

# **CITY OF MURFREESBORO PLANNING COMMISSION AGENDA**

**Patterson Park Community Center, Room E-3, 521 Mercury Boulevard**

**July 13, 2016  
7:00 PM**

**Bob Lamb  
Chairman**

**1. Call to order**

**2. Determination of a quorum.**

**3. Public Hearings:**

- a. Zoning application [2016-422] for approximately 150.5 acres located along Joe B Jackson Parkway to amend the PID (Parkway Place), Joe Swanson, Jr. applicant.
- b. Zoning application [2016-425] for approximately 13.5 acres located along Brinkley Road to be rezoned from CF to PRD (Wilkerson Downs), Robert E. Frances & Jeffrey Gill applicant.
- c. Zoning application [2016-426] for approximately 4.5 acres located along Cason Lane, Parkwood Drive, and Eldin Creek Drive to amend the Three Rivers PRD, Highpoint Limited LLC applicant.
- d. Zoning application [2016-427] for approximately 2 acres located along North Rutherford Boulevard and Old Lascassas Road to be rezoned from CF to CH, Eric Lowman applicant.
- e. Zoning application [2016-428] for approximately 44 acres located along Armstrong Valley Road to be rezoned from RS-15 to RS-8, Cornerstone Development applicant.

**4. Staff Reports and Other Business:**

**5. Adjourn.**

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 13, 2016**

**3.a. Zoning application [2016-422] for approximately 150.5 acres located along Joe B Jackson Parkway to amend the PID (Parkway Place), Joe Swanson, Jr. applicant.**

The subject area consists of 3 parcels and is located along the southern side of Joe B. Jackson Parkway, and north of Elam Road. The county subdivision Magnolia Trace is to the south and Aurora Place Condominiums are to the north. Industrial Developments are located to the west along Joe B. Jackson Parkway, including Amazon distribution warehouse. I-24 and an interchange is less than one roadway mile to the west. The largest of these 3 parcels went before the Planning Commission on March 5, 2008, to consider rezoning the property from RS-15 to L-I. The Planning Commission recommended the applicant revisit the plan for this property and prepare a planned development application if he still desired a zoning change. The applicant then submitted a program book called Parkway Place.

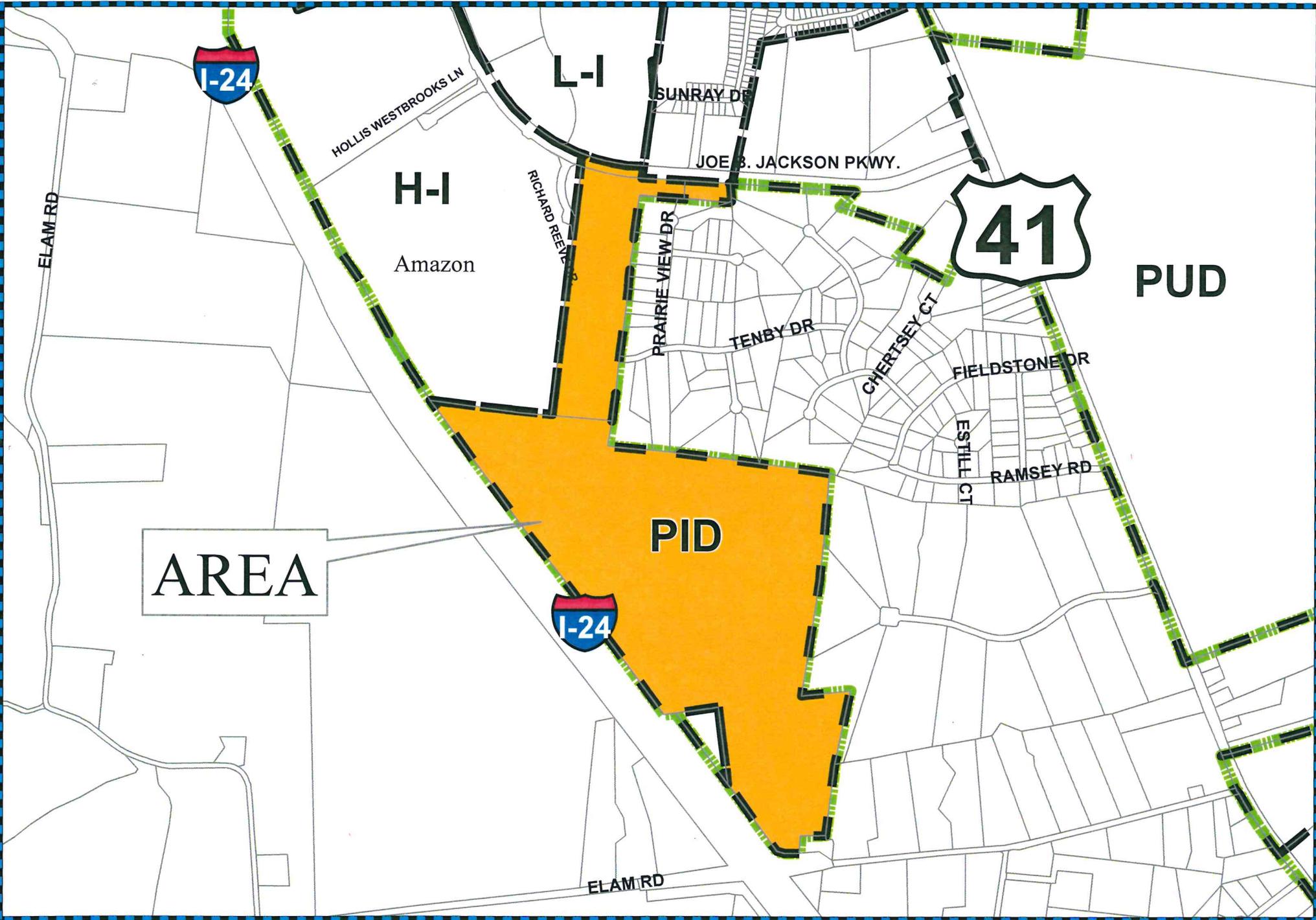
By zoning this property PID, the applicant was able to address some questions and concerns the Planning Commission had with the request to rezone most of the area to L-I. First, the location of the connector road which runs along region 3 was located along the westernmost property line to stay as far from the houses in Magnolia Trace as possible. Secondly, the plan, which will become the zoning for the property, requires an undisturbed buffer along the northern and eastern property lines in Region 1 which varies in width from 25 feet to 125 feet. There was a concern that leaving this area zoned RS-15 was inadequate because it didn't mandate the preservation and maintenance of a buffer and RS-15 zoning allows the development of single-family houses. Lastly, there was some concern from the residents and staff that the L-I zone permitted some uses that just weren't compatible with the area. By utilizing the PID, the list of permitted uses can be hand-picked to ensure that they are appropriate for this location. The PID package has divided the study area into regions. Each region allows a different array of uses varying in type and intensity.

In 2012, Pinnacle Financial Partners made an application to amend the PID to relocate the main road accessing the east side of the property instead of the west side. The change was needed because the location for Richard Reeves Drive (a signalized intersection) was aligned with the access into the Interstate Warehouse facility on the north side of Joe B Jackson Parkway. The alignment of this street as it enters the subject property made it almost impossible to achieve the alignment of the PID zoning plan. Additionally, a commitment was made to add 6-foot high earthen berm in addition to the Type E buffer.

The property has since been sold and the current owners have more defined plans for some parts of the property. The site is still divided into regions, and the proposed buffers are remaining a part of the plan. In addition, an 8' tall masonry wall is being

proposed in some areas. The site layout, building design, and uses permitted have changed. As such, a revised program is being presented for the Planning Commission's review.

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



AREA

Map Document: (G:\planning\rezon\joebjacksonPID\_Amend.mxd)  
 9/10/2012 -- 8:46:13 AM

Proposed PID Amendment Along  
 Joe B. Jackson Pkwy

0 500 1,000 2,000  
 Feet



City of Murfreesboro  
 GIS Department  
 111 W. Vine Street  
 Murfreesboro, Tennessee 37130  
 www.murfreesborotn.gov



**An Application to Amend  
The Planned Industrial  
Development for:**

# **PARKWAY PLACE**

**SEC, Inc.**

**Planning, Engineering,  
& Landscape Architecture**

**SEC, INC.**

**850 Middle Tennessee Blvd  
Murfreesboro, TN 37129  
Contact: Rob Molchan, PLA  
615-890-7901**

**SUBMITTED ON MAY 26, 2016  
RESUBMITTED JUNE 16, 2016 FOR JUNE 22, 2016 PLANNING COMMISSION WORKSHOP  
RESUBMITTED JULY 1, 2016 FOR JULY 13, 2016 PLANNING COMMISSION PUBLIC HEARING**



**Developer**

**Swanson Development, LP.**

**1188 Park Avenue  
Murfreesboro, TN 37128  
Contact: Joe Swanson  
615-896-0000**

# PARKWAY PLACE

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# INTRODUCTION

## The Request

Swanson Development, LP respectfully requests to amend the existing Parkway Place PID. The proposed development is located along the south side of Joe B Jackson Parkway, east of the Amazon Fulfillment Center, west of Magnolia Trace & Oakland Farms subdivisions, and north of Interstate 24. The site is identified as Parcel 50.19 of Tax Map 126 (23.80 acres) and Parcel 2.00 of Tax Map 135 (125.36 acres). Parcel 22.05 of Tax Map 135B Group A (1.30 acres) which is currently owned by the City of Murfreesboro.

This request is to amend the approved PID to refine the four regions of the property based on a conceptual program the new developer has designed with a certain market end-user more in place today, than it was eight years ago when the PID was initially approved back in 2008. Swanson Developments background in industrial warehouse development has identified a specific type of facility they believe is good use for a portion of the PID.

Region 1 will be a mixture of lots that will allow for individual businesses to offer commercial, office and restaurant uses to the area to support the business community and residents located in this region.

Region 2 proposes to extend Richard Reeves Drive southward through the center of the region toward the larger portion of the PID located along Interstate 24. On both sides of the roadway, the developer is proposing flex warehouse buildings being coined 'Incubator Industry'. These buildings allow for small businesses to grow and evolve as their business does.

Regions 3 & 4 will remain the same in regards to their location within the PID, aside from Region 2 expanding into Region 3 to square up to the existing boundary line of the property. The proposed types of uses, architectural characteristics and buffers previously approved with both of these regions, will remain unchanged from the previously approved PID.



# PARKWAY PLACE

## Vision & Commitment

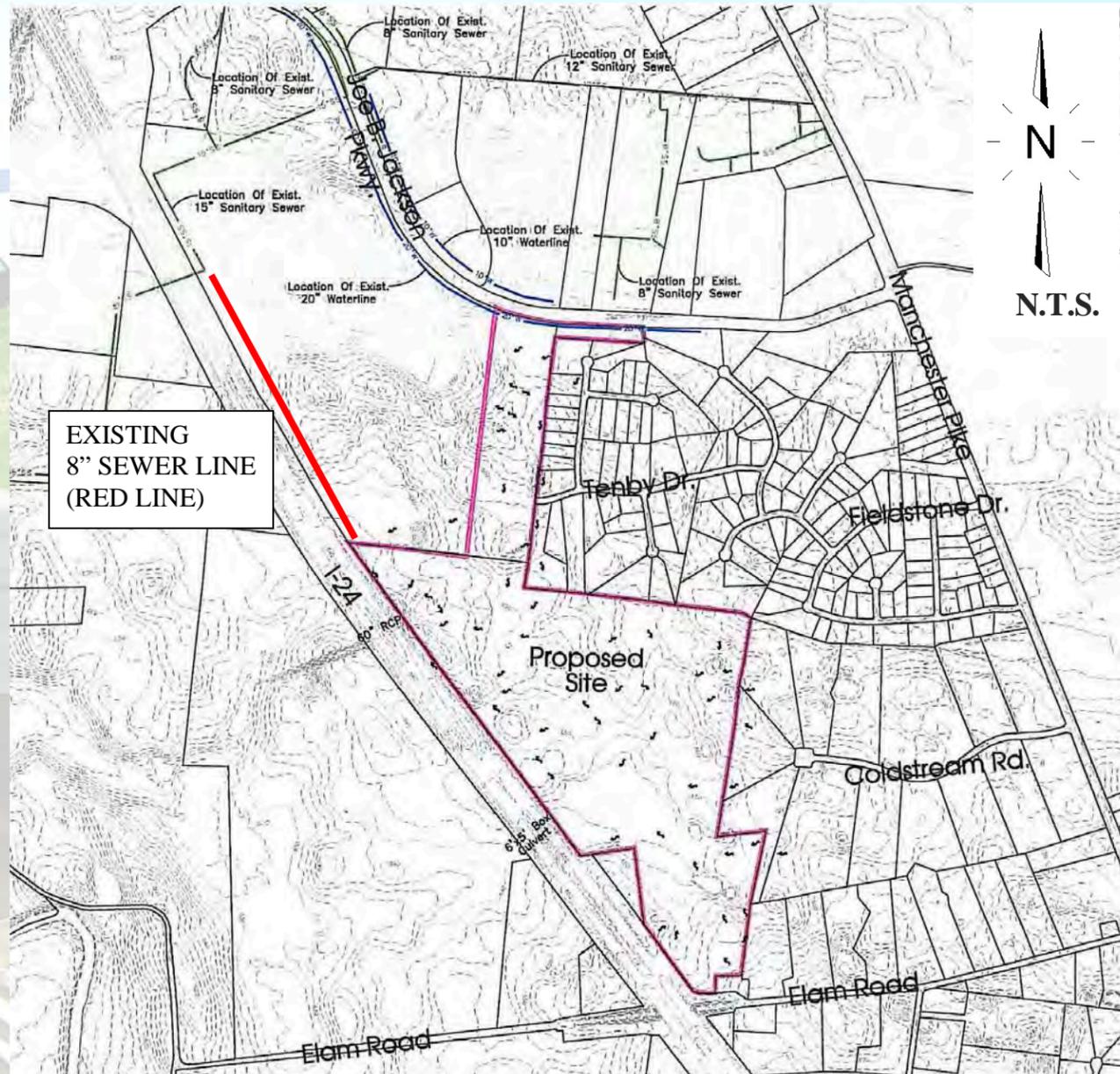
Swanson Development, LP the developer of Parkway Place is committed to creating a quality Planned Industrial Development to attract potential users that can not only provide gainful employment to residents of the City of Murfreesboro and Rutherford County, but also provide a new destination for commerce to grow and develop. The developer has chosen to proceed with the Planned Industrial Development option to ensure the City of Murfreesboro and surrounding residents of the quality and characteristics of the development.

North Up  
N.T.S.

# PARKWAY PLACE

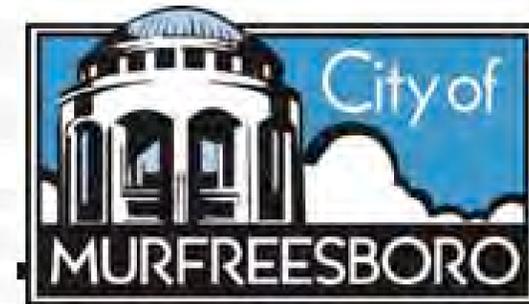
## EXISTING CONDITIONS

### RIGHTS-OF-WAY, UTILITIES, & TOPOGRAPHY



EXISTING  
8" SEWER LINE  
(RED LINE)

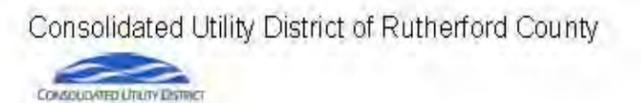
Existing topography indicates that the site has several closed depressions on-site. In general, the site drains toward the right-of-way of I-24. On-site stormwater detention will be provided and final locations will be determined as each site is developed. Final design for on-site detention will be done in a manner to limit the post-development peak flows to pre-development levels in accordance with City of Murfreesboro and TDEC requirements.



The property has access to three public rights-of-way. The main access will be along Joe B Jackson and Richard Reeves Drive. While an emergency access point has been shown along the frontage road located on the south side of the property.



Sewer service is located at 2 locations close to the property. One point (8-inch) is located along the south side of Joe B Jackson Parkway and runs to the north through the Sunset Ridge Development. The other location (8-inch) is located in the rear of the Amazon property. In both instances, the sewer will have to be extended by this development. Sanitary sewer will be provided by Murfreesboro Water and Sewer Department.



Water service (20-inch) is located along the south side of Joe B Jackson Parkway. Water will be provided by the Consolidated Utility District.



Gas service (4-inch) is along the north side of Joe B Jackson Parkway and is provided by Atmos Energy.



Murfreesboro Electric Department will be providing service to the development.

# PARKWAY PLACE

## EXISTING CONDITIONS (CONT.)

### PHYSICAL FEATURES

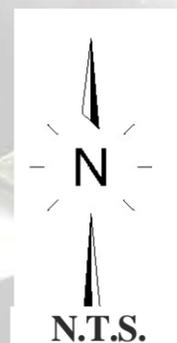


#1 (Example of foliage to remain)

Presently the majority of the site is covered in a mixture of hardwoods and evergreens with a few open areas where the cover is pasture or scrub.



#2  
(Portion of Buffer to remain taken from the Oakland Farm S/D side)



#3  
(Portion of Buffer to remain taken from Magnolia Trace side)

Portions of the property have large outcroppings of rock existing. There is only one known structure on-site and that is a old barn which will be removed.



#4  
(Portion of Buffer to remain taken from Magnolia Trace side)

# PARKWAY PLACE

## EXISTING CONDITIONS (CONT.)

### PHYSICAL FEATURES



#5 (Existing clearing on-site)



#7 (Portion of existing foliage to remain)



#8 (Portion of existing foliage to remain)



#6 (Existing scrub on-site)



# PARKWAY PLACE

## EXISTING CONDITIONS (CONT.)

### PHYSICAL FEATURES



#9

(Existing treeline along Magnolia Trace to remain)



#11 (Existing street stub from Magnolia Trace )



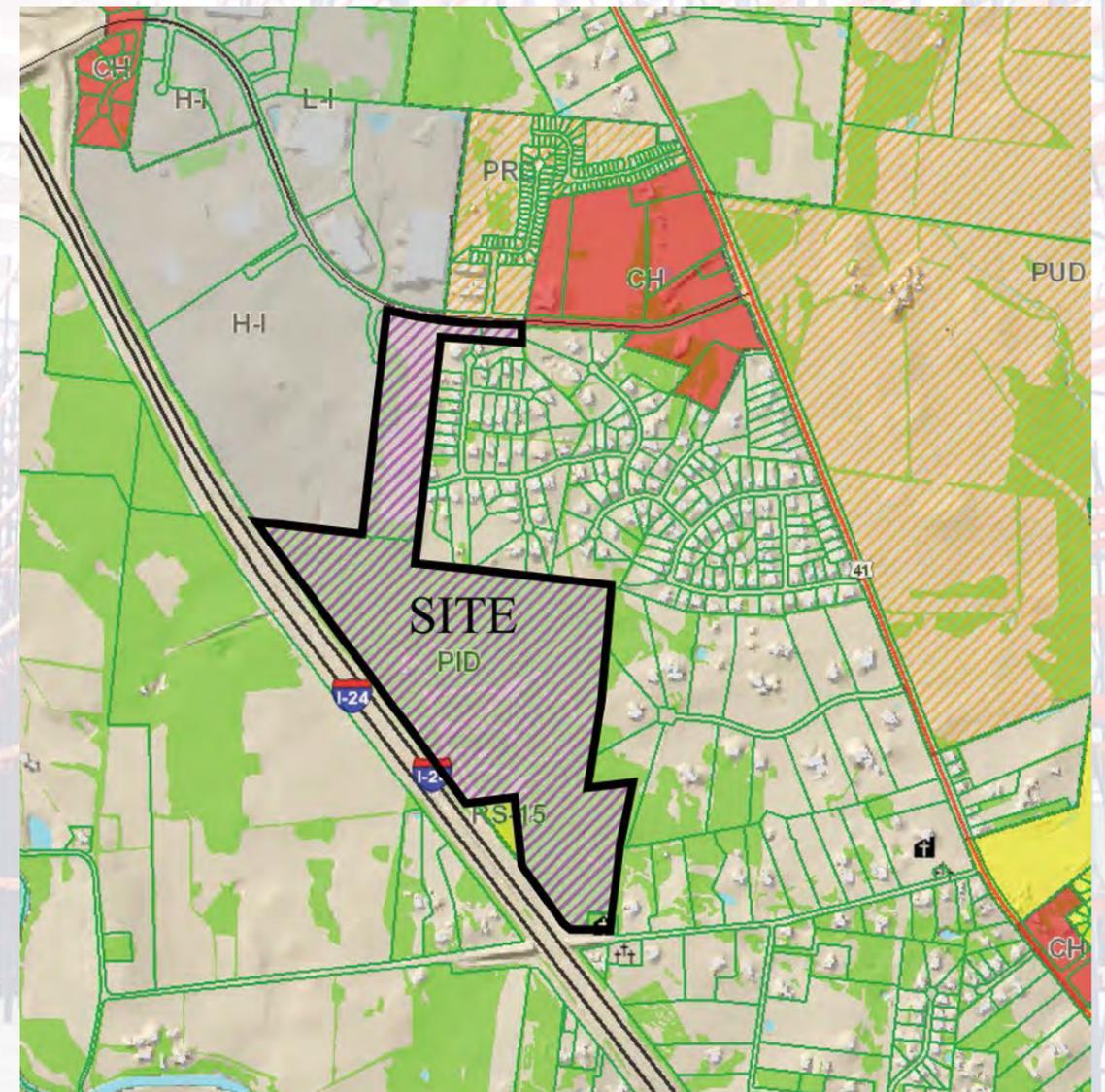
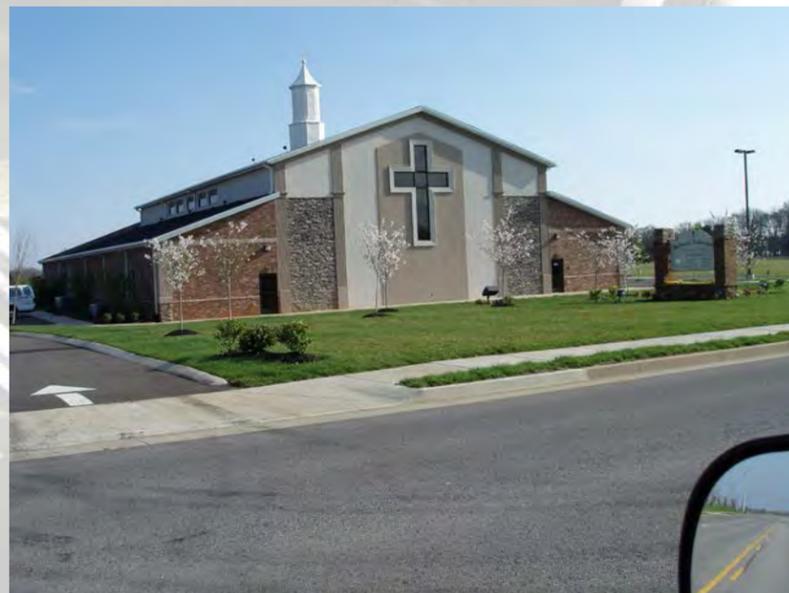
#10 (Existing buffer to remain)



## EXISTING CONDITIONS (CONT.)

### SURROUNDING USES AND ZONINGS

Surrounding zonings are made up of CH, LI, HI, RS-15, PRD, PUD, and RM (county).



