation Plan of Services and annexation petition [2016-504] for approximately 242 acres located along Blackman Road & Florence Road, Shelton Family & Saraswat Family Trust applicant.

Ms. Kathy Jones made known she would abstain from all discussion and vote.

Ms. Margaret Ann Green began by describing the subject property consists of portions of 12 parcels and a portion of a 13th parcel located along Blackman Road, Florence Road and Manson Pike. The Shelton family members have petitioned the City of Murfreesboro annex 11 parcels of property located between Blackman Road and Florence Road. The Saraswat Family Trust has requested that a portion of their property (12' in depth) locate along Florence Road be annexed. The city contacted the Blackman Methodist Church, who own the parcel located at 4447 Manson Pike to inquire if they'd like to petition the City for annexation. The applicants asked to be studied for annexation while they meet with the leadership to determine their desire for annexation. Rights of Way along Manson Pike, SR 840, Blackman Road, and Florence Road are included in the study. Parks Development has a contract to purchase all but the Blackman Church property and have submitted a PRD (Planned Residential District) zoning application which is the subject of the next public hearing. The properties are bordered on the north and west with single-family developments. The properties to the east and south are mostly undeveloped. State Route 840 runs along the south of the subject properties.

The requested area is contiguous to existing City Limits only with the annexation of additional rights of way. It is within the City's urban growth boundary and, the owner has petitioned the City for its annexation. Staff has prepared a plan of services. The developer

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has reached out to the Murfreesboro Water and Sewer Department and it appears that they will be able to provide sewer service to this development only.

Mr. Matt Taylor and Mr. Bob Parks were in attendance to represent the applicant. Mr. Taylor made known they propose to organize a neighborhood meeting for February 29, 2016.

**Mr. Doug Young made a motion to schedule a public hearing on March 2, 2016, for Annexation Plan of Services and annexation petition, seconded by Mr. Ken Halliburton. The motion passed with one abstention made by Ms. Kathy Jones.**

**Zoning application [2016-406] for approximately 242 acres located along Blackman Road & Florence Road to be zoned Shelton Springs PRD simultaneous with annexation, Parks Development applicant.**

Ms. Kathy Jones made known she would be abstaining from all discussion and vote.

Ms. Margaret Ann Green began by describing the subject property located east of Blackman Road and west of Florence Road, just north of SR 840. The subject area consists of 13 parcels and was the subject of the previous annexation request. The surrounding properties are in the unincorporated area of Rutherford County.

The Shelton Springs PRD program book has been provided with this rezoning request. The maximum number of units proposed is 750 on 242 acres for a density of 3.1 dwelling units per acre. The development consists of 5 different lot sizes for single family detached residential homes.

Mr. Matt Taylor and Mr. Bob Parks were in attendance to represent the applicant.

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Mr. Taylor came forward with a power point presentation to provide the following information:

- They are proposing a total of 3 access points with turning lanes (2 access points off of Blackman Road, 1 access point off of Florence Road)
- No driveways onto Blackman Road
- 5 proposals for detach single family houses
  1. 35-foot-wide lots- include alley with a minimum of a 2 car garage, minimum 1800 square foot home
  2. 51-foot-wide lot – front entry garage, minimum 1800 square foot home
  3. 52-foot-wide – age targeted, minimum of 2 car garage, front entry and side entry garage on corner lots, minimum 1800 square foot home
  4. 65-foot-wide lot – minimum of 2 car garage, front entry garage, minimum of 2400 square feet
  5. 85-foot-wide lot – minimum of 3 car garage that are front and side entry garages, all homes will be a minimum of 3,000 square feet

Mr. Taylor explained the locations for the proposed amenities that include passive parks, pool, pool house and 75 feet of landscaping that will back up to Blackman Road.

**Mr. Doug Young made a motion to schedule a public hearing on March 2, 2016, seconded by Mr. Kirt Wade. The motion passed with one abstention made by Ms. Kathy Jones.**

**Zoning change [2016-410] for approximately 14 acres located within the Liberty Cove subdivision to be rezoned to RS-10 (approx. 7 acres) & RS-15 (approx. 7 acres), Howard Wall & Jim Obrien applicants.** Ms. Margaret Ann Green began by describing the subject property consists of property which is a part of the Liberty Valley subdivision.