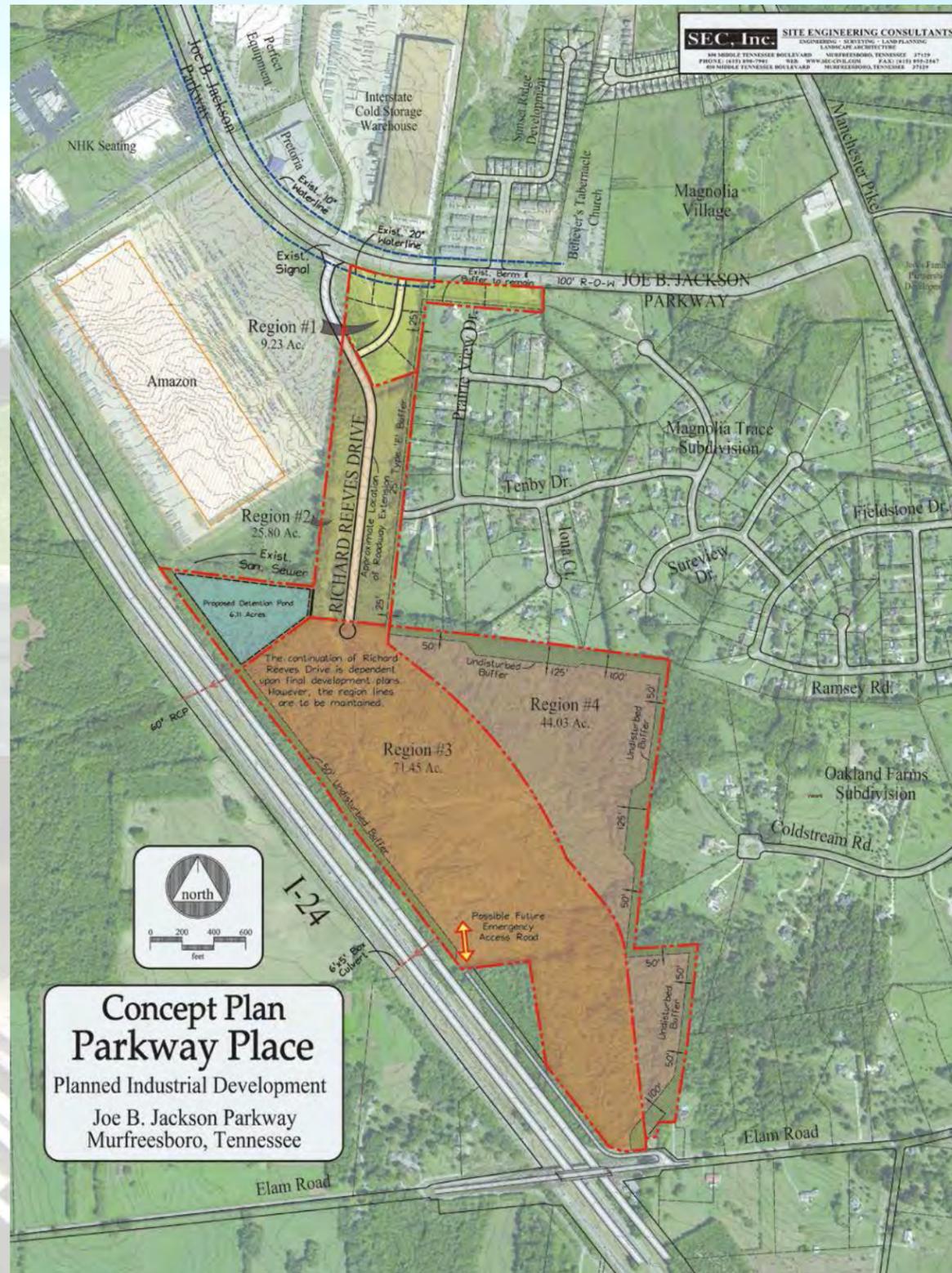
The Interstate Warehousing site is located directly north of the subject property on the opposite side of Joe B Jackson Parkway.



N.T.S.

# PARKWAY PLACE

## PROPOSED SITE

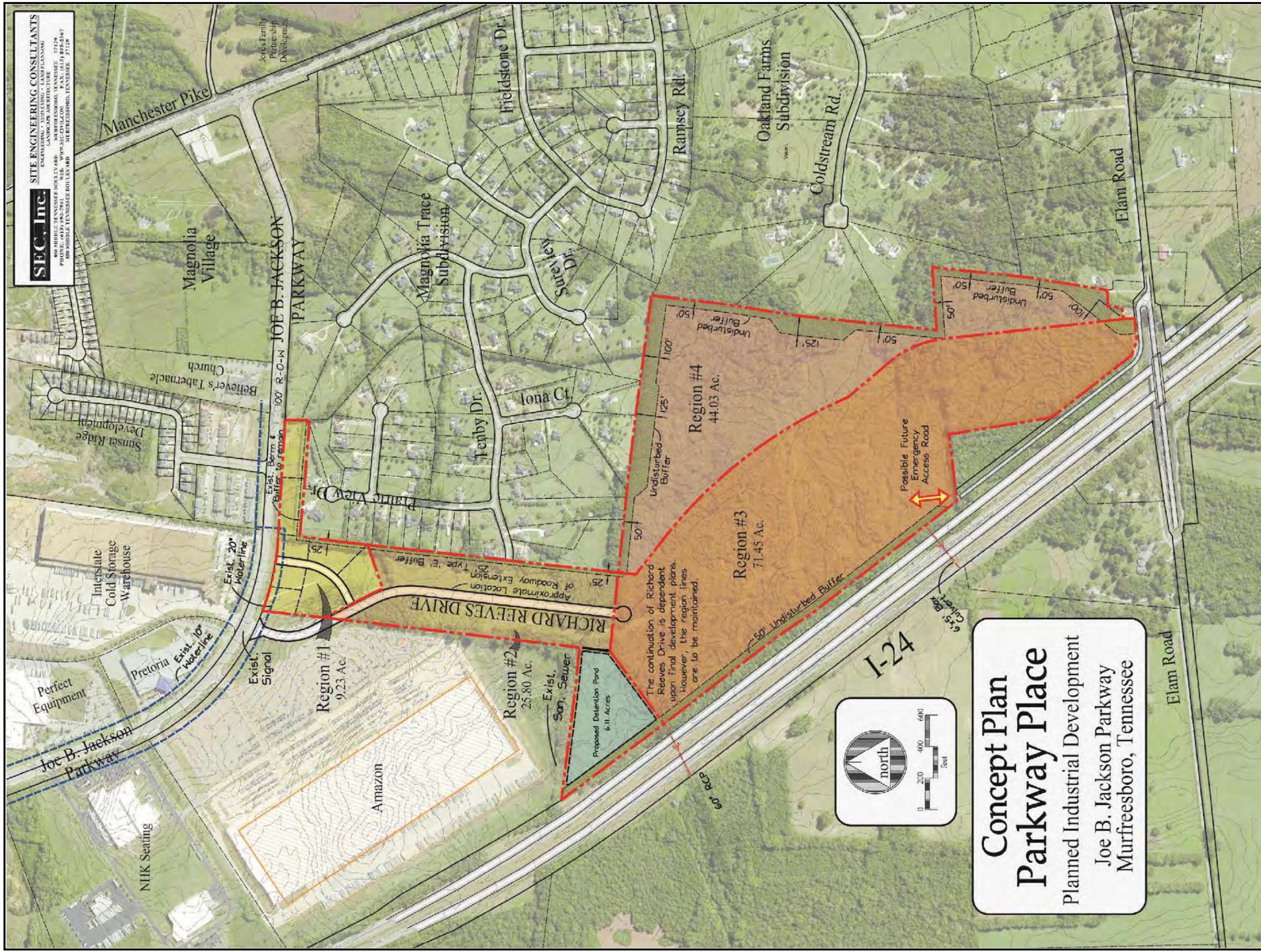


**N.T.S.**

## PROPOSED SITE REQUIREMENTS

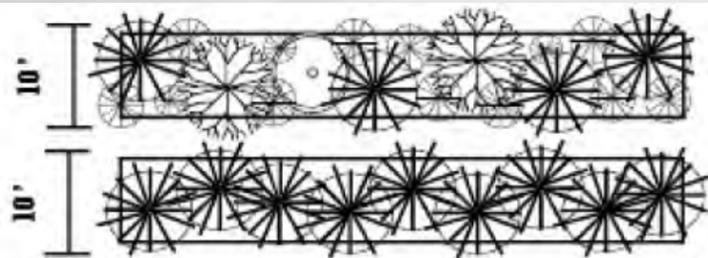
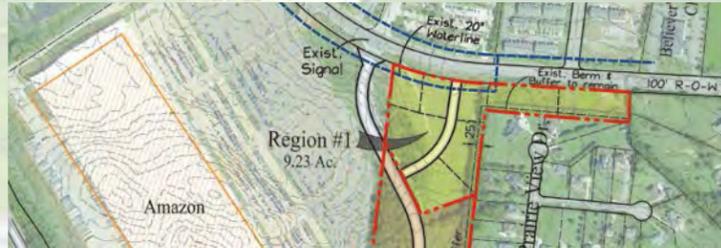
- Entire development consists of 150.5 acres broken into four (4) regions according to allowable uses and heights. The region lines have been shown on the plan to the left. These are not property lines.
- Undisturbed buffers have been called out on the plan. These areas are to remain in their present condition. The only exception to this will be if additional landscaping is added, however existing vegetation shall not be removed. At the time of development for each site located in Region #4, buffers shall meet the planting requirements equivalent to a Type 'E' Buffer from the City's landscape ordinance.
- The undisturbed buffers have been called out as 50 feet along the right-of-way of I-24, 50 feet minimum along the eastern and northern boundaries of Region #4 with certain "sensitive" areas enlarged.
- The eastern boundary of Region #1 & #2 has a 25 foot wide Type 'E' buffer and masonry wall called out. The existing tree and fence line in this location is to remain and to be supplemented with a landscaping buffer and a masonry wall that is to be a minimum of 8 feet tall.
- The southern boundary of Region #1 has an existing evergreen buffer that is to remain. Presently this buffer is a Type 'B' Buffer.
  - Only emergency access will be allowed on the frontage road located along the southern property line
- Lighting fixtures and lighting plan design will meet the City of Murfreesboro regulations in order to contain the light on-site and produce no glare.
  - Any and all mechanical units shall be located on the roof or in a mechanical yard screened by evergreen landscape plantings.
- Parking areas with more than 200 spaces will be broken into sub-lots by the utilization of landscape strips at least 20 feet in width.
  - All parking will be screened from right-of-ways by use of trees, shrubs and/or low landscape mounds.
    - Sites shall utilize curb & gutter throughout, no extruded curb will be accepted.
    - Adequate room for truck turning movements at any loading areas should be provided.
- All entry points into sites as well as the parking areas are to be adequately planned to allow for proper turning and maneuvering movements. If truck parking is anticipated, then truck sized parking spaces shall be allocated in the design. Normal spaces for passenger vehicle will not be used for this purpose.
- No truck parking areas shall be allowed between any proposed building and the northern and eastern property lines of Region #4.
- Any truck docks located in Region #1, 3, or 4 shall be oriented away from the neighboring residential neighborhood. Also, truck dock areas shall be screened from public right-of-ways.
- Signage will comply with City of Murfreesboro's sign ordinance pursuant to its requirements for a Planned Industrial Development (PID) and will be cohesive with the architectural character of each site while being complemented by landscaping.
  - All utilities shall be underground. This applies for both public infrastructure as well as on-site.
  - Stormwater management areas should be screened from view if not being aesthetically enhanced
- Foundation plantings shall be utilized along the fronts of buildings. Truck dock areas are exempt from this requirement.
  - Building Height Restrictions (maximum) shall be as such:
    - Region #1 = 35 feet
    - Region #2 = 25 feet
    - Region #3 = 75 feet
    - Region #4 = 45 feet

**SEC, Inc.**  
 SITE ENGINEERING CONSULTANTS  
 ENGINEERING, SURVEYING & LAND PLANNING  
 856 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129  
 PHONE: (615) 880-7901 WEB: WWW.SECCONSULTANTS.COM FAX: (615) 888-2847  
 809 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129



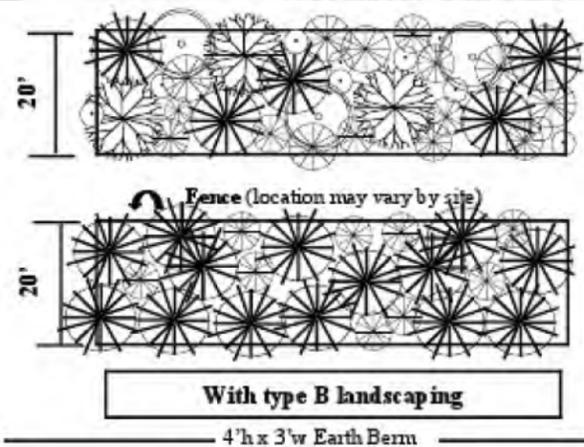
1"=600'

# LANDSCAPE REQUIREMENTS



**Type B**

North Up  
N.T.S.



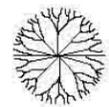
**Type E**

With type B landscaping

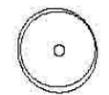
4'h x 3'w Earth Berm

**Type E**

**Type E**



**Shade Tree:** A large tree growing to over 40' in height at maturity, usually deciduous, that is planted to provide canopy cover shade. **Minimum 2 1/2 – 3 inch caliper at planting**



**Ornamental Tree:** A small to medium tree, growing 15' to 40' in height at a maturity, that is planted for aesthetic purposes such as colorful flowers, interesting bark, or fall foliage. **Minimum 1 1/2 inch caliper at planting**



**Evergreen Tree:** A tree having foliage that remains green throughout the year, that is planted for aesthetic or screening purposes. **Minimum 6 ft ht. at planting**



**Large Shrub:** An upright plant growing 10' to 20' in height at maturity that is planted for ornamental or screening purposes. **Minimum 3 ft. ht. at planting**



**Medium Shrub:** A plant growing 5' to 10' in height at maturity that is planted for ornamental or screening purposes. **Minimum 2 ft. ht. at planting**



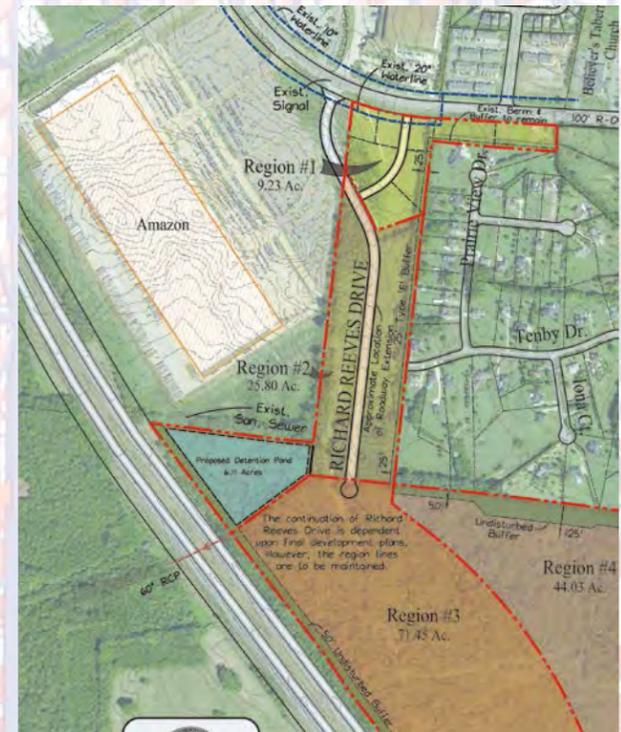
**Small Shrub:** A plant growing to less than 5' in height at maturity that is planted for ornamental or screening purposes. **Minimum 18 in. at planting**



**Evergreen Shrub:** A shrub having foliage that remains green throughout the year, that in this instance is planted for screening purposes.

# PARKWAY PLACE

- Shown to the left are some pictures of the existing buffer located along the southern buffer of Region #4. Presently this is a Type B Buffer.
- Shown to the right are some pictures of the existing tree line located along the eastern boundary of Region #2. These trees are to remain and be supplemented with a 25 foot wide landscape buffer with a masonry wall. This buffer shall meet the Type E requirements shown below and the masonry wall shall be at least 8 feet tall. In addition, any new evergreen trees planted shall be a minimum of 6 feet tall at the time of planting.



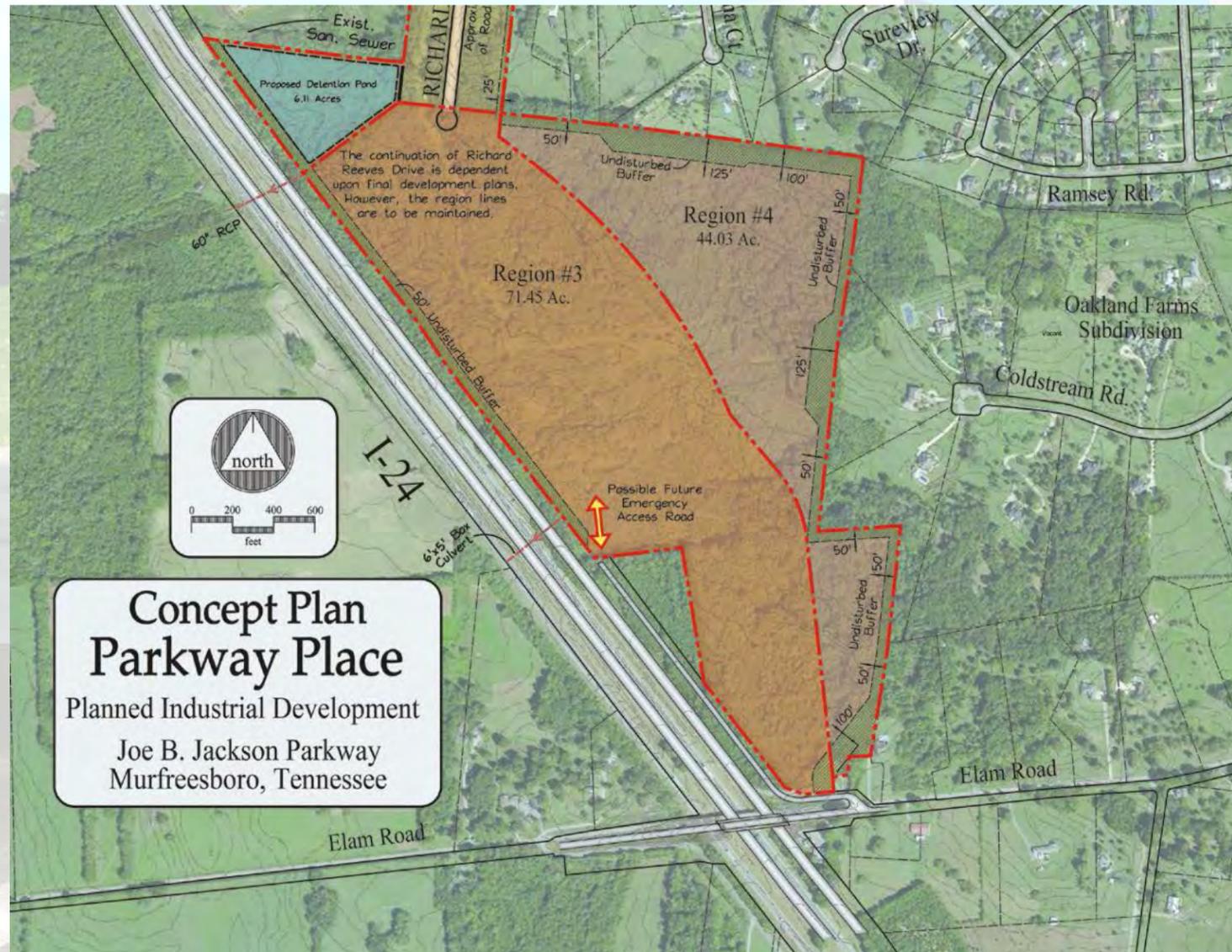
North Up  
N.T.S.



# PARKWAY PLACE

## LANDSCAPE REQUIREMENTS (cont)

➤ Shown to the left are Regions #3 & #4 with the previously mentioned undisturbed buffers shown. Also provided here are some pictures of the existing vegetation within these undisturbed areas. These areas are to remain completely undisturbed with no grading allowed in these areas. In addition, extra precautions shall be utilized during construction to make sure the existing vegetation is not harmed in these areas. The only disturbance of these areas that will be allowed is if additional landscaping is added to supplement the existing vegetation. At the time of development for each site located in Region #4, these buffers shall meet the planting requirements equivalent to a Type E Buffer from the City's landscape ordinance.

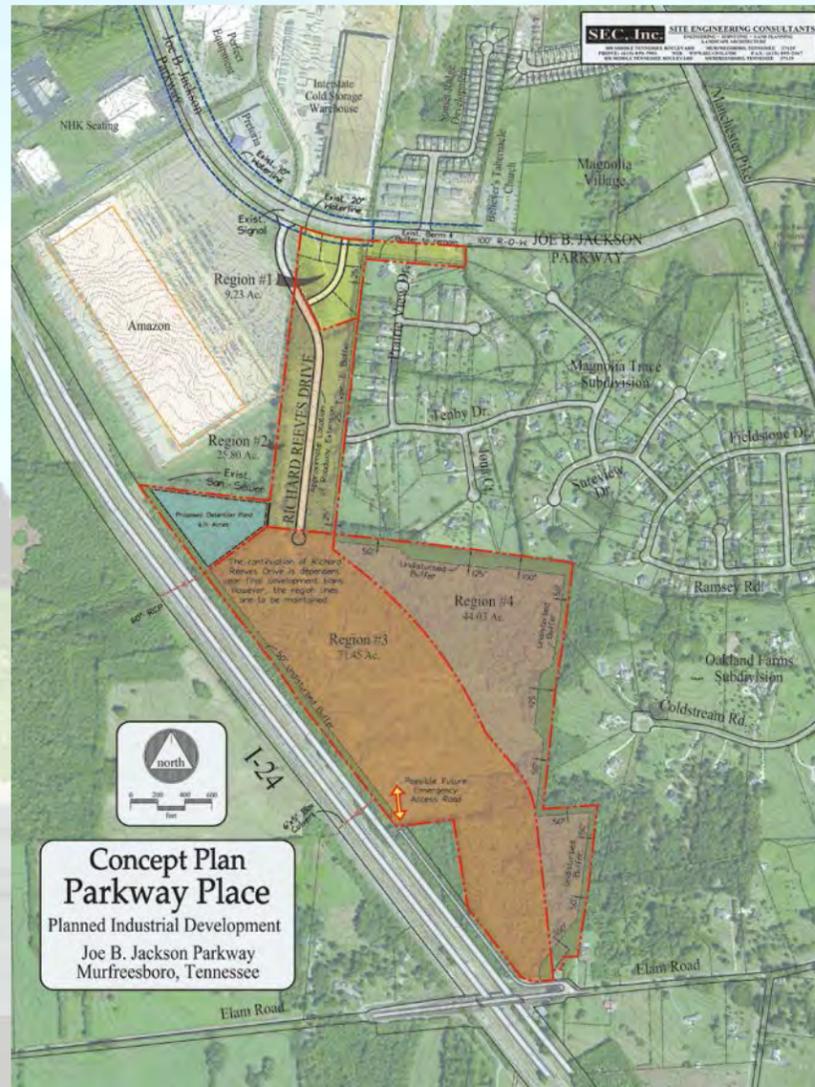


➤ These areas have been set aside to minimize any impact on the neighboring properties. Several items were considered with these buffers and include:

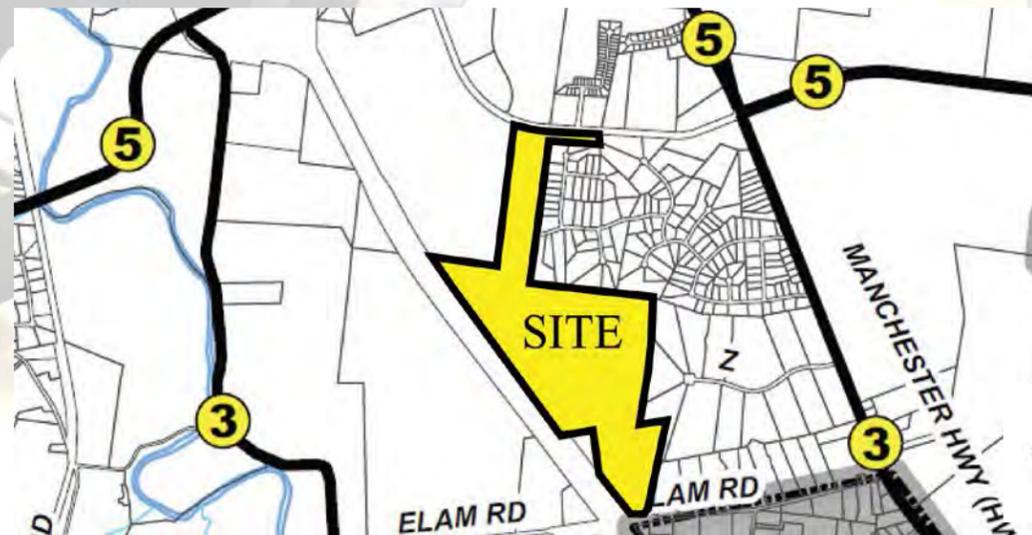
- 1.) Distance of existing residences to the shared property line
- 2.) Quality of existing foliage on each side of the shared property line

**NORTH UP  
N.T.S.**

# INGRESS/EGRESS



**NORTH UP**  
N.T.S.



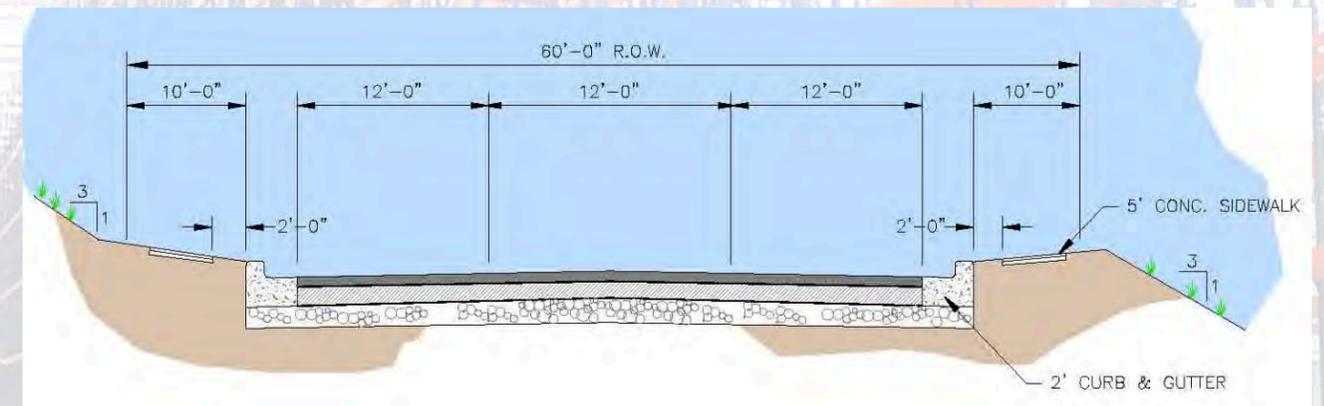
5 Lane Roadway 3 Lane Roadway

# PARKWAY PLACE

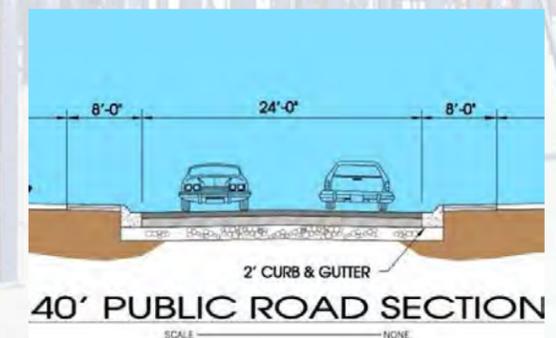
Parkway Place has been planned to have its main access off of Joe B Jackson Parkway via two roadways. The first will be extending Richard Reeves Drive, a public road, through the center of Region #2 and down to Regions #3 & #4. A temporary cul-de-sac will terminate the new roadway when it enters Region #3. Richard Reeves Drive will eventually be extended to serve Regions #3 & #4 when those areas are developed in the future. The road is planned to have a 60 foot right-of-way with a 3-lane cross section. The typical section is shown below. The second access off of Joe B Jackson Parkway will be a new public 40 foot right-of-way that will bisect Region 1 and provide another link to Richard Reeves Drive. This new roadway provide access to new lots in Region #1.

While these internal roads will serve the development itself, the surrounding area has several roads that are planned to be improved or have recently been constructed which will accommodate the traffic volume for this area. Interstate 24 is conveniently located and accessed by the interchange located to the northwest of this site. In addition to Interstate 24, Murfreesboro's Major Thoroughfare Plan (MMTP) calls for Manchester Highway to be widened to 5 lanes on the north side of Joe B Jackson Parkway and widened to 3 lanes on the south side of Joe B Jackson Parkway. The MMTP also calls for The Joe B Jackson Parkway to be extension to the west with a 5-lane cross section was recently completed. The 5 lane section transitions to a 3-lane section after it crosses over the river and the railroad tracks to the west of the Interstate 24 interchange. The completed MMTP roadway now extends all the way over to South Church Street next to the new Walmart.

In addition to adequate roadway infrastructure, the individual sites need to be planned adequately to provide truck turning movements. These need to be planned for at key locations like truck docks, truck parking areas, site entrances, and any internal turning movements. Internally to the site, all turning movements shall be carefully planned for to allow truck circulation through the sites.



60' PUBLIC ROAD SECTION



40' PUBLIC ROAD SECTION

# PROPOSED ARCHITECTURE REGION #2, 3, & 4

## Architectural Features

- The main entrances are to be well defined and easily recognizable by use of raised rooflines, canopies, glazing, change in materials, change in colors, and change in building planes
- Any enclosures (mechanical or trash) shall match the building architecture of that site through material, color, and character
- Truck docks shall be positioned to face away from the neighboring residential developments in Region #4 and screened from public right-of-ways in Regions #2, 3, & 4. In Region #2, a 25 feet wide Type 'E' buffer and 8 feet tall masonry wall shall screen the 'Incubator Industry' buildings from the neighboring residential developments.



Example of Building Entrance

## INTENT

It is intended that the proposed architectural styles, elements, colors and materials outlined in this section be approved only as an architectural guideline and sampling palate for final building designs. The Planning Commission shall have review authority and shall be allowed to provide input and influence for the final architectural building design for each site. This shall be done as part of the final site plan approval process.

Region #3 and 4 are anticipated to have mostly industrial uses and have been limited to those uses with this pattern book. Region #2 has allowable uses that fall into industrial uses as well as office and retail uses. Due to this reason, Region #2 has been included in both sets of architectural guidelines. However, the use of each site will dictate which set of guidelines apply.



Example of Building Entrance

## Building Materials

- Integrally Colored Split Face Block will be allowed
  - Tilt-up precast concrete wall will be allowed
- Dryvit will be allowed, but only in combination with other materials. No single elevation shall be all dryvit.
  - Brick will be allowed.
  - Textured metal will be allowed on the elevations
- No corrugated metal will be allowed on the elevations, however it will be allowed for the roofs
  - Stone will be allowed
  - Cast stone will be allowed
  - Asphalt shingles will be allowed
  - Glazing will be allowed
- Glass, aluminum, and stone cladding will be allowed

# PARKWAY PLACE



Example of Building Elevation

## Architectural Features

- If mechanical units are on the roof, and should be screened from view of any public rights-of-way
- Maximum height of building in Region #2=25 feet (*see pg. 15*)
- Maximum height of building in Region #3=75 feet (*see pg. 15*)
- Maximum height of building in Region #4=45 feet (*see pg. 15*)



Example of Building Elevation

# PROPOSED ARCHITECTURE REGION #1 & #2

## Architectural Features

- The main entrances are to be well defined and easily recognizable by use of raised rooflines, canopies, glazing, change in materials, change in colors, and change in building planes
- Any enclosures (mechanical or trash) shall match the building architecture of that site through material, color, and character
- Truck docks in Regions #1 & 2 shall be and screened from public right-of-ways. In Region #2, a 25 feet wide Type 'E' buffer and 8 feet tall masonry wall shall screen the 'Incubator Industry' buildings from the neighboring residential developments
- Foundation Plantings shall be utilized at retail or office buildings
- Varying rooflines and multiple building planes shall be utilized on all office and retail buildings
- Multiple materials shall be utilized on every elevation of all office and retail buildings



Example of Retail Building

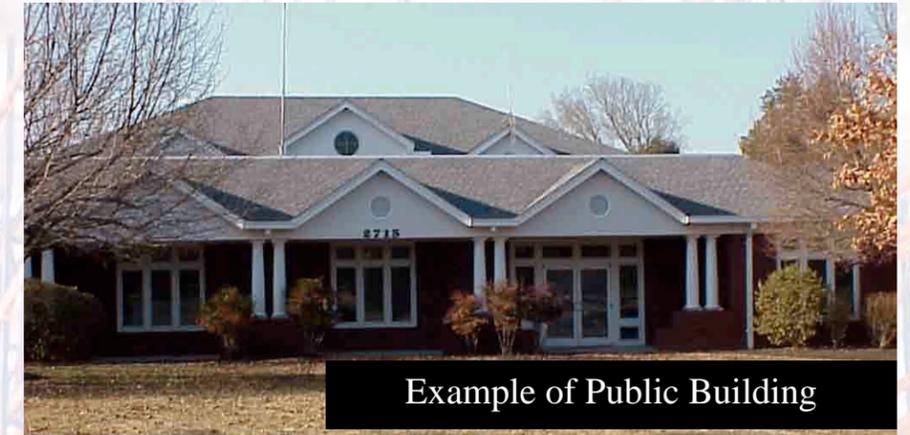
## Building Materials

- Integrally Colored Split Face Block will be allowed
  - Tilt-up precast concrete wall will be allowed
- Dryvit will be allowed, but only in combination with other materials. No single elevation shall be all dryvit
  - Brick will be allowed
  - Textured metal will be allowed on the elevations
- No corrugated metal will be allowed on the elevations, however it will be allowed for the roofs
  - Stone will be allowed
  - Cast stone will be allowed
  - Asphalt shingles will be allowed
    - Glazing will be allowed
    - Canopies will be allowed
- Glass, aluminum, and stone cladding will be allowed



Example of Retail Building

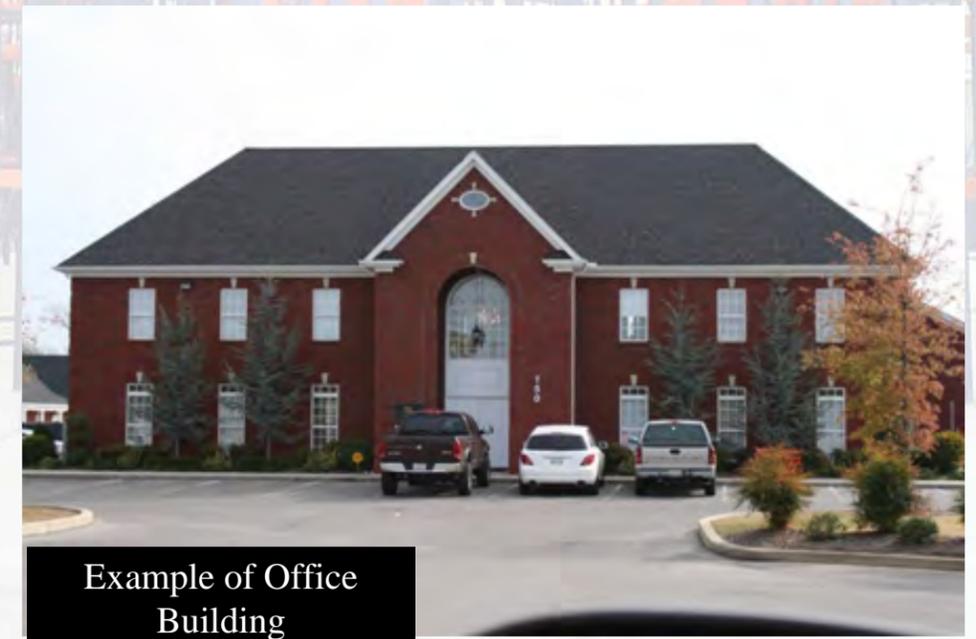
# PARKWAY PLACE



Example of Public Building

## Architectural Features

- If mechanical units are on the roof, then they should be screened from view
  - Maximum height of building in Region #1=35 feet & Region #2=25 feet (*see pg. 15*)
- All roll up doors shall be screened from public rights-of-way.



Example of Office Building

PROPOSED  
ARCHITECTURE  
REGION #2

PARKWAY PLACE



## PROPOSED ARCHITECTURE



### Building Heights

- Maximum height of building in Region #1=35 feet
- Maximum height of building in Region #2=25 feet
- Maximum height of building in Region #3=75 feet
- Maximum height of building in Region #4=45 feet

## PARKWAY PLACE

Included within this pattern book are restrictions that set the maximum height of the buildings as shown in the lower left hand corner of this page. These height restrictions were set to minimize impact on the neighboring properties. By keeping the previously mentioned undisturbed buffers in place which have tall mature hardwoods, the building height restriction will keep any of the residents from seeing a tall, imposing structure overlooking their homes. Again, these restrictions were based on the Regions depicted in this pattern book and the relationship between the residential homes and the proposed development; hence the reason Region #3 is the least restrictive.

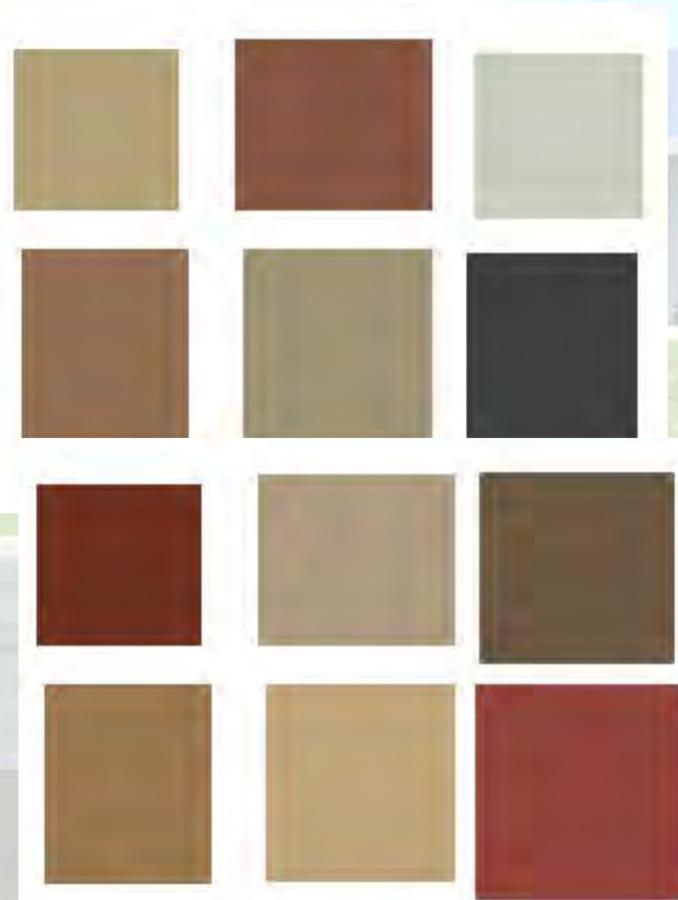
Provided to the left and below, are pictures of readily identifiable buildings in our community. For points of reference, the heights of these buildings have been measured and shown on the pictures. The heights were determined from field run survey measurements and not from the plans so they have been shown to the nearest foot only.