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The surrounding properties are zoned RS-15 and RS-10. The developers wish to rezone a 7-acre area from RS-15 to RS-10 and to rezone approximately 7 acres from RS-10 to RS-15 for a total of 14 acres.

Mr. Matt Taylor was in attendance to represent the applicant.

**Mr. Kirt Wade made a motion to schedule a public hearing on March 2, 2016, seconded by Mr. Ken Halliburton.**

**Zoning change [2016-411] for approximately 5.5 acres located along Conference Center Boulevard and Avenue Way to be rezoned from PCD and CH to PRD, TDK construction applicant.** Ms. Margaret Ann Green began by describing the subject property being one parcel located along Conference Center Boulevard, Avenue Way and Greshampark Drive. All of the surrounding properties are zoned CH (Commercial Highway District). The subject property is zoned both CH and PCD and is within the GDO-1 overlay district. The PCD is approved to allow a 7 story, 129 room Hyatt Place hotel. The applicant has a contract to purchase the property and has requested a rezoning to PRD (Planned Residential District) to construct a multi-family development. The applicant believes the multi-family use will be a good fit in this area referred to as our “hospitality campus” because it is within walkable distance to the Avenues and other services. The applicant desires to zone this property PRD to allow 203 units on 5.5 acres with a density of 37 dwelling units/acre. In comparison, the MU district permits 25 dwelling units per acre. The apartment units will be a mix of one, two and three bedroom units. The structures will front upon Avenue Way and Greshampark Drive with on street parking along Greshampark Drive. These spaces will be in public right of way and will be available to the public and not be restricted to Vasari Loft residents only. A copy of the proposed PRD program book has been submitted with this rezoning request.

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The Planned development zoning allows for exceptions from the Zoning Ordinance or Subdivisions Regulations to be made so long as they are clearly identified and approved. This PRD is requesting an exception to the maximum density to increase it from 25 d.u./acre to 37 d.u./acre. The PRD also requests a reduction in the minimum number of parking spaces. A chart has been provided on page 25 of the program book with parking calculations. The Zoning Ordinance requires 378 regular, off-street parking spaces and the PRD is providing 334 spaces. Also, the Zoning Ordinance does not allow access to one parking space through one other parking space in multi-family residential uses. The applicant is providing parking spaces in front of the garage doors which are available to the resident who rents the garage. The parking calculations refer to these type spaces as “tandem” parking spaces and they are including “tandem spaces” in the minimum number being provided.

Architectural renderings have been provided in the applicant’s PRD program book providing the concept for the proposed design. The proposed materials are on page 17. The proposed design should be consistent with the GDO expectations. This project will be required to go through initial design review and final design review during site plan review to review the details of the plans.

Mr. Rob Molchan and Mr. Ross Bradley were in attendance to represent the applicant. Mr. Molchan came forward with a power point presentation to provide the following:

- Propose two buildings on this site with 203 apartment units
  1. Avenue Way - 4 story building
  2. Greshampark Drive and Conference Center Blvd. – 5 story building
- Urban street scape along Greshampark Drive and Conference Center Blvd.
- On street parking and sidewalks

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- 2 Rooftop garden areas for sitting location, grilling and relaxation for residence
- Building two will have a clubhouse, fitness equipment and pool
- 27 garage spaces with tandem parking
- Monument signage

**Mr. Kirt Wade made a motion to schedule a public hearing March 2, 2016, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.**

**Zoning Change [2016-409] for approximately 10.9 acres from RS-15 to RM-16 located at 1710 E Northfield Blvd, Murfreesboro Leased Housing Associates I applicant.** Mr. Matthew Blomeley began by describing the subject property located along the south side of East Northfield Boulevard just west of Pitts Lane. It is the northernmost acre of a parcel that is developed with an apartment complex. The majority of the property is zoned RM-16 (Residential Multi-Family District) but this northernmost acre along East Northfield Boulevard is zoned RS-15 (Single-Family Residential District). All of the actual apartment buildings are located on the portion of the property zoned RM-16. The only structure located on the portion zoned RS-15 is the apartment complex swimming pool.