# PARKWAY PLACE

## PROPOSED ARCHITECTURE (cont.)

### Building Color Palette Primary Colors



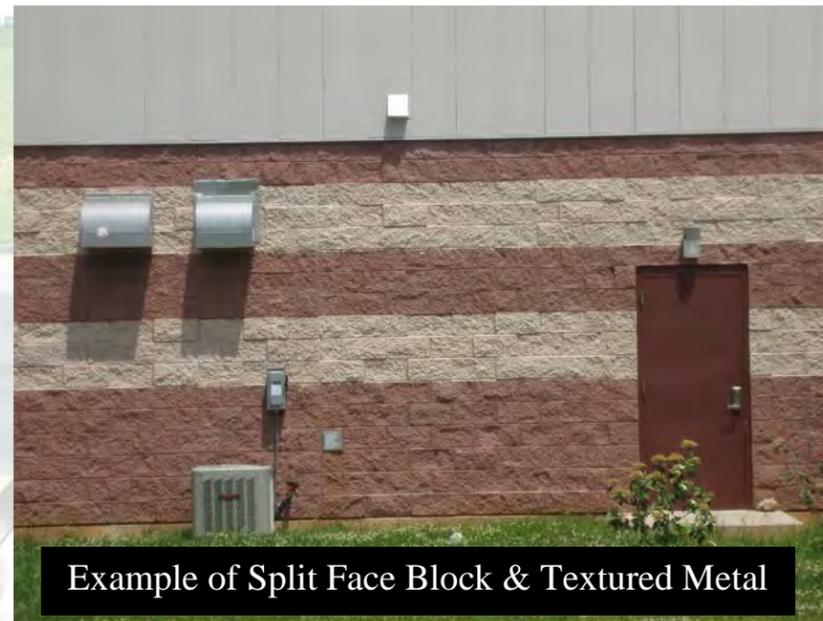
Example of Brick



Example of Cast Stone



Example of Stone Veneer



Example of Split Face Block & Textured Metal



### Building Color Palette Accent Colors



Example of Tilt-up Concrete

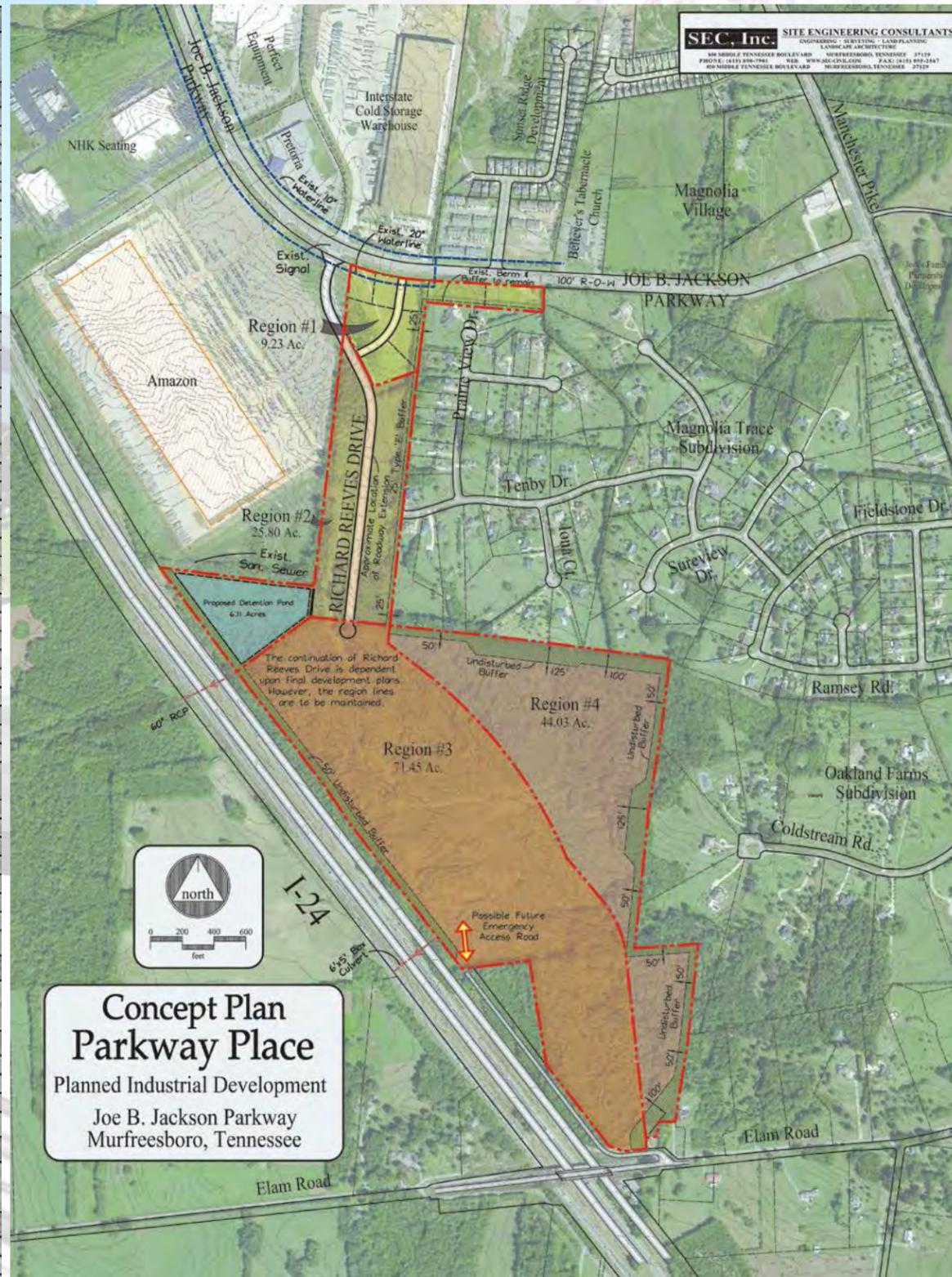


# PROPOSED ALLOWABLE USES

# PARKWAY PLACE

USES PERMITTED	ZONES			
	Region 1	Region 2	Region 3	Region 4
<b>COMMERCIAL</b>				
Amusements, Commercial Indoor		X	X	
Animal Grooming Facility	X	X	X	
Antique Mall		X		
Antique Shop <3,000 sq. ft.	X	X	X	
Apothecaries (pharmaceuticals only)	X			
Art or Photo Studio or Gallery	X	X	X	
Bakery, Retail	X			
Bank, Branch Office	X			
Bank, Drive-Up Electronic Teller	X			
Bank, Main Office	X			
Barber or Beauty Shop	X	X		
Boat Rental, Sales, or Repair			X	
Book or Card Shop	X			
Business School	X	X	X	
Business and Communication Service		X	X	X
Catering Establishment		X	X	X
Clothing Store	X			
Commercial Center	X			
Convenience Sales and Service, maximum 5,000 sq. ft. floor area	X			
Delicatessen	X			
Department or Discount Store		X		
Dry Cleaning	X	X		
Financial Service (Check Cash)	X	X		
Fireworks Retailer		X	X	
Fireworks Seasonal Retailer		X	X	
Flower or Plant Store	X	X	X	
Funeral Home	X			
General Service and Repair Shop		X	X	
Glass—Auto, Plate, and Window		X	X	X
Glass—Stained and Leaded	X	X		
Group Assembly, <250 persons		X	X	
Health Club	X	X	X	X
Interior Decorator	X	X		
Iron Work		X		
Janitorial Service		X		
Karate, Instruction	X	X		
Keys, Locksmith	X	X		
Laboratories, Medical		X		
Laboratories, Testing	X	X		
Lawn, Tree, and Garden Service		X		
Lumber, Building Material			X	
Music or Dancing Academy	X	X		
Offices	X	X	X	X
Optical Dispensaries	X	X		
Personal Service Establishment	X	X	X	X
Pet Shops	X			
Pharmacies	X			
Photo Finishing				
Radio, TV, or Recording Studio		X	X	
Reducing and Weight Control Service	X	X		
Restaurant and Carry-Out Restaurant	X			
Restaurant, Drive-In	X			
Restaurant, Specialty	X			
Restaurant, Specialty -Limited	X	X		
Retail Shop, other than enumerated elsewhere	X	X	X	X
Salvage and Surplus Merchandise		X	X	
Sheet Metal Shop		X	X	
Shopping Center, Community			X	
Shopping Center, Neighborhood			X	
Shopping Center, Regional			X	X
Specialty Shop	X	X		
Towing			X	
Veterinary Office	X	X		
Veterinary Clinic	X	X		
Vehicle Wash		X		
Warehousing, Transporting		X		
Wholesaling		X	X	

USES PERMITTED	ZONES			
	Region 1	Region 2	Region 3	Region 4
<b>INDUSTRIAL</b>				
<b>Manufacture, Storage, Distribution of:</b>				
Abrasive Products		X	X	X
Automobile Parts and Components Manufacture			X	X
Automobile Seats Manufacture			X	
Bakery Goods		X	X	X
Bottling Works			X	X
Brewery		X	X	X
Candy		X	X	X
Canned Goods			X	
Contractor's Storage, Indoor		X	X	X
Contractor's Yard or Storage, Outdoor			X	
Cosmetics			X	
Custom Wood Products		X	X	X
Electrical or Electronic Equipment, Appliances, and Instruments		X	X	
Fabricated Metal Products and Machinery			X	
Food and Beverage Products except animal slaughter, stockyards, rendering, and brewery			X	X
Furniture and Fixtures		X	X	X
Jewelry		X	X	X
Leather and Leather Products except tanning and finishing		X	X	X
Leather and Leather Products, Tanning and Finishing			X	
Lumber and Wood Products			X	
Metal or Rubber Stamps			X	
Musical Instruments			X	X
Novelties		X	X	X
Office/Art Supplies			X	X
Paints			X	
Paper Products excluding paper and pulp mills			X	
Pharmaceuticals			X	X
Photographic Film Manufacture			X	
Pottery, Figurines, and Ceramic Products		X	X	X
Primary Metal Distribution and Storage			X	
Primary Metal Manufacturing			X	
Printing and Publishing		X	X	X
Rubber and Plastic Products except rubber or plastic manufacture			X	
Silverware and Cutlery			X	X
Soap			X	
Sporting Goods			X	X
Stone, Clay, Glass, and Concrete Products			X	
Toiletries			X	
Toys		X	X	
Transportation Equipment			X	
<b>USES PERMITTED</b>				
	Region 1	Region 2	Region 3	Region 4
<b>INSTITUTIONS</b>				
Church		X		
Day-Care Center		X		
Public Building		X		
<b>USES PERMITTED</b>				
	Region 1	Region 2	Region 3	Region 4
<b>TRANSPORTATION AND PUBLIC UTILITIES</b>				
Post Office or Postal Facility		X	X	X
Telephone Service Center		X	X	X
<b>OTHER</b>				
Recycling center			X	
Self-Service Storage Facility			X	X
Warehouse		X	X	X
Wholesale Establishments		X	X	X



**Concept Plan Parkway Place**  
Planned Industrial Development  
Joe B. Jackson Parkway  
Murfreesboro, Tennessee

N.T.S.

The uses for the development were selected and restricted to help protect the existing residents and ensure a successful development. The less intense uses have been placed abutting the residential zones while the more intense uses will be buffered from the residential zones. In addition to considering the abutting residential zones, the allowable uses of each Region inside the development were considered to ensure the long term success of the development itself. By maintaining appropriate uses within each Region, proper transitions between land uses will occur and keep activities restricted to certain areas therefore protecting each individual site itself as well as the entire development and surrounding region.

266,136 s.f.  
6.11 acres

AMAZON FULFILLMENT CENTER

REGION #2

REGION #1



EXISTING VEGETATION

PRAIRIE VIEW DR.

JOE B. JACKSON PARKWAY

North Up  
Scale: 1" = 200'

AMAZON FULFILLMENT CENTER

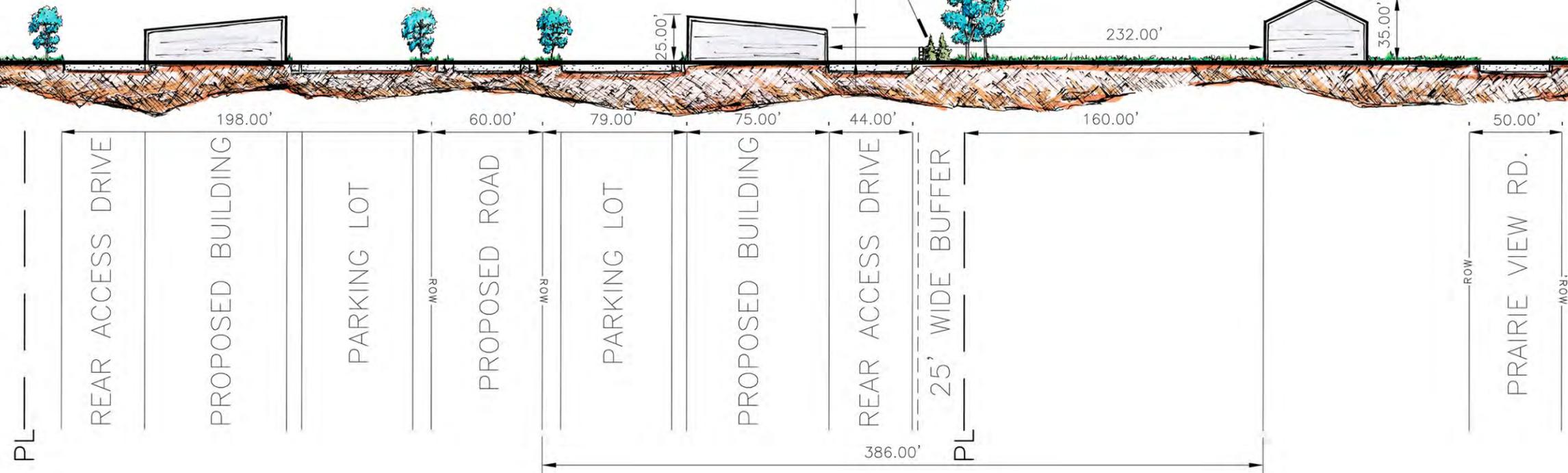
MAGNOLIA TRACE SUBDIVISION

PROPOSED 8' TALL WALL & BUFFER

EXISTING TREELINE

A1

A2



AMAZON FULFILLMENT CENTER

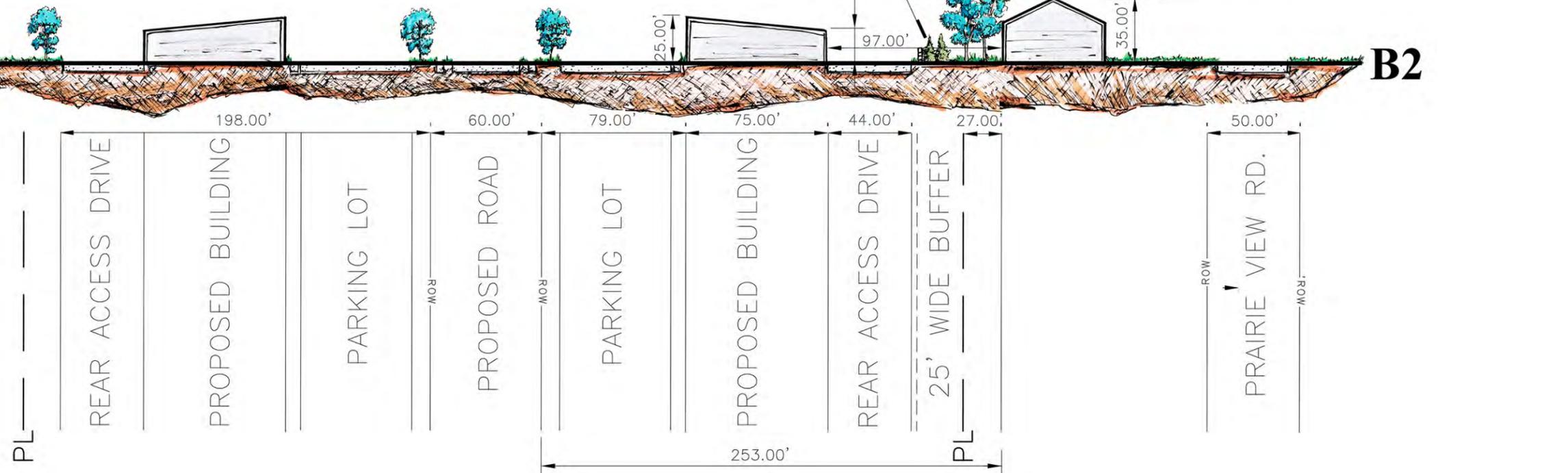
MAGNOLIA TRACE SUBDIVISION

PROPOSED 8' TALL WALL & BUFFER

EXISTING TREELINE

B1

B2



# PROPOSED SITE

## ZONING CHAPTER 13: SUBSECTION D ITEM 2B

1.) A MAP SHOWING AVAILABLE UTILITIES, EASEMENTS, ROADWAYS, RAIL LINES AND PUBLIC RIGHT-OF-WAY CROSSING AND ADJACENT TO THE SUBJECT PROPERTY.

**RESPONSE: AN EXHIBIT IS GIVEN ON PAGE 2 ALONG WITH DESCRIPTIONS OF EACH.**

2.) A GRAPHIC RENDERING OF THE EXISTING CONDITIONS AND/OR AERIAL PHOTOGRAPH(S) SHOWING THE EXISTING CONDITIONS AND DEPICTING ALL SIGNIFICANT NATURAL TOPOGRAPHICAL AND PHYSICAL FEATURES OF THE SUBJECT PROPERTY; LOCATION AND EXTENT OF WATER COURSES, WETLANDS, FLOODWAYS, AND FLOODPLAINS ON OR WITHIN ONE HUNDRED (100) FEET OF THE SUBJECT PROPERTY; EXISTING DRAINAGE PATTERNS; LOCATION AND EXTENT OF TREE COVER; AND COMMUNITY GREENWAYS AND BICYCLE PATHS AND ROUTES IN PROXIMITY TO THE SUBJECT PROPERTY.

**RESPONSE: AN EXHIBIT IS GIVEN ON PAGES 1-5 THAT SHOWS THE EXISTING CONTOURS AND DRAINAGE PATTERNS ALONG WITH A GENERAL LAYOUT OF THE AREA. NO PORTION OF THE PROPERTY IS SUBJECT TO FLOODPLAINS OR FLOODWAYS.**

3.) A PLOT PLAN, AERIAL PHOTOGRAPH, OR COMBINATION THEREOF DEPICTING THE SUBJECT AND ADJOINING PROPERTIES INCLUDING THE LOCATION OF STRUCTURES ON-SITE AND WITHIN TWO HUNDRED (200) FEET OF THE SUBJECT PROPERTY AND THE IDENTIFICATION OF THE USE THEREOF.

**RESPONSE: EXHIBITS AND PHOTOGRAPHS ON PAGES 1, 3, 4, 5, 7, 8, 9, 10, 11, 17 GIVE THE LOCATION OF EXISTING STRUCTURES ON THE SUBJECT PROPERTY AND THE SURROUNDING PROPERTIES. AN EXHIBIT ON PAGE 6 GIVES THE ZONING OF THOSE SAME PROPERTIES.**

4.) A DRAWING DEFINING THE LOCATION AND AREA PROPOSED TO BE DEVELOPED FOR BUILDINGS AND PARKING; STANDARDS FOR PEDESTRIAN AND VEHICULAR CIRCULATION; THE PROPOSED POINTS OF INGRESS AND EGRESS TO THE DEVELOPMENT; THE PROVISION OF SPACES FOR LOADING; PROPOSED SCREENING TO BE MADE IN RELATION TO ABUTTING LAND USES AND ZONING DISTRICTS; AND THE EXTENT OF PROPOSED LANDSCAPING, PLANTING AND OTHER TREATMENT ADJACENT TO SURROUNDING PROPERTY.

**RESPONSE: PAGES 9-19 LISTS STANDARDS AND EXHIBITS SHOWING THE CONCEPT PLAN WHICH SHOWS EACH OF THESE ITEMS.**

5.) A CIRCULATION DIAGRAM INDICATING THE PROPOSED PRINCIPAL MOVEMENT OF VEHICLES, GOODS AND PEDESTRIAN WITHIN THE DEVELOPMENT TO AND FROM EXISTING THOROUGHFARE.

**RESPONSE: PAGES 11 & 18 DIAGRAM CIRCULATION THROUGH AND OUT OF THE DEVELOPMENT.**

6.) IF THE PLANNED DEVELOPMENT IS PROPOSED TO BE CONSTRUCTED IN STAGES OR UNITS DURING A PERIOD EXTENDING BEYOND A SINGLE CONSTRUCTION SEASON, A DEVELOPMENT SCHEDULE INDICATING:

**(AA) THE APPROXIMATE DATE WHEN CONSTRUCTION OF THE PROJECT CAN BE EXPECTED TO BEGIN; RESPONSE: APPROXIMATELY 120 DAYS AFTER REZONING IS COMPLETED.**

**(BB) THE ORDER IN WHICH THE PHASES OF THE PROJECT WILL BE BUILT; RESPONSE: REGIONS 1 & 2 WILL BE DEVELOPED FIRST. REGIONS 3 & 4 ARE UNKNOWN AT THIS TIME.**

**(CC) THE MINIMUM AREA AND THE APPROXIMATE LOCATION OF COMMON SPACE AND PUBLIC IMPROVEMENTS THAT WILL BE REQUIRED AT EACH STAGE; RESPONSE: TO BE DETERMINED WITH CONSTRUCTION PLANS DUE TO UNKNOWN USES AT THIS TIME.**

7.) A WRITTEN STATEMENT GENERALLY DESCRIBING THE RELATIONSHIP OF THE PROPOSED PLANNED DEVELOPMENT TO THE CURRENT POLICIES AND PLANS OF THE CITY AND HOW THE PROPOSED PLANNED DEVELOPMENT IS TO BE DESIGNED, ARRANGED AND OPERATED IN ORDER TO PERMIT THE DEVELOPMENT AND USE OF NEIGHBORING PROPERTY IN ACCORDANCE WITH THE APPLICABLE REGULATIONS OF THIS ARTICLE.

**RESPONSE: THE PROPERTY IS CURRENTLY ZONED PID. THE CONCEPT PLAN AND DEVELOPMENT STANDARDS COMBINED WITH THE ARCHITECTURAL REQUIREMENTS ARE SHOWN WITHIN THIS BOOKLET. SEE PAGE 17 FOR THE PROPOSED ALLOWABLE USES. THE DEVELOPMENT VISION STATEMENT IS LOCATED ON PAGE 1.**

# PROPOSED SITE

## ZONING CHAPTER 13: SUBSECTION D ITEM 2B

8.) A STATEMENT SETTING FORTH IN DETAIL EITHER (1) THE EXCEPTIONS WHICH ARE REQUIRED FROM THE ZONING AND SUBDIVISION REGULATIONS OTHERWISE APPLICABLE TO THE PROPERTY TO PERMIT THE DEVELOPMENT OF THE PROPOSED PLANNED DEVELOPMENT OR (2) THE BULK, USE, AND/OR OTHER REGULATIONS UNDER WHICH THE PLANNED DEVELOPMENT IS PROPOSED.

**RESPONSE: PROPOSED SITE REQUIREMENTS ARE DISCUSSED ON PAGE 7.**

9.) A TABULATION OF THE MAXIMUM FLOOR AREA PROPOSED TO BE CONSTRUCTED, THE F.A.R. (FLOOR AREA RATIO), THE L.S.R. (LIVABILITY SPACE RATIO) AND THE O.S.R. (OPEN SPACE RATIO). THESE TABULATIONS ARE FOR THE PCD

**REGION #2 SITE CALCULATIONS**

TOTAL SITE AREA	796003
TOTAL MAXIMUM FLOOR AREA	177669
TOTAL LOT AREA	796003
TOTAL BUILDING COVERAGE	177669
TOTAL DRIVE/ PARKING AREA	482470
TOTAL RIGHT-OF-WAY	109818
TOTAL LIVABLE SPACE	135864
TOTAL OPEN SPACE	508516
FLOOR AREA RATIO (F.A.R.)	0.22
LIVABILITY SPACE RATIO (L.S.R.)	0.76
OPEN SPACE RATIO (O.S.R.)	2.86

10.) THE NATURE AND EXTENT OF ANY OVERLAY ZONE AS DESCRIBED IN SECTION 24 OF THIS ARTICLE AND ANY SPECIAL FLOOD HAZARD AREA AS DESCRIBED IN SECTION 34 OF THIS ARTICLE

**RESPONSE: THIS PROPERTY IS IN THE URBAN GROWTH BOUNDARY AND CITY LIMITS. NO PORTION OF THIS PROPERTY LIES WITHIN THE 100-YEAR FLOODPLAIN, ACCORDING TO THE CURRENT FEMA MAP PANEL.**

11.) THE LOCATION AND PROPOSED IMPROVEMENTS OF ANY STREET DEPICTED ON THE MURFREESBORO MAJOR THOROUGHFARE PLAN AS ADOPTED AND AS IT MAY BE AMENDED FROM TIME TO TIME.

**RESPONSE: PAGE 11 DISCUSSES THOROUGHFARES WITHIN THE DEVELOPMENT AS WELL AS THE CITY'S MAJOR THOROUGHFARE PLAN.**

12.) THE NAME, ADDRESS, TELEPHONE NUMBER, AND FACSIMILE NUMBER OF THE APPLICANT AND ANY PROFESSIONAL ENGINEER, ARCHITECT, OR LAND PLANNER RETAINED BY THE APPLICANT TO ASSIST IN THE PREPARATION OF THE PLANNED DEVELOPMENT PLANS. A PRIMARY REPRESENTATIVE SHALL BE DESIGNATED.

**RESPONSE: THE PRIMARY REPRESENTATIVE IS ROB MOLCHAN OF SEC, INC.**

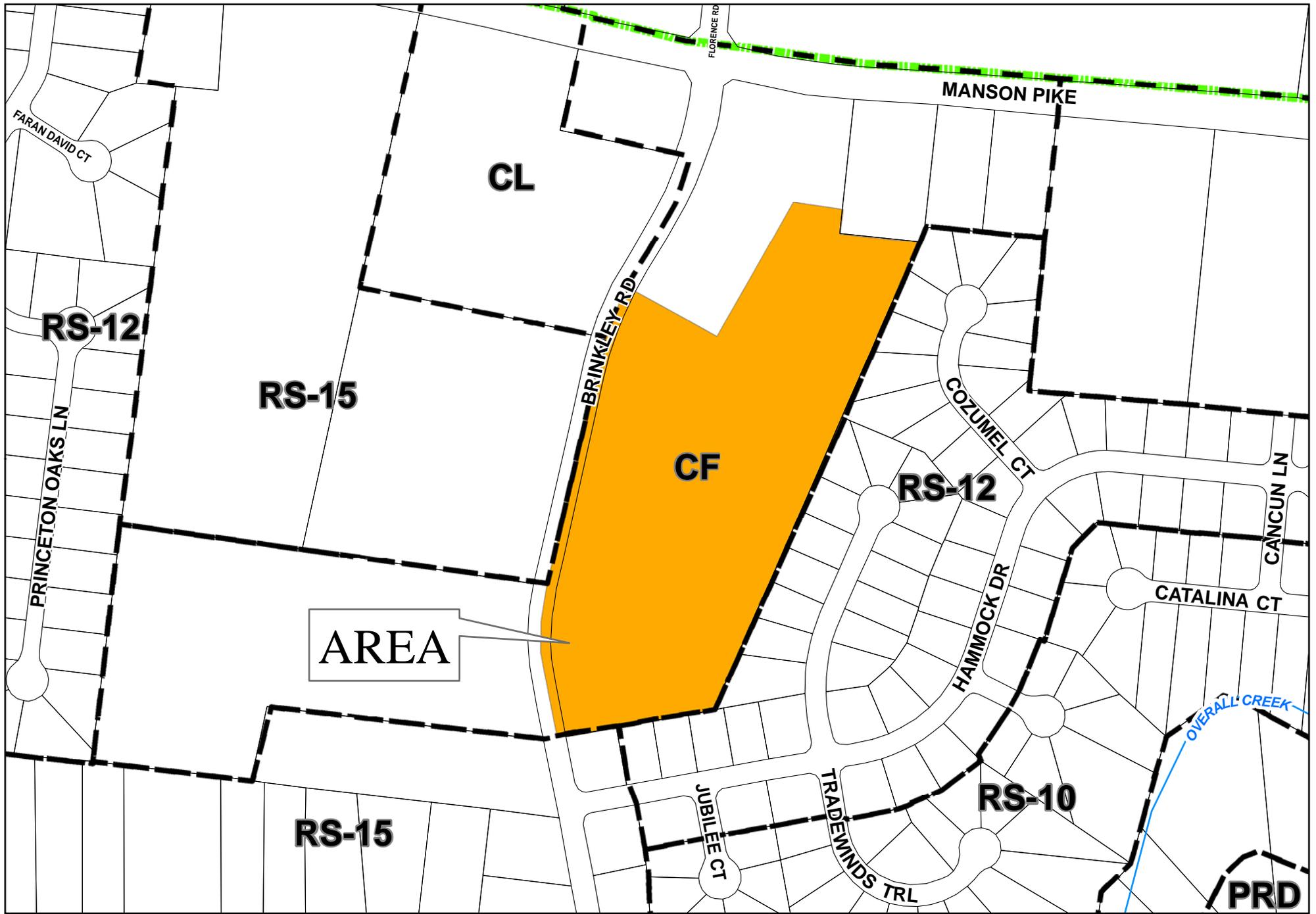
**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 13, 2016**

- 3.b. Zoning application [2016-425] for approximately 13.5 acres located along Brinkley Road to be rezoned from CF to PRD (Wilkerson Downs), Robert E. Frances & Jeffrey Gill applicant.**

The subject area consists of a portion of property located along the eastern side of Brinkley Road, and south of Manson Pike. The properties to the east are zoned RS-12 (Single-Family Residential) and is the developed Wilkerson Trace single-family subdivision. The properties to the north are zoned CF (Commercial Fringe District). Brinkley Road runs along the western boundary of the property. Just across Brinkley Road are properties zoned CF (proposed self-storage facility) and RS-15 (undeveloped).

The proposed PRD is to allow 110 multi-family dwelling units on 13.5 acres, for a density of 8.1 d.u./acre. The rear of the units are proposed to face Brinkley Road, so it will need to be appropriately bermed, landscaped and fenced. The proposed units are very similar to the townhomes currently located within the Puckett Creek Crossing development. The units proposed in the Wilkerson Downs will have fiber cement board siding, not vinyl.

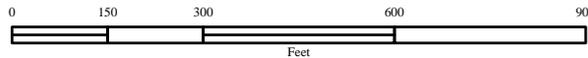
A copy of the program book has been included in the agenda materials. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



### Rezoning Request for Property Along Brinkley Road from CF to PRD



Path: G:\planning\rezon\WilkersonDownsCF\_PRD.mxd



GIS Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
www.murfreesborotn.gov

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# Wilkerson Downs

A Planned Residential Development

**SUBMITTED TO MURFREESBORO PLANNING DEPARTMENT**  
**June 30, 2016.**

Plans Prepared By:



2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

# Sheet Index

1. SHEET INDEX
2. PROJECT INTRODUCTION & DEVELOPER PROFILE
3. PROJECT SUMMARY
4. AERIAL AND SITE LOCATION
5. UTILITY MAP
6. ADJACENT ZONING
7. EXISTING CONDITIONS
8. EXISTING CONDITIONS
9. MAJOR THOROUGHFARE PLAN
10. SITE PLAN
11. ARCHITECTURAL ELEVATIONS
12. ARCHITECTURAL FLOOR PLANS
13. ARCHITECTURAL FLOOR PLANS
14. CONCEPTUAL LANDSCAPE PLAN
15. BRINKLEY ROAD LANDSCAPING
16. PHASING PLAN
17. STANDARD ZONING VERSES PRD COMPARISON
18. AMENITIES
19. PLANNED DEVELOPMENT CRITERIA

# Project Introduction & Developer Profile

## Project Introduction

The City of Murfreesboro is expanding at a growth rate well above the national average. The Blackman Community is considered one of the epicenters of this growth. Wilkerson Downs is a new planned residential development located at the intersection of Manson Pike and Brinkley Road within the Blackman community. Over 100 new homes are planned for the 13 acre site.

## Developer Profile

Since 1986, Ole South has been known for building the very best new home value in Middle Tennessee.

New homes built by Ole South can be found in the most convenient locations of Nashville, Murfreesboro, Smyrna, Gallatin, Fairview, Clarksville, and Spring Hill TN - close to major highways, neighborhood schools, recreation areas, and shopping.

Locally owned and operated, Ole South is consistently recognized among the Top 100 Home Builders in the nation by Builder Magazine and we are proud to call Middle Tennessee home. We are active in our local communities and proud to make a difference in the quality of life that Middle Tennessee has to offer.

### Developer Contact:

Dan Bobo  
(615) 210-2827  
Ole South Properties, Inc.  
262 Robert Rose Dr., Suite 300  
Murfreesboro, TN 37129



2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

# Project Summary

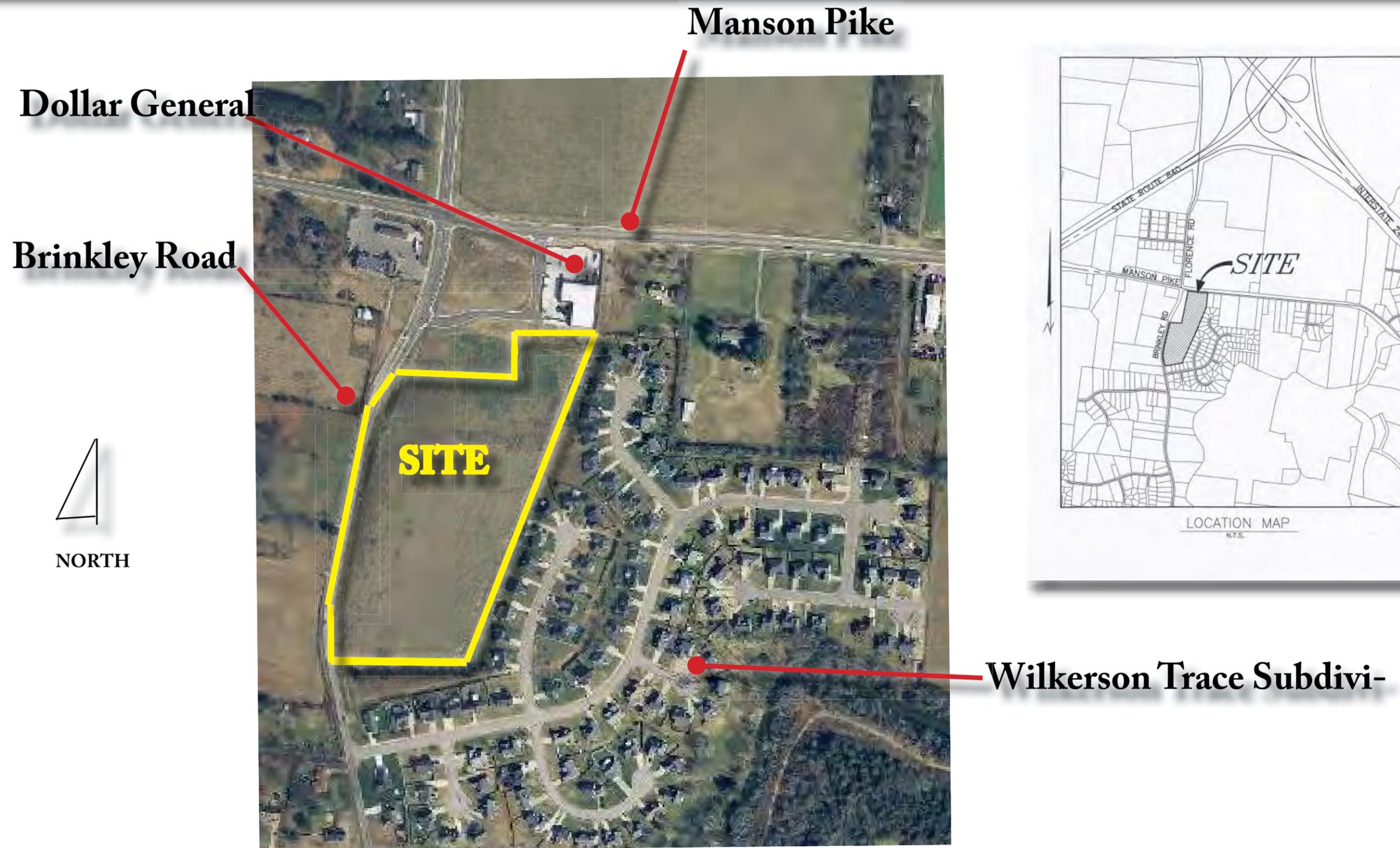
## Project Summary

Wilkerson Downs is a planned residential development consisting of 110 homes on a strategically located 13.47 acre site at the intersection of Brinkley Road and Manson Pike. Located within the Blackman community, the project offers an attached home with individual ownership and governed by an HOA.

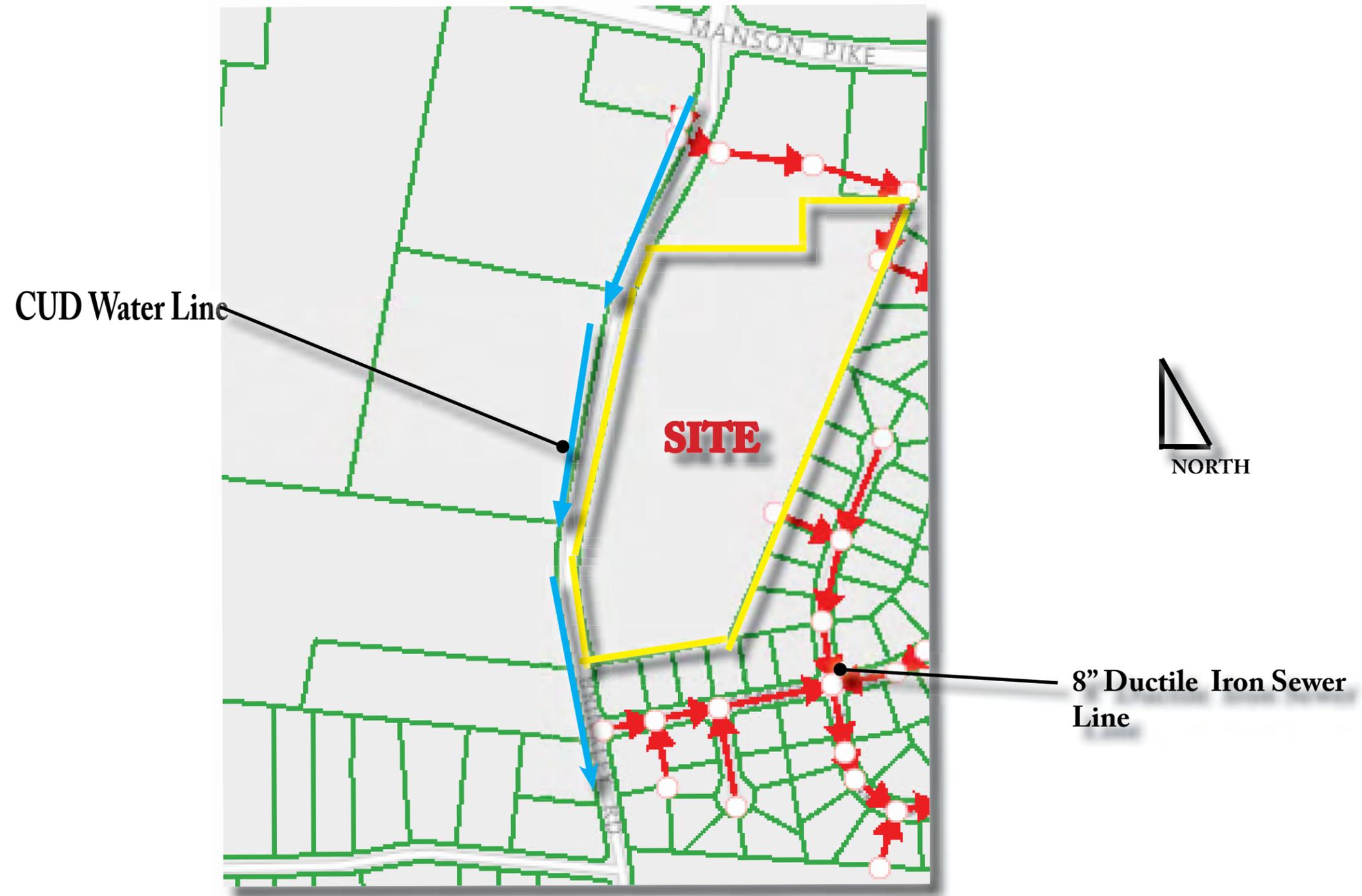
The homes will be divided with two and three bedrooms with one and two garage option. The homes have a craftsman style appearance. The homes are nicely detailed with decorative garage doors, craftsman style front doors, quaint front porches, and varying roof lines, with a combination of large and small gables, and dormers.

The project will have an amenity area with a pavilion which will provide the opportunity to meet your neighbors and for children to play together. The large amount of green space associated with the plan adds a feeling of spaciousness across the development.

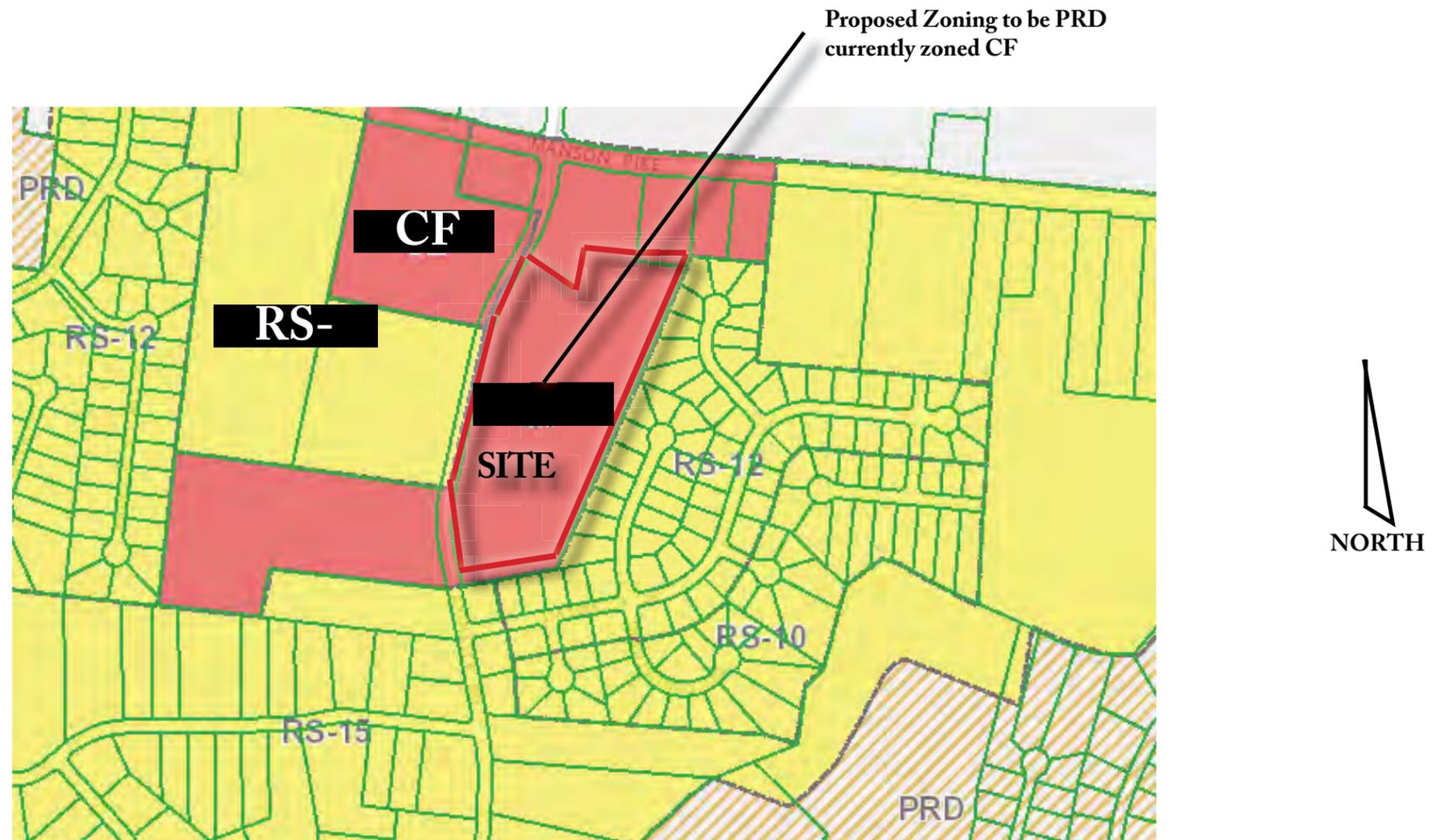
# Aerial & Site Location



# Utility Map



# Adjacent Zoning



**Adjacent Zoning**

The site is surrounded by the CF and the RS-12 zones. At the northeast corner of the site is the new Dollar General.