The apartment complex has recently been purchased, and the new owner wishes to construct some improvements to the complex, specifically the construction of a new leasing office, a trash compactor, a playground, a mail kiosk, and the renovation of the existing leasing office into a clubhouse. The new leasing office is proposed to be located at the front of the site in the area that is zoned RS-15. In order to construct the leasing office in this location, the property must be zoned in a manner that will permit a building that is accessory to a multi-family use. The new owners have requested that this northernmost acre be rezoned from RS-15 to RM-16 to facilitate the construction of the new leasing office

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as well as some other miscellaneous improvements. A copy of the proposed site plan has been included for the Planning Commission's reference.

The subject property is bordered on its west side by an undeveloped parcel zoned RS-15 and on its east side by the Jehovah's Witness Kingdom Hall, which is also zoned RS-15. Because the properties to both the east and west are zoned RS-15, the apartment complex will be required to provide a Type C buffer along these property lines if it is rezoned to RM-16. To the northwest across East Northfield Boulevard to the north is the Quail Run single family residential subdivision, which is also zoned RS-15. South of the acre in question is the balance of the subject property, which is zoned RM-16.

Mr. Jason Brewitt was in attendance to represent the applicant.

**Mr. Eddie Smotherman made a motion to schedule a public hearing on March 2, 2016, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.**

**Annexation Plan of Services and annexation petition [2016-505] for approximately 31.9 acres located west of Manchester Pike, Swanson Development applicant.** Mr. Matthew Blomeley began by describing the subject property located west of Manchester Pike and north of Joe B Jackson Parkway. It is directly to the north of the Interstate Warehousing development and is currently undeveloped. The owner of the subject property has petitioned the City for annexation, though the petition does not include the entire parcel. The portion of the parcel with frontage along Manchester Pike has been omitted from the annexation petition.

The subject property is currently zoned RM (Medium Density Residential) in the unincorporated County. The property owner has also filed a request to have the property zoned L-I (Light Industrial) simultaneous with annexation. Interstate Warehousing has a

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contract on the subject property, and, if the annexation and zoning requests are approved, they would like to acquire the property for future expansion of their development. If Interstate Warehousing were to acquire the subject property, it would need to be combined with Interstate Warehousing's existing tract, because the requested area does not have any frontage on a public street.

The subject property is contiguous with the existing City Limits to the south and to the west. It is also within the City's urban growth boundary. The annexation plan of services has been prepared which indicates that services can be provided to the subject property upon annexation. No right-of-way is included in the annexation study.

Mr. Clyde Rountree, Mr. Bill Huddleston and Mr. John Harney were present to represent the applicant.

**Mr. Ken Halliburton made a motion to schedule a public hearing on March 2, 2016, Annexation Plan of Services and annexation petition, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.**

**Zoning Request [2016-408] for approximately 31.9 acres located west of Manchester Pike to be zoned L-I simultaneous with annexation, Swanson Development.** Mr. Matthew Blomeley began by describing the subject property located west of Manchester Pike and north of Joe B Jackson Parkway. It is directly to the north of the Interstate Warehousing development and is currently undeveloped. The owner of the subject property has petitioned the City for annexation, though the petition does not include the entire parcel. The portion of the parcel with frontage along Manchester Pike has been omitted from the annexation petition.

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The subject property is currently zoned RM (Medium Density Residential) in the unincorporated County. The property owner has also filed a request to have the property zoned L-I (Light Industrial) simultaneous with annexation. Interstate Warehousing has a contract on the subject property, and, if the annexation and zoning requests are approved, they would like to acquire the property for future expansion of their development. If Interstate Warehousing were to acquire the subject property, it would need to be combined with Interstate Warehousing's existing tract, because the requested area does not have any frontage on a public street.

As previously mentioned, the subject property abuts the Interstate Warehousing development, which is zoned L-I, to the south/southwest. To the south/southeast is the Sunset Ridge PRD (Planned Residential District), which contains detached and attached single-family residential uses (the Everbrite Pointe and Del Sol Commons subdivisions) and residential condominiums (Aurora Place). To the west is a collection of undeveloped parcels, which are zoned L-I and for which a site plan has been approved by the Planning Commission for a development called Standard Distribution. There is an undeveloped parcel to the northwest. Directly to the north and east, fronting along Manchester Pike, are a number of large, single-family residential estate lots located in the unincorporated County.