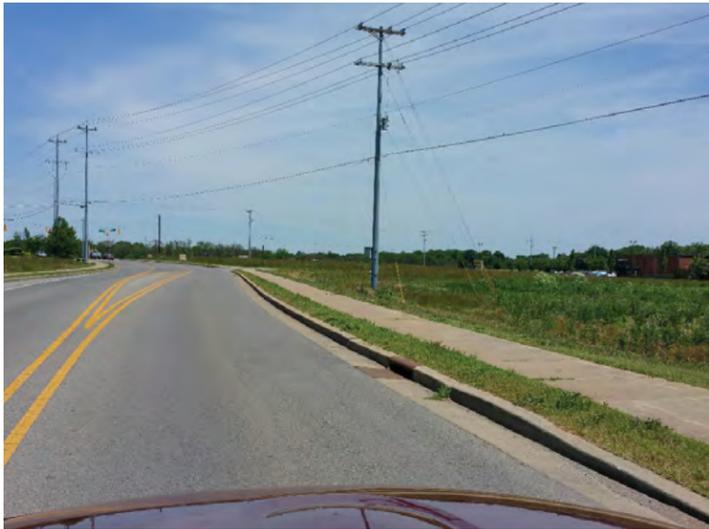
# Existing Conditions



Access road off Brinkley to north of site



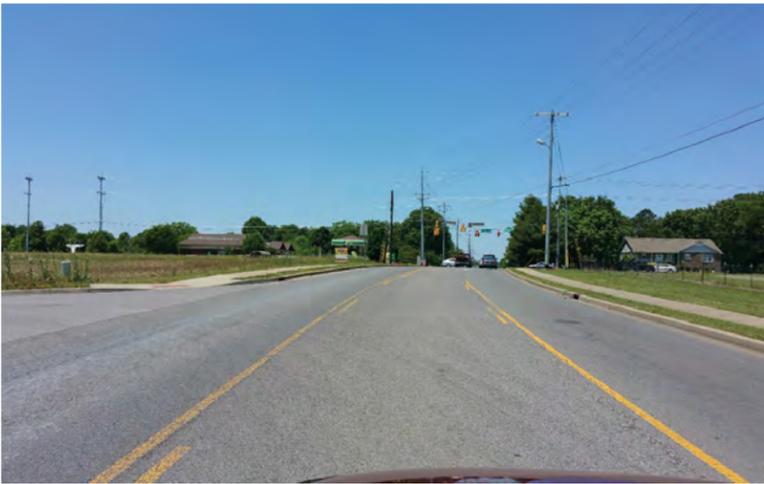
View across site from Brinkley looking east



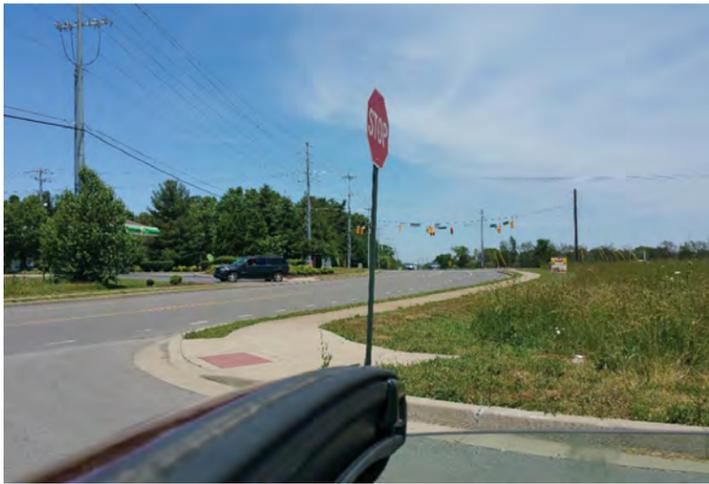
View looking northeast from Brinkley



View from access road looking southeast



View looking at intersection from Manson Pike



View looking north from access road to intersection

# Existing Conditions



View of property looking from the adjacent neighborhood



View of the Dollar General adjacent to site

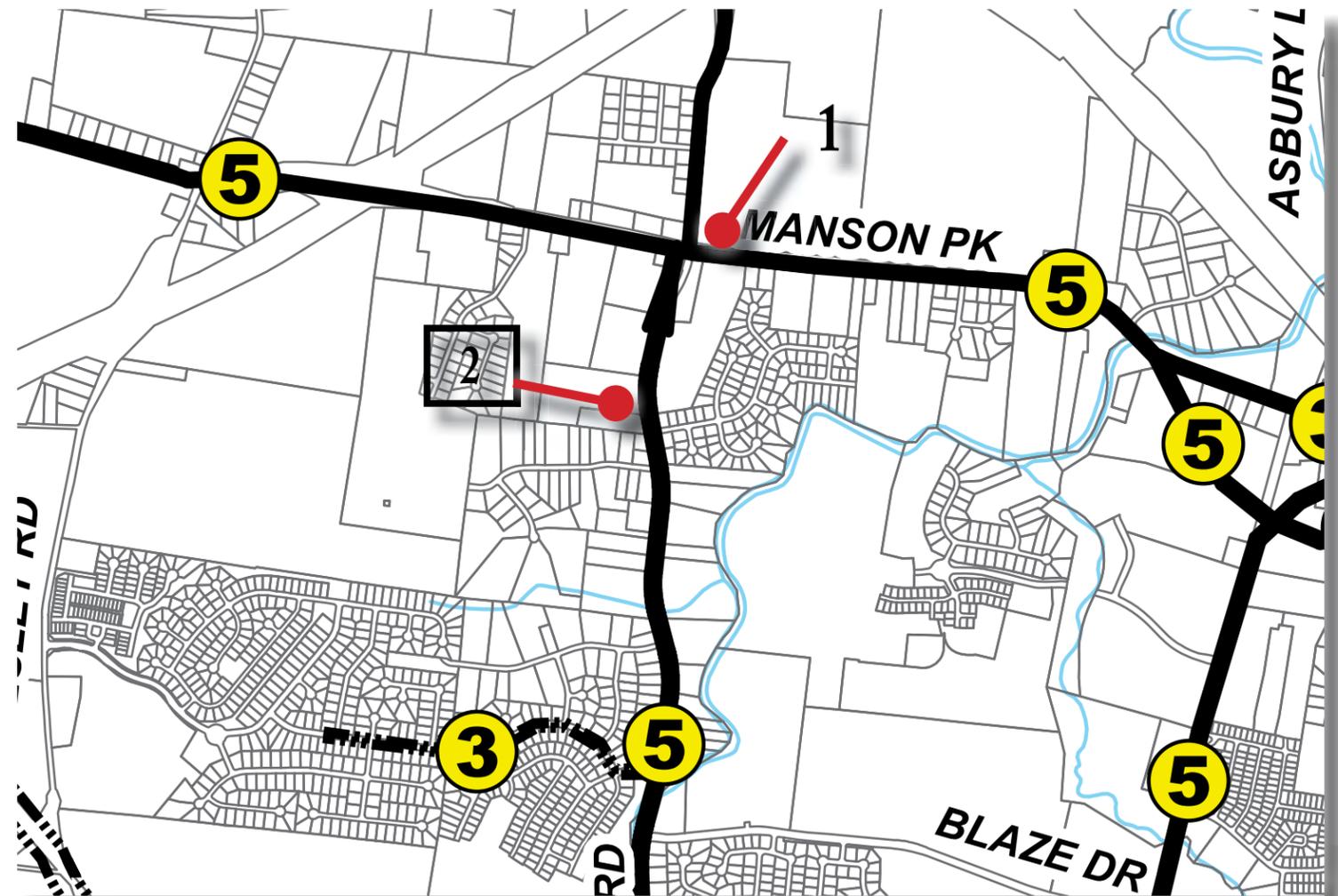
# Major Thoroughfare

TABLE

- 1. Manson Pike - Expanded to 5 lanes
- 2. Brinkley Road - Expanded to 5 lanes

All proposed lanes are identified on the 2025 Major Thoroughfare Plan

Note: R.O.W. will be donated for minor adjustments to Brinkley Road to match the latest version of the Brinkley Road plan.



# Site Plan

Proposed Total Impervious Area = 311,371 Sq. Ft.  
 Open Space Ratio: Open Space/Floor Area = 427,221 Sq. Ft./174,800 Sq. Ft. = 2.44  
 Floor Area Ratio: Floor Area / Cross land Area = 174,800 Sq. Ft./586,528 Sq. Ft. = 29.80%  
 Livability Space Ratio: Livability Space/ Floor Area = 275,157 Sq. Ft./ 174,800 Sq. Ft. = 1.57

Outparcel not in rezoning

Mail Kiosk

Entrance off of Brinkley

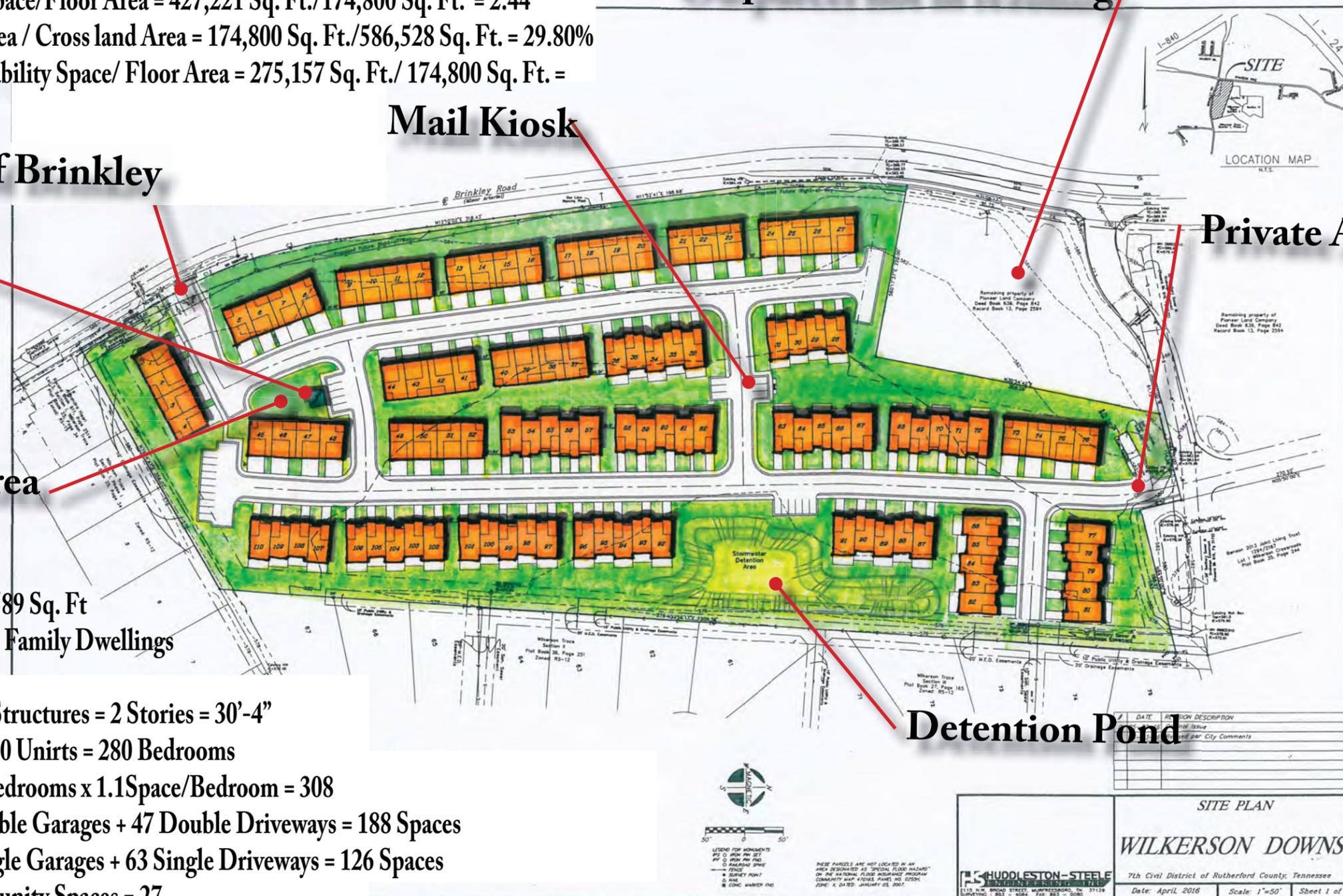
Pavilion

Private Access Road

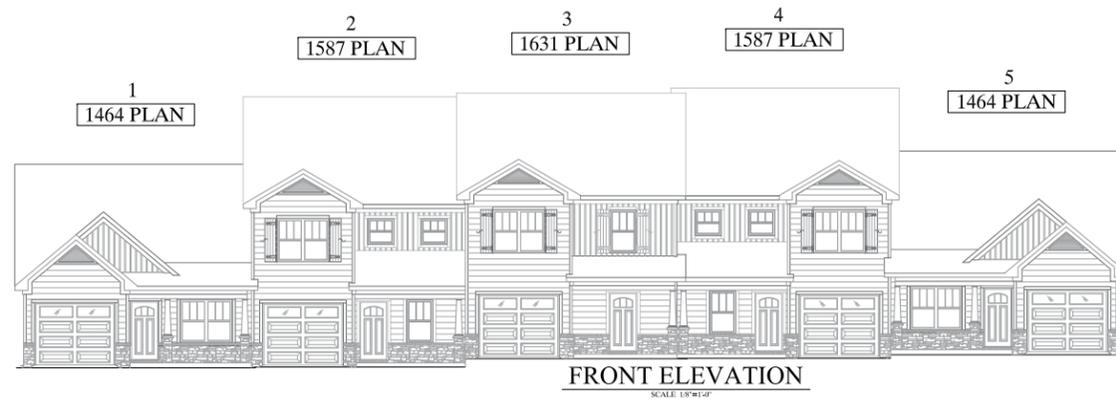
Amenity Area

Site Data:  
 Town Homes  
 Area=13.47 +/- Ac. = 586,589 Sq. Ft  
 Proposed Use = Multiple - Family Dwellings  
 Proposed Units = 110  
 Max Height of Proposed Structures = 2 Stories = 30'-4"  
 Number of Bedrooms = 110 Units = 280 Bedrooms  
 Parking Required = 280 Bedrooms x 1.1Space/Bedroom = 308  
 Parking Provided: 47 Double Garages + 47 Double Driveways = 188 Spaces  
 63 Single Garages + 63 Single Driveways = 126 Spaces  
 Community Spaces = 27

Total Spaces: 341



# Architectural Elevations



## Architectural Element

- Stone Veneer Foundations
- Hardie Board Lap Siding
- Hardie Board and Batten
- Varying Gable Roof Lines
- Decorative Shutters
- Alternating Front Porches
- Craftsman Style Front Doors



# Architectural Floor Plans

## Town Homes

Proposed Use = Multiple - Family Dwellings

Proposed Units = 110

Max Height of Proposed Structures = 2 Stories = 30'-4"

Number of Bedrooms = 110 Units = 280 Bedrooms

1464 plan	2 bedroom 2.5 bath
1 <sup>st</sup> Floor	1018
2 <sup>nd</sup> Floor	460
<b>Total Footage</b>	<b>1478</b>

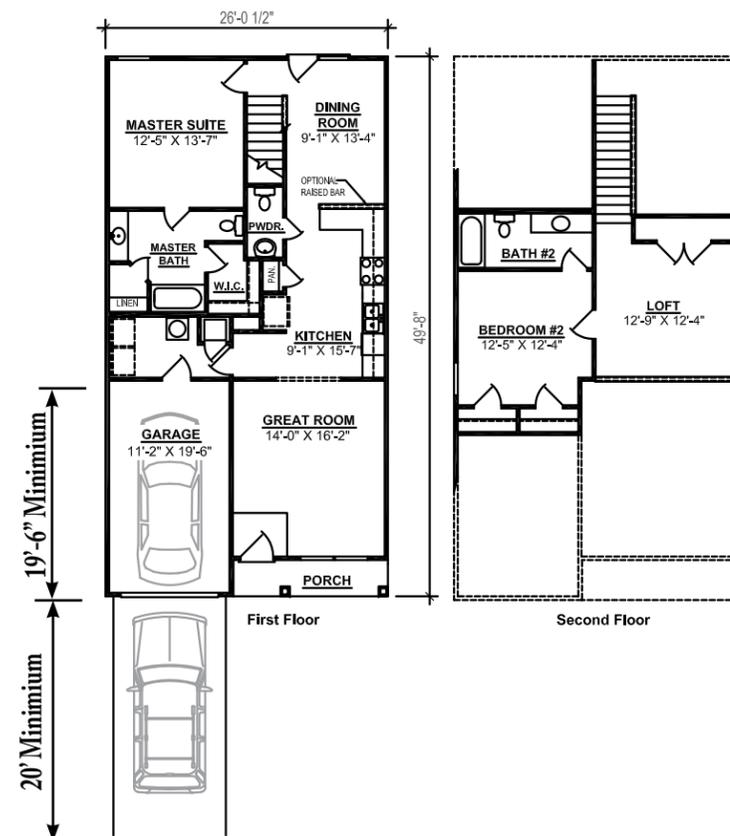
1587 plan	3 bedroom 2.5 bath
1 <sup>st</sup> Floor	821
2 <sup>nd</sup> Floor	776
<b>Total Footage</b>	<b>1597</b>

1631 plan	3 bedroom 2.5 bath
1 <sup>st</sup> Floor	754
2 <sup>nd</sup> Floor	887
<b>Total Footage</b>	<b>1631</b>

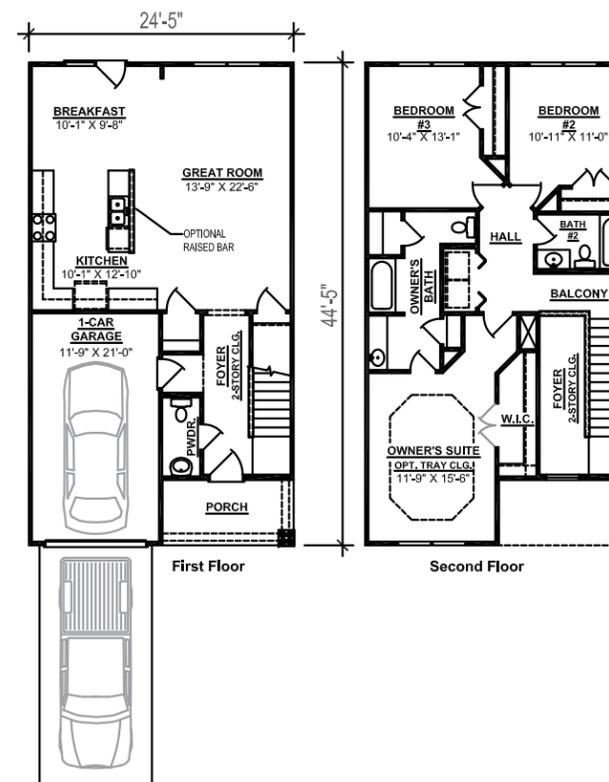
1587 plan	3 bedroom 2.5 bath
1 <sup>st</sup> Floor	821
2 <sup>nd</sup> Floor	776
<b>Total Footage</b>	<b>1597</b>

1464 plan	2 bedroom 2.5 bath
1 <sup>st</sup> Floor	1018
2 <sup>nd</sup> Floor	460
<b>Total Footage</b>	<b>1478</b>

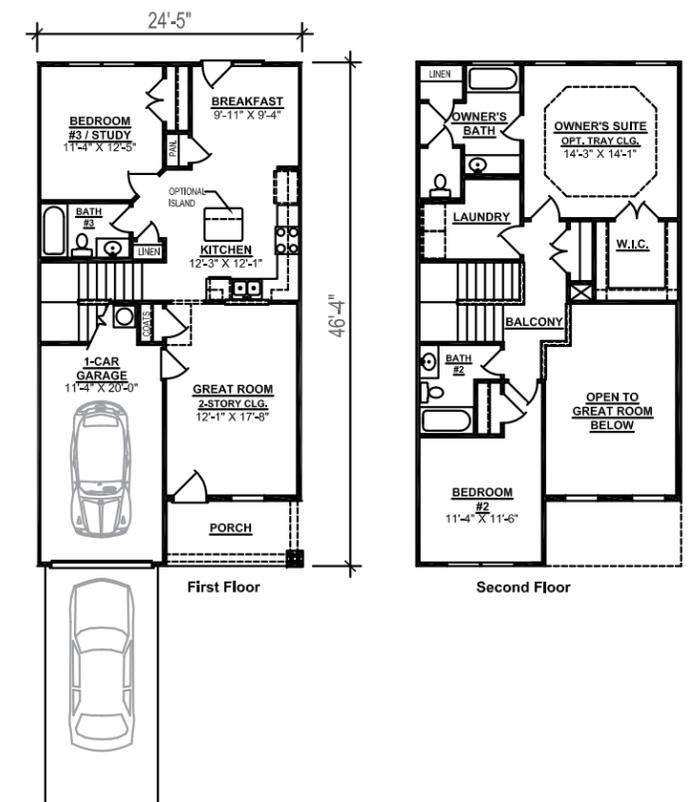
1464 Plan



1631 Plan



1587 Plan



One Car Garages

Note: Garages are to be used for car parking as their primary function

# Architectural Floor Plans

## Town Homes

Proposed Use = Multiple - Family Dwellings

Proposed Units = 110

Max Height of Proposed Structures = 2 Stories = 30'-4"

Number of Bedrooms = 110 Units = 280 Bedrooms

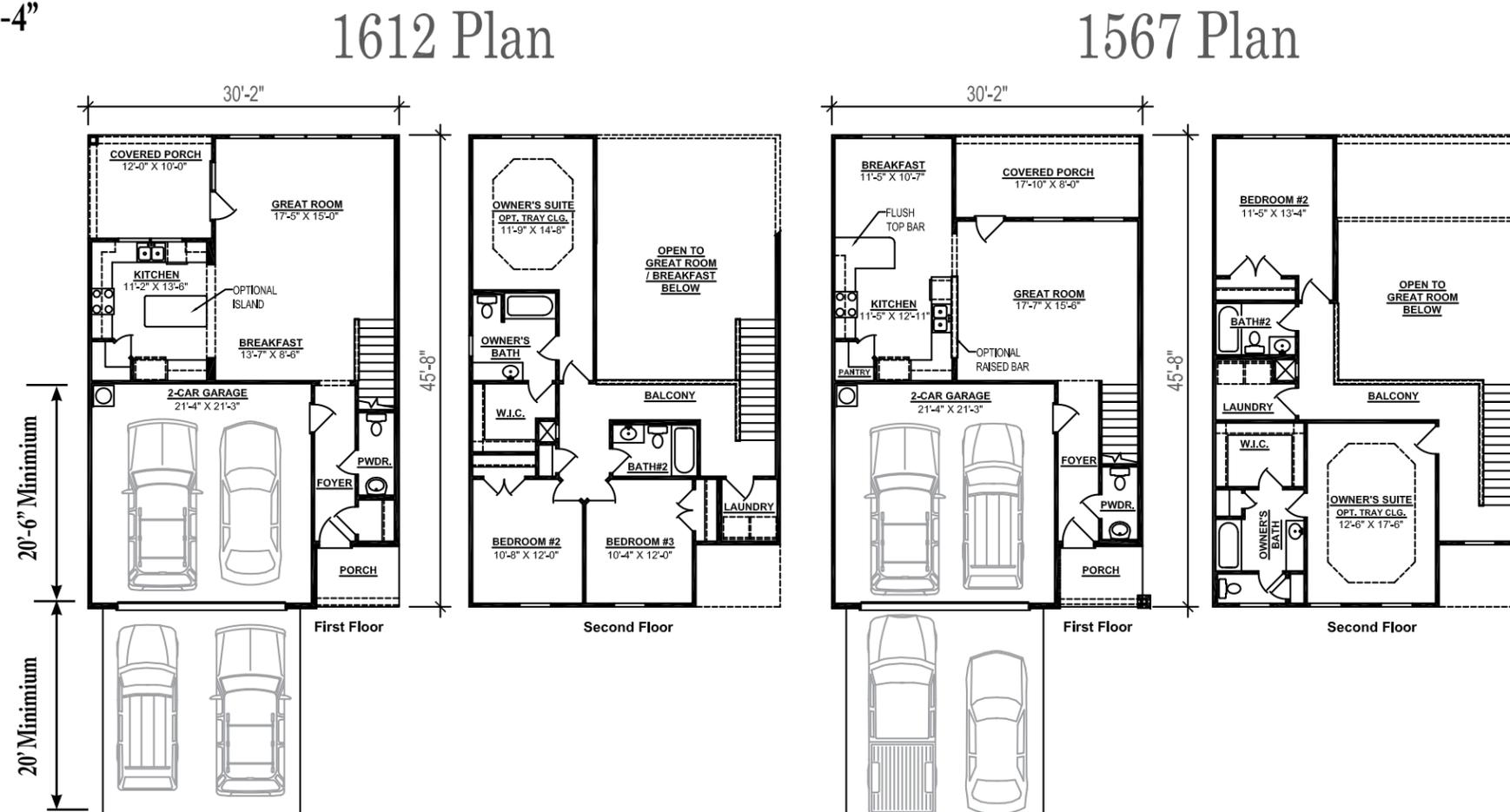
1464 plan	2 bedroom 2.5 bath
1 <sup>st</sup> Floor	1018
2 <sup>nd</sup> Floor	460
<b>Total Footage</b>	<b>1478</b>

1587 plan	3 bedroom 2.5 bath
1 <sup>st</sup> Floor	821
2 <sup>nd</sup> Floor	776
<b>Total Footage</b>	<b>1597</b>

1631 plan	3 bedroom 2.5 bath
1 <sup>st</sup> Floor	754
2 <sup>nd</sup> Floor	887
<b>Total Footage</b>	<b>1631</b>

1587 plan	3 bedroom 2.5 bath
1 <sup>st</sup> Floor	821
2 <sup>nd</sup> Floor	776
<b>Total Footage</b>	<b>1597</b>

1464 plan	2 bedroom 2.5 bath
1 <sup>st</sup> Floor	1018
2 <sup>nd</sup> Floor	460
<b>Total Footage</b>	<b>1478</b>



Two Car Garages

Note: Garages are to be used for car parking as their primary function

# Conceptual Landscape Plan

**Berm, Fence and Landscaping**  
(See sheet 15)

**Entrance Sign and Landscaping**

**Type 'C' Buffer**

**Landscape Screening at Compactor**

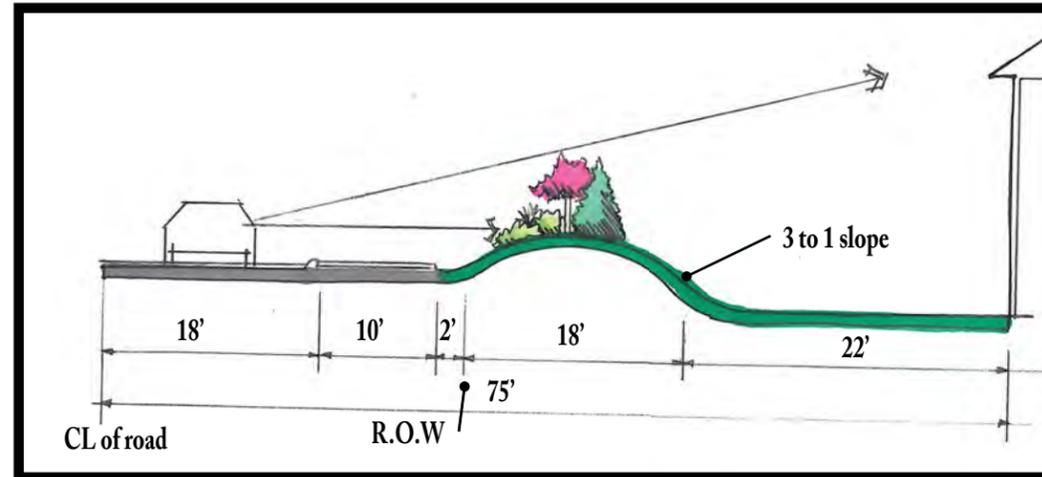
**Type 'C' Buffer**



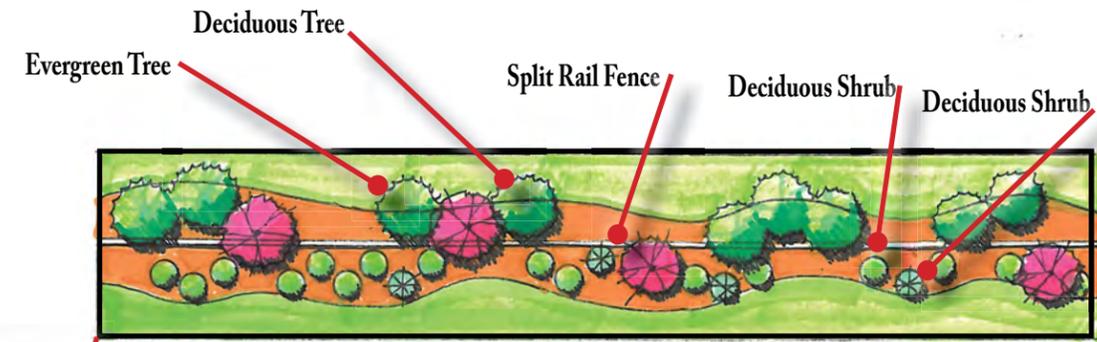
**Type 'C' Buffer**

**Detention Pond with Landscape Screening**

# Brinkley Road Landscaping



**Berm Section**



**Berm Planting**



# Phasing Plan



## Standard Zoning verses PRD Comparison

RM-12 (Single-family with zero lot line attached/detached)

Minimum Lot: (Area) 3750 SF Width: 18'

Minimum Yard Requirements:

Front: 30'

Side: 10'

Rear: 25'

Max. Density: 12 (D.U./Acre)

PRD

Lot (Area) 3000 SF Width: Min. 25'

Minimum Yard Requirements:

Max. Density:  $110/13.74 \text{ ac.} = 8.2$  (D.U/Acre)

No exceptions are required for the PRD

## Amenities



Wilkerson Downs will provide residents with a nice amenity area which will have a 20' x 20' community pavilion, picnic tables, a nice green space for playing, large trees to provide shade, with adjacent parking easily accessible to the green space.

Wilkerson Downs will also have decorative fencing, beautiful landscaping, and curb and gutter streets.

All utilities will be underground, and the trash compactor will be screened with a brick or stone enclosure.

# Planned Development Criteria

1. **Ownership and division of land:** *The site is owned by Robert Frances and is currently zoned Commercial Fringe in the City of Murfreesboro.*
2. **Waiver of BZA action:** *No action of the BZA shall be required for approval of this planned residential development.*
3. **Common open space:** *Common open space is proposed with this project, the exact quantity will be determined in site planning.*
4. **Accessibility to site:** *The property is accessible from both Manson Pike and Brinkley Road.*
5. **Off street parking.** *The developer will be providing off street parking for all residences at the parking ratio provided under the current ordinance, see sheet 10 for parking calculations.*
6. **Pedestrian circulation:** *Sidewalks are planned throughout the subdivision.*
7. **Privacy and screening:** *Surrounding land use to the South and East are an existing neighborhood and will have a Type 'C' buffer as recommended by the City staff, the property to the North is zoned commercial and a Type 'C' buffer is require. To the West is Brinkley Road and it will have a sizable berm, fence and nicely designed continuous landscape bed.*
8. **Zoning and subdivision modifications proposed:** *The property owner is requesting the property be rezoned from the current CF designation to a Planned Residential Development. Once approved as a PRD only the uses specified will be permitted.*
9. **Phasing:** *The project is planned to be completed in multiple phases to supply market demand. See sheet 16 for the phasing plan.*
10. **Annexation:** *Annexation is not requested with this zoning request.*
11. **Landscaping:** *Landscaping buffers, and berming are shown on the conceptual landscape plan see sheet 14.*
12. **Major Thoroughfare Plan:** *The PRD is consistent with the Major thoroughfare plan. Both Manson Pike and Brinkley Road are proposed to be 5 lanes in the future. See sheet 9.*
13. **Applicant contact information:** *Contact information is located on sheet 2*
14. **Proposed Signage:** *Signage location will be included with the site plan. Signage will be masonry construction. Final sign design is to completed.*

## Section 13 – Project Development Criteria Requirements

1. **Identification of existing utilities:** *Shown in pattern book sheet 5.*
- 2/3. **Graphics, renderings, maps and or aerial photography showing existing conditions and natural features of the site:** *Shown in pattern book sheet 7-8*
- 4/5. **Drawing and/or diagrams identifying areas of development, proposed buildings, screening, proposed landscaping and pedestrian and vehicular circulation:** *Shown in pattern book page 10*
6. **Development schedule:** *The project is currently being projected to start immediately upon permit acquisition.*
7. **Relationship of the planned development to current city polices and plans:** *The development is consistent with the city policies. See sheet 17.*
8. **Proposed deviation from zoning and subdivision ordinance:** *See sheet 17 for this information. No exceptions are being requested for this development.*
9. **Site tabulation data for land area, FAR, LSR, and OSR:** *Data provided on Master Plan on sheet 10.*
10. **The nature and extent of any overlay zones as described in Section 24 and 34:** *The Blackman Land Use Plan has been considered and this development fits within the objectives of the land use study. No overlays impact this site.*

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 13, 2016**

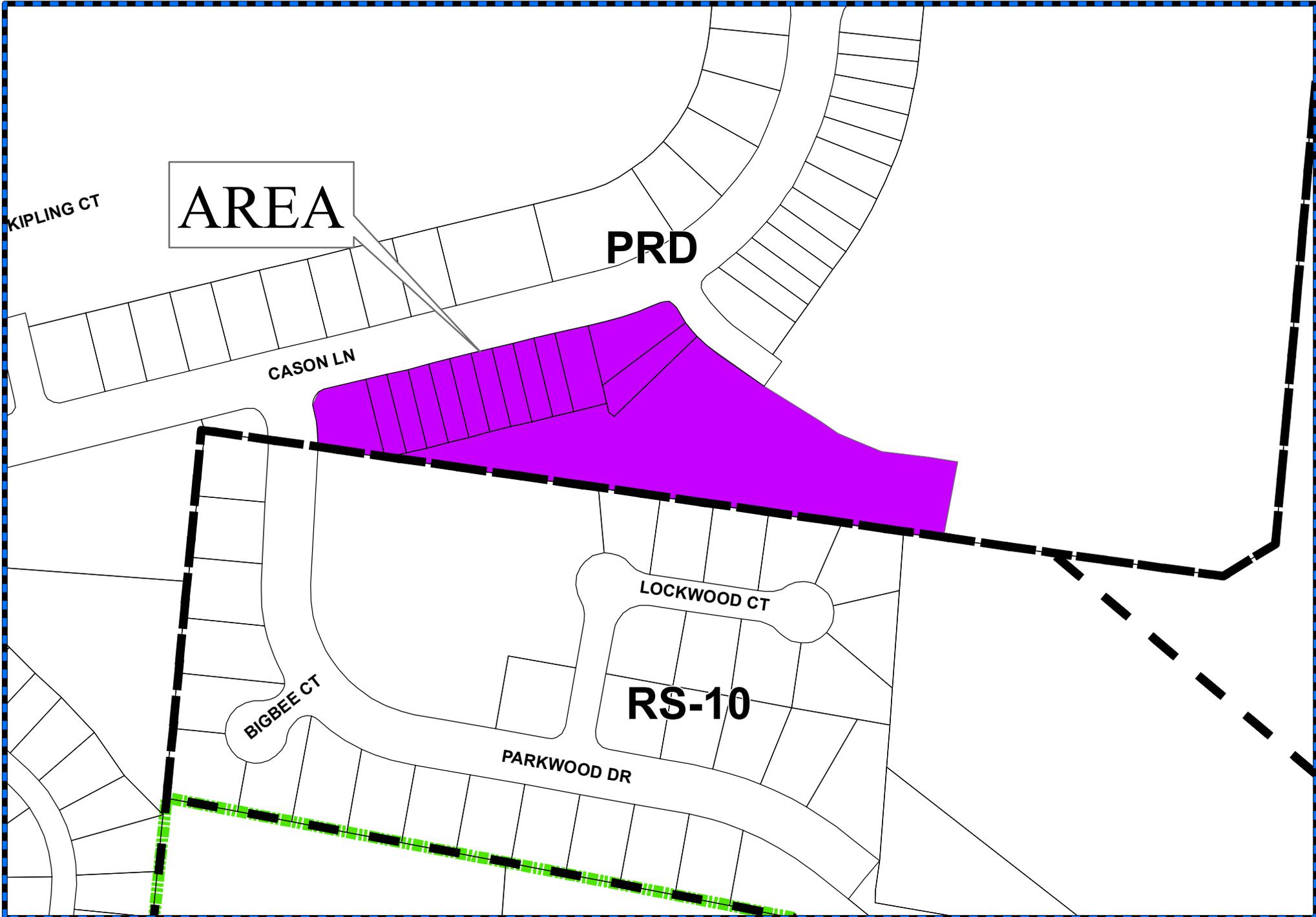
- 3.c. Zoning application [2016-426] for approximately 4.5 acres located along Cason Lane, Parkwood Drive, and Eldin Creek Drive to amend the Three Rivers PRD (The Villas at Three Rivers), Highpoint Limited LLC applicant.**

The subject area consists of 13 parcels which are a part of the Three Rivers PRD. These properties are located along Cason Lane, Parkwood Drive and Eldin Creek Drive and back up to Rivers Edge section one, which is zoned RS-10.

The proposed PRD amendment is to allow 44 dwelling units on 4.5 acres for a density of 9.8 d.u./acre. The current PRD requires individual lots to be sold for development. The proposed amendment will allow the property to develop as multi-family residential and the units to be sold under a horizontal property regime. The units will be a minimum of 1,200 square feet. Each building will have 5 to 6 units, with 2 to 3 bedrooms each.

At the workshop, the Planning Commission instructed the applicant to relocate the Dumpster so that it's not near the back yard of the residents located within the Rivers Edge subdivision. The plan has been revised to consolidate the two Dumpsters into one location near the adjacent common area.

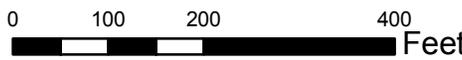
A copy of the program book has been included in the agenda materials. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



Map Document: (G:\planning\rezon\joebjacksonPID\_Amend.mxd)  
 9/10/2012 -- 8:46:13 AM



Proposed PRD Amendment Along  
 Cason Lane



City of Murfreesboro  
 GIS Department  
 111 W. Vine Street  
 Murfreesboro, Tennessee 37130  
 www.murfreesborotn.gov



Synopsis..... 4

Rights-Of-Way, Utilities, and Topography ..... 6  
Surrounding Off-Site Photos and Existing Zoning ..... 8  
On-site Photos and Existing Zoning ..... 10

General Development Standards ..... 12  
Architectural Characteristics ..... 14  
Conceptual Landscape Standards..... 16  
Ingress/ Egress Plan..... 18

Subsection D item 2a: 1 -7..... 20  
Subsection D item 2a: 8 - 15..... 21



GOOGLE EARTH AERIAL IMAGE



NOT TO SCALE



GIS IMAGE



NOT TO SCALE

Highpoint Limited respectfully requests to amend a portion of Three Rivers PRD to create The Villas at Three Rivers. The property is located along the south side of Cason Lane, and east of Parkwood Drive. The site is identified as Parcel 15.05 of Tax Map 15.05 and all of Parcels 36.00-47.01 of Tax Map 114 N Group A, and is approximately 4.5 acres.

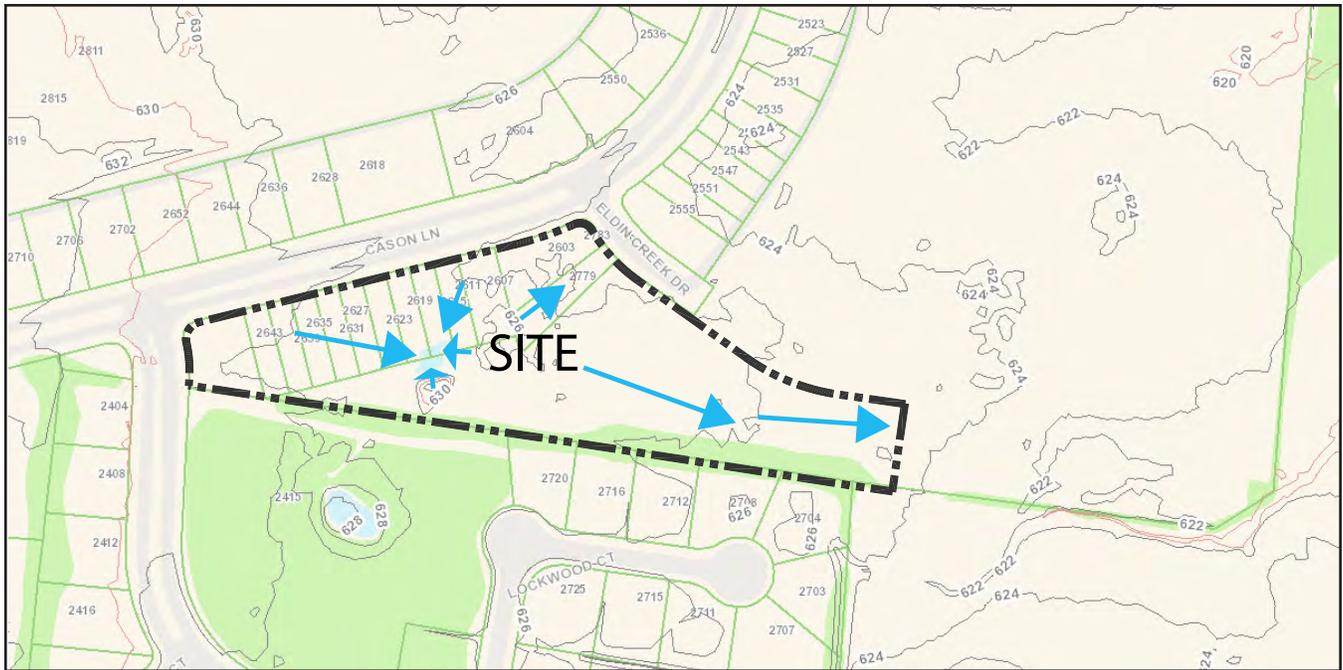
The surrounding area consists of Three Rivers and Rivers Edge (Zoned PRD in the city). The request for amending the PRD is to create The Villas at Three Rivers. The development will consist of 44 townhomes on 4.5 acres, i.e. 9.8 dwelling units per acre. This new section is envisioned to offer a slightly different homestyle in Three Rivers development. The units will be sold under a horizontal property regime. The proposed townhomes will range in size from 1,200 SF. up to 1,450 SF., and will consist of a mixture of two and three bedroom units. The townhome buildings will be a mixture of 5 and 6 units per building. Parking for residents and guests will be provided in surface parking adjacent to the townhome buildings as well as garages on a portion of the units. This site and common areas; which include building exteriors, parking areas, stormwater facilities, and all other property around the site, will be added to the existing Three Rivers H.O.A.



GOOGLE EARTH ISOMETRIC VIEW



**WATER AND SEWER UTILITIES**



**TOPOGRAPHY AND HYDROLOGY**



The existing topography of the site shows the site's topography is generally from a high point along the east property line towards the east to an drainage way that is located in the adjacent property to the east. Stormwater follows the topography where almost all surface drainage flows to this low point in the property. Stormwater will be collected and routed to Cason Lane.



## CITY OF MURFREESBORO

The property has/will have access to the existing public rights-of-way onto Parkwood Drive to the west and Eldin Creek Drive to the east.



## MURFREESBORO WATER AND SEWER DEPARTMENT

Sanitary sewer service will connect to a 8" gravity sewer line located on the property and in the Cason Lane R.O.W. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. Sanitary sewer service will be provided by the Murfreesboro Water & Sewer Department.



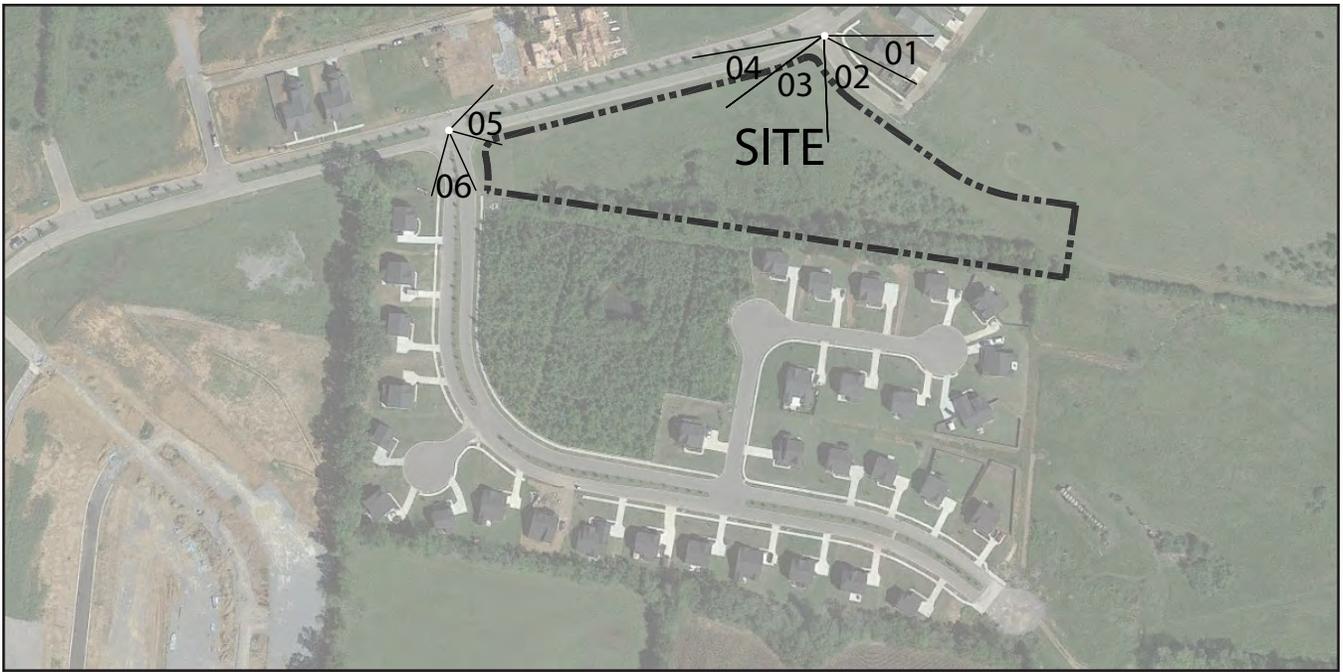
## CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

There are two points of connection for this site for providing water service. There is an existing 8" water line in the R.O.W. of Parkwood Drive for service into the site. There is also a water line associated with the R.O.W. of Eldin Creek Drive, that we anticipate CUDRC tying into to create a loop in this area of the city. The developer will be responsible for extending the waterline into the site for domestic and fire water service. Water service will be provided by Consolidated Utility District.