Mr. Clyde Rountree was in attendance to represent the applicant.

**Ms. Kathy Jones made a motion to schedule a public hearing on March 2, 2016, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.**

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Annexation Plan of Services and annexation petition [2016-501] for approximately 27.6 acres located along New Salem Highway, World Outreach Church & Jackson Family General Partnership applicants. Mr. Matthew Blomeley began by describing the subject property located along both the south and north sides of New Salem Highway just east of its intersection with River Rock Boulevard. There are two separate annexation petitions that comprise this request. The first has been made by World Outreach Church and it consists of the balance of the church's property north of Spence Creek (totaling 2.2 acres). This 2.2 acres primarily consists of the floodplain and floodway of Spence Creek and is used by the church as open space. Also included in this 2.2 acres is the church's access drive at River Rock Boulevard. The second annexation petition is for property owned by the Jackson Family Partnership at the northeast corner of the intersection of New Salem Highway and River Rock Boulevard. The property (totaling 25.4 acres) is developed with one single-family home, as well as an outbuilding that was previously used for a veterinarian's office. According to the applicant's representative, World Outreach Church currently uses the outbuilding for small group functions. Over the years, this property has also been used for agricultural purposes.

All of the subject parcels are currently zoned RM (Medium-Density Residential) in the unincorporated County. There is no companion zoning request for the church's property. The main reason that the church has requested annexation is that it desires for its entire access drive to be in the City's jurisdiction, so that it can move forward with plans to erect a sign on its bridge over Spence Creek. The Jackson Family Partnership property is also currently zoned RM in the unincorporated County. It has requested that seven (7) of its 25.4 acres be zoned CF (Commercial Fringe) simultaneous with annexation and the remaining 18.4 acres be zoned RM-16 (Multi-Family Residential District) simultaneous with annexation. The Jackson Family has no immediate development plans for the

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property but would like to be able to market it for potential commercial and multifamily residential development in the future.

The annexation plan of services will be prepared by staff before the public hearing. Approximately 1,050 linear feet of New Salem Highway right-of-way, totaling approximately three (3) acres, is included in the annexation study. According to the plan of services, services can be provided to the subject properties upon their annexation. The properties have been petitioned for annexation by the property owners, they are within the City's Urban Growth Boundary, and they are contiguous with the existing City limits. In fact, the subject properties are virtually surrounded by the City limits. The only thing from keeping these parcels from being completely surrounded is a small gap in the City limits at the intersection of New Salem Highway and River Rock Boulevard. If these properties are annexed, it will close this gap and create a more consistent City limits boundary, possibly eliminating confusion for service providers, including emergency service providers.

Mr. John Harney was in attendance to represent the applicant.

**Mr. Eddie Smotherman made a motion to schedule a public hearing on March 2, 2016, for Annexation Plan of Services and annexation petition, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.**

**Zoning Request [2016-407] for approximately 30.6 acres located along New Salem Highway to be zoned CF (approx. 7 acres) and RM-16 (approx. 18.4 acres) simultaneous with annexation, Jackson Family General Partnership applicant.** Mr. Matthew Blomeley began by describing the subject property located at the northeast corner of New Salem Highway and River Rock Boulevard. The property (totaling 25.4 acres)

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is developed with one single-family home, as well as an outbuilding that was previously used for a veterinarian's office. According to the applicant's representative, World Outreach Church currently uses the outbuilding for small group functions. Over the years, this property has also been used for agricultural purposes. The annexation of the subject property had been discussed before this request. The applicant is requesting that the seven (7) acres located directly at the corner be zoned CF (Commercial Fringe) simultaneous with annexation and the remainder of the property be zoned RM-16 (Multi-Family Residential District) simultaneous with annexation.

Directly to the east/northeast of the subject property along New Salem Highway is undeveloped property owned by World Outreach Church, which was rezoned to RM-16 and CH (Commercial Highway) in 2011. Directly to the north of the subject property is the Sawyer Green single-family attached subdivision, which is zoned RZ (Residential Zero Lot Line). To the west of the subject property, across River Rock Boulevard, is the Olympic Springs Subdivision, which is zoned RS-15 and RS-12 (Single-Family Residential). Also located across River Rock Boulevard to the west are River Rock Baptist Church and the Jehovah's Witness Kingdom Hall, both of which are zoned RS-15.

The land use map contained in the *Salem Pike Land Use Plan* recommends that the subject property develop as "Institutional (Cultural/Worship)", which is defined as "all cultural and worship uses provided that the scale, operating hours, and traffic impact are compatible with any nearby residential uses and scale." The proposed RM-16 and CF zones would allow most cultural and worship uses. However, because the RM-16 and CF zones also allow a variety of other types of uses, it might be argued that the zoning request is not generally consistent with the map's recommendation. Despite the recommendation of the map, the text of the plan does recommend that commercial uses be clustered in

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conjunction with major thoroughfares. One might make the case that the intersection of New Salem Highway and River Rock Boulevard would be appropriate for a neighborhood commercial node to serve the surrounding residential uses. The proposed RM-16 zoning request would serve as a transition from the proposed CF zone at the intersection to the adjacent Sawyer Green Subdivision and would continue the existing RM-16 zoning to the east, which was approved in 2011 and also directly abuts the Sawyer Green Subdivision. Because of the narrowness of the map's recommendation and the recommendation of the plan's text to locate commercial nodes at major intersections, the Planning Commission may see the request as an appropriate deviation from the land use map's recommendation.

Mr. John Harney was in attendance to represent the applicant.

**Mr. Ken Halliburton made a motion to schedule a public hearing on March 2, 2016, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.**

## **Staff Reports and Other Business**

Ms. Margaret Ann Green explained that Mr. Tommy Smith and Mr. Matt Taylor has requested for approval regarding North Church LLP, Sec. 2 Resub Lots 9-11 final plat [2016-2019] located on Medical Center Parkway & Conference Center Drive.

Ms. Green explained due to this property located within the Gateway Design Overlay it will require approval from the Planning Commission. The applicant has requested to allow them to increase the size of Lot 10 by reducing the size of Lot 9 and Lot 11. These lots have already been created and services are provided. This is considered a small change due to shift of property lines.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION February 17, 2016

Mr. Doug Young asked the Planning Commission if they would like to review this request, in which Ms. Jones answered yes and Mr. Eddie Smotherman agreed.

**Mr. Eddie Smotherman made a motion to approve as submitted, Medical Center & Conference Center subject to all staff comments, seconded by Mr. Kirt Wade. The motion passed.**

There being no further business the meeting adjourned at 4:00 p.m.

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**Chairman**

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**Secretary**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 6, 2016

7:00 p.m.

City Hall

## MEMBERS PRESENT

Bob Lamb, Chairman  
Doug Young, Vice Chairman  
Tom Clark  
Kathy Jones  
Eddie Smotherman  
Ken Halliburton

## STAFF PRESENT

Gary Whitaker, Planning Director  
Margaret Ann Green, Principal Planner  
Robert Lewis, Planner  
Joe Ornelas, Planner  
Carolyn Jaco, Recording Assistant  
David Ives, City Attorney  
Sam Huddleston, Environmental Engineer  
Ram Balachandran, Traffic Engineer

Chairman Bob Lamb called the meeting to order after determining there was a quorum. The minutes of the January 20, 2016, and March 2, 2016, Planning Commission meetings were approved as submitted.

## Public Hearings

**Zoning application [2016-413] for approximately 9.5 acres located along Lascassas Pike and North Rutherford Boulevard to be rezoned from PCD to CF, George Huddleston, Jr. applicant.**

Ms. Margaret Ann Green began describing the subject property located along the east side of Lascassas Pike, south of North Rutherford Boulevard and west of Old Lascassas Road. The property to the south is zoned CL (Local Commercial District) and RM-16 (Multi-family residential district) and is the location of the United Pentecostal Church. The properties to the east are zoned CF (Fringe Commercial District), which is currently undeveloped, and RM-12 which is the location of the Belle Aire Baptist Church. The properties to the west are zoned CL are developed with a gasoline sales, restaurant and vehicle wash. Also to the west are properties zoned RM-16 which is

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development with multi-family apartments. The properties to the north are zoned CH (Commercial Highway District) and is the location of the Kroger grocery store, gas station and outparcels.

The property was rezoned from CF, CL and RM-16 to PCD (Planned Commercial District-file 2003-450) in 2004 to allow a grocery store with retail shops. Also proposed in the PCD are outparcels to be the future location of a pharmacy and additional retail shops. Exhibits of the PCD have been included with the agenda materials, including the list of permitted uses under the PCD. Staff has also submitted a chart from the Zoning Ordinance with a list of permitted uses in the CF district.

The subject property has not developed as proposed in the PCD. Some of the developments around this site have changed since the time the PCD was approved. In 2007 a Kroger was constructed to the north. Also notable, Kroger acquired Harris Teeter stores. The outparcels around the Kroger are continuing to develop.

Little Garrison Creek (also known as the little ditch, which is an unnamed tributary of Bushman Creek) is identified as a water of the state and crosses the subject property. Any future development will be required to conform to the state regulations and the City's WQPA (Water Quality Protection Area) regulations. Those elements will be reviewed with future site plans. The applicants currently do not have a specific development plan for this property.

Ms. Green made known the applicant had hosted a neighborhood meeting on March 29, 2016, at Saint Mark's United Methodist Church.

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Mr. Clyde Rountree and Mr. John Harney were in attendance to represent the applicant.

Chairman Bob Lamb opened the public hearing. No one came forward to speak for or against the rezoning request; therefore, Chairman Lamb closed the public hearing.

Mr. Doug Young wanted to know if this rezoning request was consistent with properties in this area, in which Ms. Green answered yes.

**Mr. Doug Young made a motion to approve the rezoning request, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

**Annexation Plan of Services and annexation petition [2016-507] for approximately 0.59 acres located along Veterans Parkway, Mary Reed applicant.** Ms. Margaret Ann Green began by describing the subject property located along the east side of Veterans Parkway about 1,600 feet north of Franklin Road. It is directly to the south of The Cloister subdivision. The entire parcel consists of approximately seven (7) acres. It is developed with a single-family residence and is addressed as 4546 Veterans Parkway. The rear portion of the property contains the floodway and the floodplain of Overall Creek. The majority of the parcel was annexed into the City limits in 2013. A 30' strip along the northern property line was not annexed, however. Annexing the entire property would have created an "island" of unincorporated County to the east of the subject property surrounded by the City limits. The applicant has filed a petition with the City to annex a 20' strip of the aforementioned 30' strip along the northern property line. This would leave the very northernmost 10' of the parcel in the unincorporated County so as not to create the aforementioned "island."

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Upon annexation in 2013, the majority of the property was zoned RM-16 (Multi-Family Residential District). However, the applicant now desires to have the entire property (within the exception of the northernmost 10' strip) zoned CF (Commercial Fringe). A companion zoning request has also been filed. If the portion of the property that is already in the City limits is developed without annexing the requested area, then it is likely that buildings proposed to be constructed on the property would be located partially in the City's jurisdiction and partially in the County's jurisdiction. Annexing the requested area would allow any proposed development on the subject property--with the exception of the required buffer yard along the northern property line--to be located in one jurisdiction.

The subject property is contiguous with the existing City Limits to the south, it is within the City's urban growth boundary, and a petition for its annexation has been submitted by its owner. The adjacent right-of-way of Veterans Parkway had been included in the annexation study. An annexation plan of services had been prepared and included with this request. According to the plan of services, the City will be able to provide services upon annexation.

Mr. Clyde Rountree and Mr. Tom Reed were in attendance to represent the applicant.

Chairman Bob Lamb opened the public hearing. No one came forward to speak for or against the annexation request; therefore, Chairman Bob Lamb closed the public hearing.

**Ms. Kathy Jones made a motion to approve the Annexation Plan of Services and annexation petition, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.**

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**Zoning application [2016-412] for approximately 0.55 acres located along Veterans Parkway to be zoned CF simultaneous with annexation and approximately 6.5 acres to be rezoned from RM-16 to CF, Mary Reed applicant.** Ms. Margaret Ann Green began by describing the subject property located along the east side of Veterans Parkway about 1,600 feet north of Franklin Road. It is directly to the south of The Cloister subdivision. The entire parcel consists of approximately seven (7) acres. It is developed with a single-family residence and is addressed as 4546 Veterans Parkway. The rear portion of the property contains the floodway and the floodplain of Overall Creek. The majority of the parcel was annexed into the City limits in 2013 and zoned RM-16 (Multi-Family Residential District) simultaneous with annexation. However, a 30' strip along the northern property line was not annexed. Annexing the entire property would have created an "island" of unincorporated County to the east of the subject property surrounded by the City limits. The applicant has filed a petition with the City to annex a 20' strip of the aforementioned 30' strip along the northern property line. This would leave the very northernmost 10' of the parcel in the unincorporated County so as not to create the aforementioned "island."

The applicant has also requested to rezone the portion of the property that was annexed in 2013 (approximately 6.5 acres) from RM-16 to CF (Commercial Fringe District) and to zone the 20' strip (approximately 0.55 acres) CF simultaneous with annexation. In 2015, the three parcels directly to the south of the subject property had requested for rezoning from RM-16 to CH. CH zoning was approved for two of the three parcels. After discussion by the City Council, the parcel directly adjacent to the subject property was zoned CF, instead of CH, in order to provide a transition from the CH zoning to The Cloister single-family

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residential subdivision to the north. The applicant also owns the CF-zoned property to the south and it is his desire to extend the CF zoning north to the subject property for future commercial development on these two parcels.

As stated earlier, the parcels to the south are zoned CF and CH. Further to the south of the two subject parcels is also zoned CH and is being developed with a Kroger grocery store. To the north of the subject property is The Cloister single family residential subdivision, which is zoned PRD (Planned Residential District). The subject property is bordered by Overall Creek and its floodway to the east. Further to the east across Overall Creek are the Franklin Road Estates and Meadow Lane single-family residential subdivisions, both of which are located in the unincorporated County. To the west, across Veterans Parkway, are several large parcels in the unincorporated County developed with single-family dwellings.

The future land use map contained in the *General Development Plan for the Blackman Community* recommends “Medium Density Residential” uses for the subject parcel. It defines medium-density residential as “planned areas of single family homes and attached or zero-lot-line units” with a density of “4.0 to 8.0 units per acre.” This zoning request is not consistent with this recommendation. However, the plan also recommends “strong support for nodal commercial development patterns centered on major street intersections.” In fact, the future land use map of the plan recommends that the intersection of Veterans Parkway and Franklin Road, just to the south of the subject property, develop as a “local” commercial node. The Planning Commission needs to determine whether or not the zoning of the subject property to CF is an appropriate

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extension of this commercial node and an appropriate deviation from the recommendation of the plan's future land use map.

The applicant had hosted a neighborhood meeting on April 4, 2016, at 6:00 p.m. at the Blackman Community Center.

Mr. Clyde Rountree and Mr. Tom Reed were in attendance to represent the applicant.

Chairman Bob Lamb opened the public hearing. No one came forward to speak for or against the rezoning request; therefore, Chairman Lamb closed the public hearing.

The Planning Commissioners wanted to know what type uses would be permitted under a CF (Commercial Fringe) zone. Ms. Green explained the permitted uses for a CF zone. Continuing, she made known during the neighborhood meeting the applicant had presented a plan for uses that included a self-storage facility, an office and retail. Mr. Eddie Smotherman commented how it would be advantageous zoned CF instead of being zoned planned development. He feels that a planned development would work well with the neighborhoods in this area. Ms. Green explained the applicant had requested CF bulk zone so he would have more flexibility with the design of the site and the flexibility for the proposed uses in the development. Mr. Ken Halliburton wanted to know what type buffer would be required between a CF zone with the joining residential development. Ms. Green stated it would require a minimum of a Type C landscape buffer between the two uses. Chairman Lamb asked if the buffer would fall onto the corporate side of the city limits or along the 10 foot strip. Ms. Green explained that it could be placed in the 10 foot strip, plus, the 12 foot strip for the total of 22 feet. During the site plan review, the Planning

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Commission could request additional landscaping and orientation of the proposed buildings with any future development.

Ms. Kathy Jones wanted to know if any staff members had attended the neighborhood meeting. Ms. Green made known the Planning Director, Mr. Gary Whitaker had attended and over 20 other people came to the meeting. Mr. Whitaker explained the applicant does not have a definite plan; however, the land has been owned by the family for many years. During the neighborhood meeting the applicant had provided information on how he would like to develop the property. There had been several questions asked and the consensus from the residents were they had favored the retail use rather than a RM16 development. Ms. Green explained this was a concept plan, which is just an idea; however, a CF zone does have regulations and assurances for the nearby residents.

**Mr. Ken Halliburton made a motion to approve the rezoning request, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.**

**Zoning application [2016-416] for approximately 0.43 acre located at 1216 North Maple Street to be rezoned from PCD to CF, Nancy E. Brown applicant.** Ms. Margaret Ann Green began by describing the subject property located at the southeast corner of North Maple Street and West McKnight Drive. It is developed with a single-family residence and a dance studio. The dance studio is located in an addition that was constructed behind the original single-family home. Prior to 2003, the subject property was zoned RD (Residential Duplex District) and only contained a single-family dwelling. In 2003, it was rezoned from RD to PCD (Planned Commercial District) in order to allow for the construction and operation of a dance studio. The PCD zoning limits the permitted

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uses on the property to only a single-family residence and a dance studio. The dance studio is still in operation at this time but will be closing in June. The owner plans on putting the property on the market around that time and believes that the property will be more marketable if it is not restricted to the limited uses that are permitted with the current PCD zoning. Her request is to rezone the property from its current PCD zoning to CF (Commercial Fringe District), which would permit additional commercial uses.

Directly in front of the subject property is the intersection of Memorial Boulevard, West McKnight Drive, and North Maple Street. The uses in front of the subject property along Memorial Boulevard are zoned CH (Commercial Highway). To the southwest of the subject property across North Maple Street is the Blue Coast Burrito restaurant as well as a barber shop and a sign company, which are zoned CH. To the north of the subject property across West McKnight Drive is a real estate office and a Christian Science reading room and bookstore, which are also zoned CH. The subject property is bordered on its east and south sides by single-family residences that are zoned RD. It is bordered on its southeast corner by a duplex that is zoned RD.

Mr. Ken Halliburton asked if the zoning changed from PCD to CF, would require additional parking spaces. Ms. Green explained the zoning change would not affect the parking. If the property became a different use with the same amount of parking then nothing changes. However, if a change in use requires additional parking then it would require a site plan that would show the additional parking. Ms. Jones asked if the zoning changed to CF, would the residence no longer be used as a residence. Ms. Green explained if changed to CF and someone was living in the residence it would be a lawful use but a non-

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conforming use. Our state has laws in place that makes known if someone does not live in the residence after thirty months it would lose the residential status.

Chairman Bob Lamb open the public hearing.

Ms. Nancy Brown 1216 North Maple Street – came forward to explain how her property is highly visible along Memorial Blvd, McKnight Drive and Maple Street and surrounded by commercial properties. Years ago she had been told by the former Planning Director, Joseph Aydelott, that her property would become a Gateway into the downtown area of Murfreesboro. She requested for her property to be considered for approval.

Chairman Lamb closed the public hearing.

Mr. Ken Halliburton asked if this property was changed to a CF zone, would the existing buffer change. Ms. Green explained nothing would change unless the use is changed.

**Mr. Tom Clark made a motion to approve, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.**

## **Staff Reports and Other Business**

Mr. Margaret Ann Green brought up for discussion the program book for General's Landing, has been revised. She made known the applicant had addressed the issues that had been brought up during their public hearing at the Planning Commission meeting that had been conducted on February 3, 2016. Ms. Green wanted to make certain the Planning Commissioners had the opportunity to review the new layout and the details to their revised rezoning request before it was presented to City Council.

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Mr. Ken Halliburton made the comment, “anytime a future development can have a positive impact on an existing city development is a win, win, for everyone. Hopefully, the proposed ditch that is to be added with this development will have a great impact for the residents whom reside at Northboro Court.

**NO ACTION TAKEN**

**There being no further business the meeting adjourned at 7:45 p.m.**

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**Chairman**

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**Secretary**

**GW: cj**