## MURFREESBORO ELECTRIC DEPARTMENT

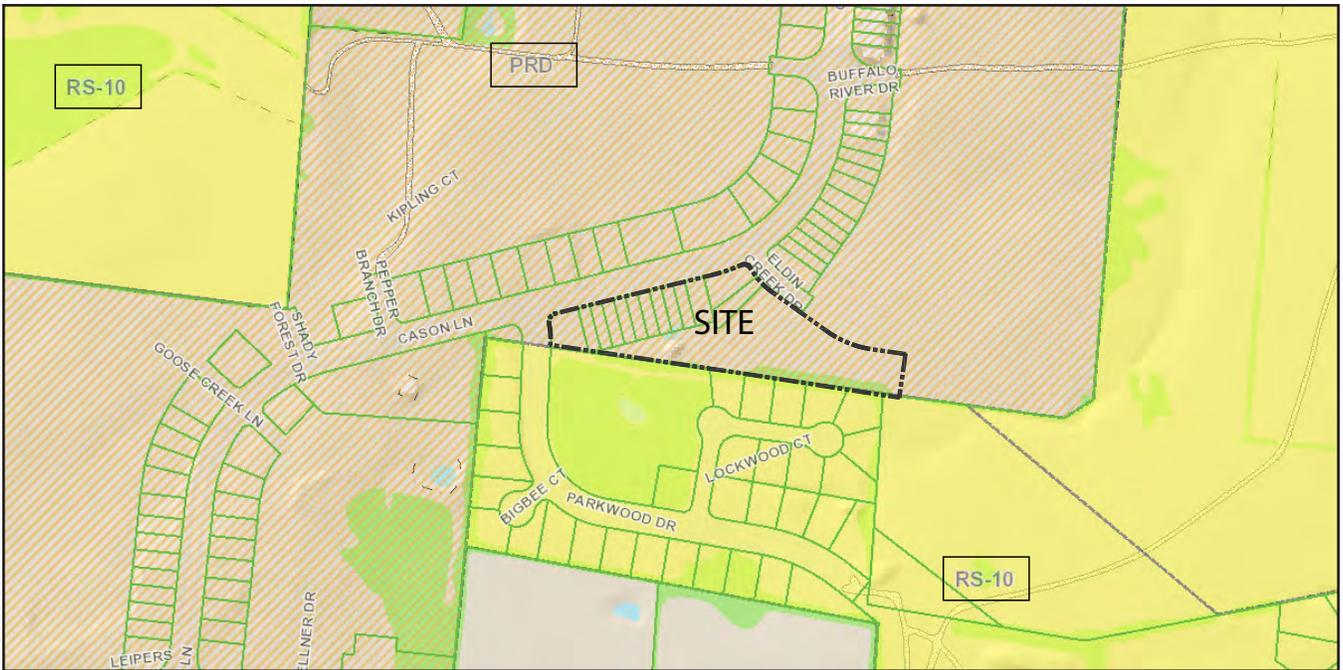
Murfreesboro Electric Department will be providing electrical service. All electric service will be underground. Underground electricity is currently located along the roads.



SURROUNDING OFF-SITE PHOTOS MAP



NOT TO SCALE



ZONING MAP



NOT TO SCALE



**IMAGE 01**

VIEW SOUTHEAST FROM INTERSECTION OF CASON LANE AND ELDIN CREEK DRIVE SHOWING DETACHED SINGLE FAMILY HOMES ADJACENT TO THE SITE.



**IMAGE 02**

VIEW SOUTHEAST ONTO ELDIN CREEK DRIVE FROM CASON LANE



**IMAGE 03**

VIEW SOUTHWEST ONTO THE SITE FROM THE INTERSECTION OF CASON LANE AND ELDIN CREEK DRIVE.



**IMAGE 04**

VIEW SOUTHWEST ONTO THE EDGE OF THE SITE ADJACENT TO CASON LANE AT ELDIN CREEK DRIVE.



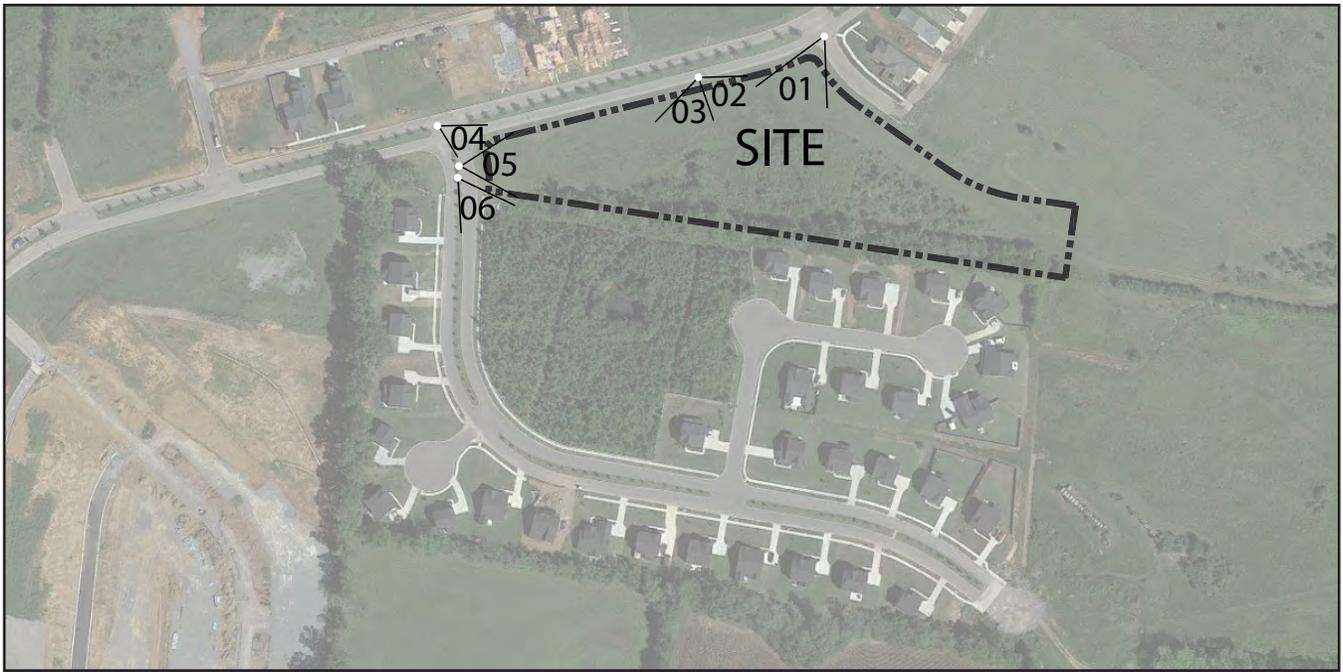
**IMAGE 05**

VIEW NORTHEAST ONTO THE EDGE OF THE SITE ADJACENT TO CASON LANE.



**IMAGE 06**

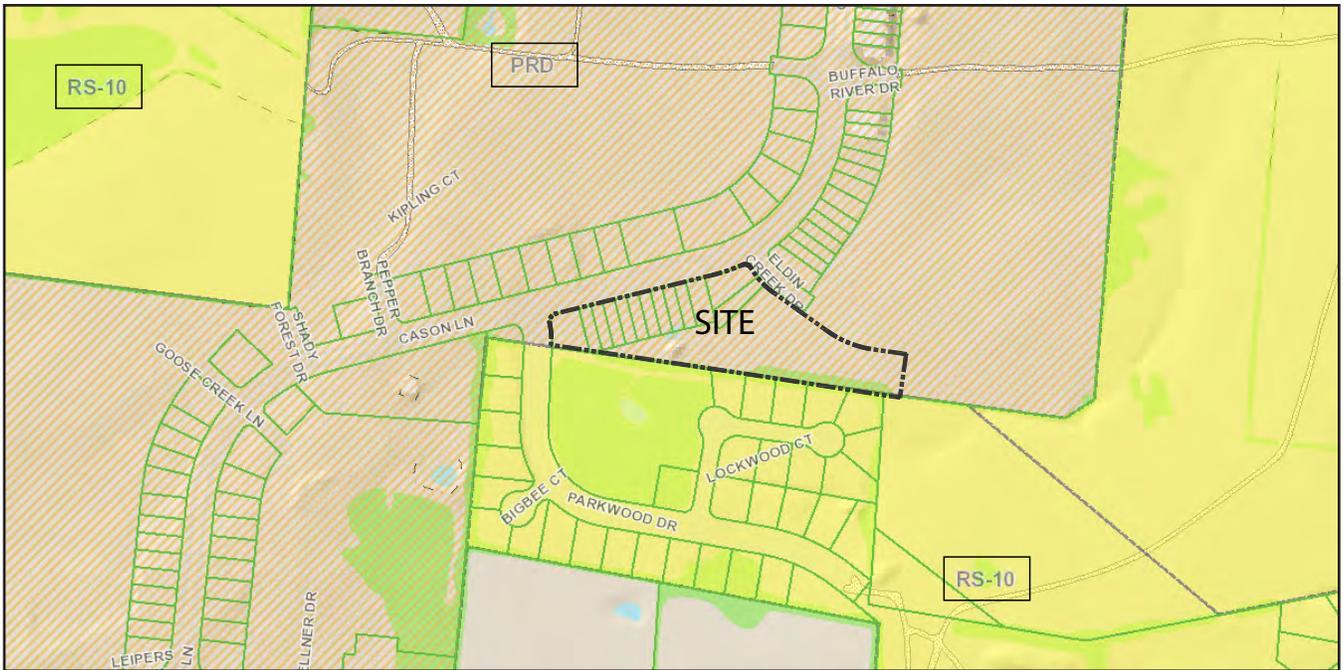
VIEW SOUTH ONTO PARKWOOD DR. AND RIVERS EDGE SECTION 1 SUBDIVISION FROM CASON LANE.



ON-SITE PHOTOS MAP



NOT TO SCALE



ZONING MAP



NOT TO SCALE



**IMAGE 01**

VIEW SOUTHWEST ONTO THE CORNER OF THE SITE AT CASON LANE AND ELDIR CREEK DRIVE.



**IMAGE 02**

VIEW SOUTHEAST ONTO THE SITE FROM CASON LANE.



**IMAGE 03**

VIEW SOUTH ONTO THE SITE FROM CASON LANE.



**IMAGE 04**

VIEW SOUTHEAST ONTO THE CORNER OF THE SITE AT THE INTERSECTION OF CASON LANE AND PARKWOOD DRIVE.



**IMAGE 05**

VIEW EAST ONTO THE EDGE OF THE SITE ADJACENT TO PARKWOOD DRIVE.

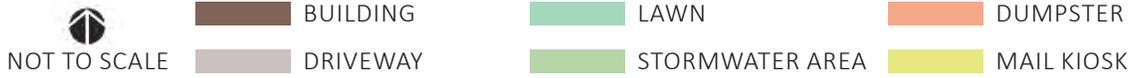


**IMAGE 06**

VIEW SOUTHEAST ONTO A UTILITY BOX LOCATED DIRECTLY BEHIND THE SITE'S PROPERTY LINE.



**TOPOGRAPHY AND HYDROLOGY**



**EXAMPLE 1**



**EXAMPLE 2**



**EXAMPLE 3**



**EXAMPLE 4**

## **Synopsis**

The Villas at Three Rivers consists of 44 townhome units on 4.50 acres for a density of 9.8 dwelling units per acre. This request is to amend the Planned Residential Development (PRD). The units will be sold under a horizontal property regime. There will be an H.O.A. to maintain common areas, which will include building exteriors, parking areas, stormwater facilities, and all other property around the site.

### **Proposed Site Characteristics:**

- 44 townhome units with 2 or more bedrooms.
- The units will range in size from 1,200 SF. to 1,450 SF.
- The development will be constructed in 1 phase.
- All units to be sold under a horizontal property regime
- The exteriors of the buildings and common spaces will be maintained by an H.O.A.
- All parking areas and sidewalks will be private and maintained by the H.O.A.
- Sidewalks will be provided throughout the development to create a pedestrian friendly community
- Building elevations will consist of brick and cement board siding. A representation of elevation material mixtures are outlined on page 14-15: Architectural Characteristics.
- A Type 'C' Landscape Buffer will be constructed along the length of the southern boundary.
- All mechanical equipment (i.e. hvac and transformers) to be screened and located at the rear of buildings.
- All on-site utilities will be underground.
- On-site lighting will comply with city standards to prevent light pollution.
- Any solid waste enclosures will be constructed of materials consistent with building architecture and be at least 8 feet tall with opaque gates and enhanced with landscaping.
- Parking for the residential units will comply with the City of Murfreesboro requirements, which has a surplus of 11 parking spaces.
- All parking areas will have curbing.
- All on-site drive aisles and parking spaces will be designed to comply with the City of Murfreesboro design standards.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Mail service will be provided via a kiosk for all postal deliveries.
- All home owners will be required to be a member of the H.O.A.
- Construction is anticipated to begin within 90-120 days after zoning is completed.

### **Minimum Building Setbacks to Site Boundary:**

Front: 10-feet

Side: 5-feet

Rear: 10-feet

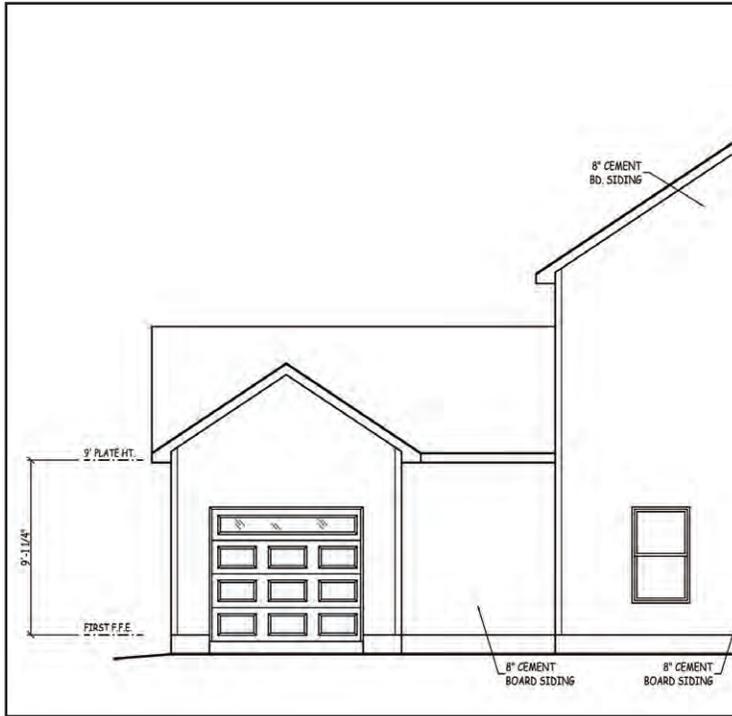
### **Minimum Building Setbacks Internal to the Site:**

Front: 10-feet from parking and drive aisles

Side: 10-feet between buildings, and from parking and drive aisles



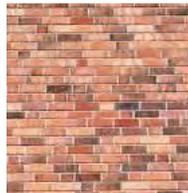
FRONT ELEVATION



SIDE ENTRY GARAGE



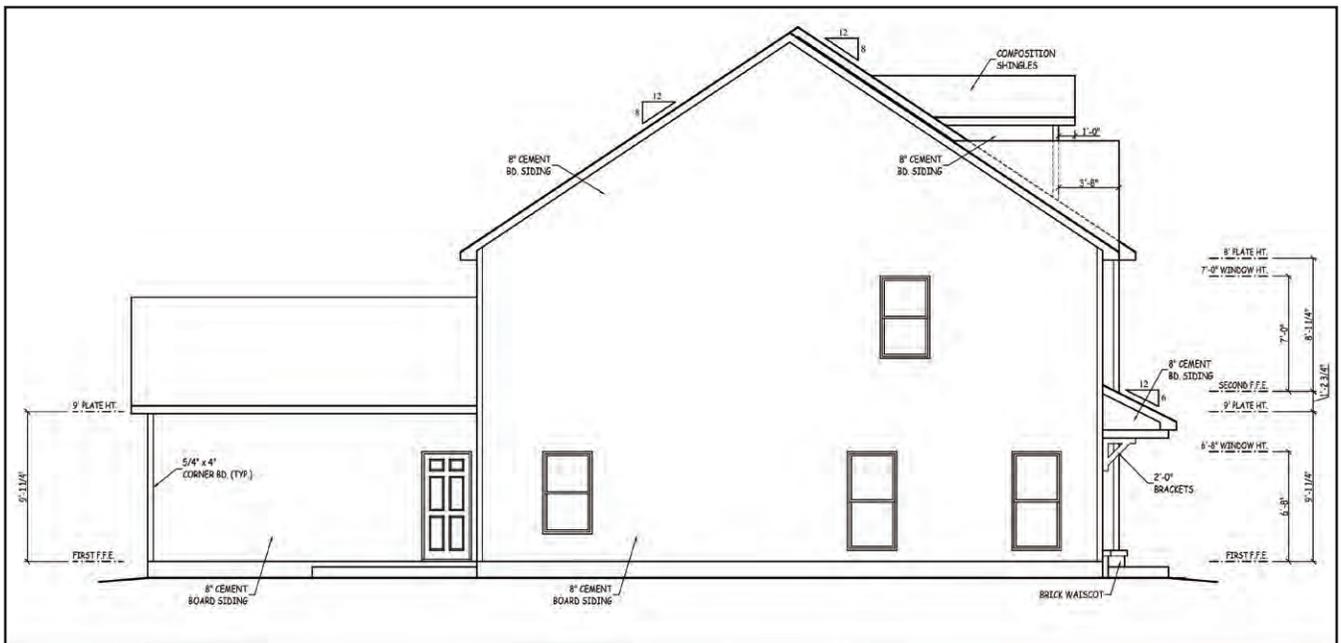
**EXAMPLE OF THE FIBER CEMENT BOARD**  
(DIFFERENT COLORS WILL BE ALLOWED)



**EXAMPLE OF POSSIBLE BRICK**  
(DIFFERENT COLORS WILL BE ALLOWED)



**EXAMPLE OF THE STONE VENEER**  
(DIFFERENT COLORS, CUTS, AND PATTERNS WILL BE ALLOWED)



LEFT SIDE ELEVATION

**Architecture Characteristics:**

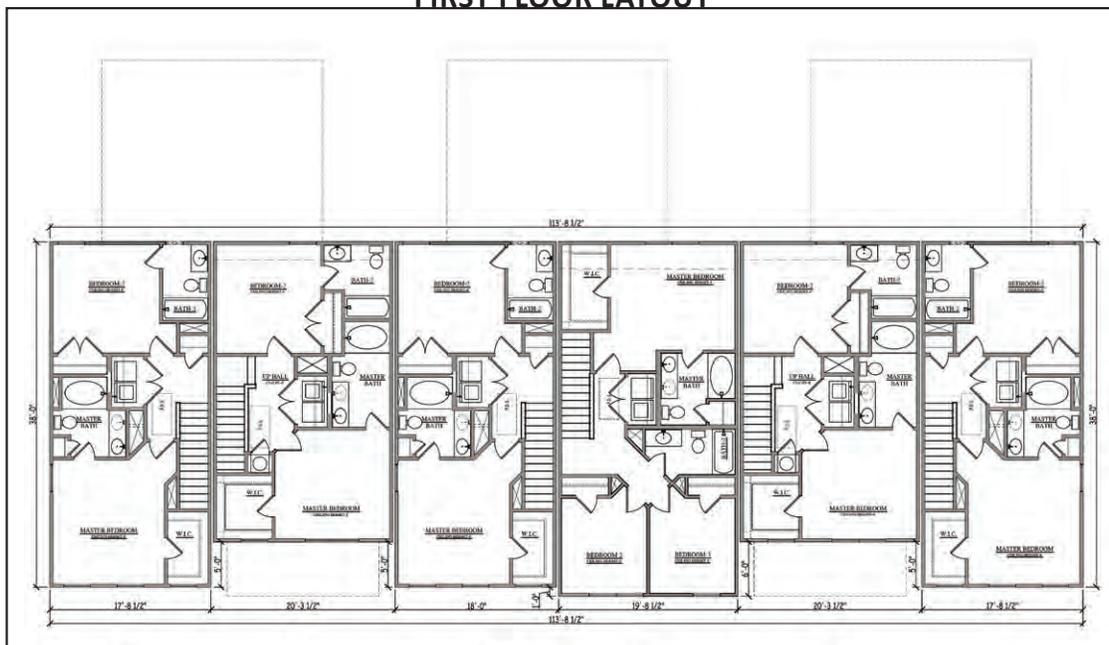
- Building heights shall not exceed 35 feet in height.
- The buildings will be 2-stories.
- All dwelling units will have at least 2 bedrooms.
- All the units will have eaves on the front and rear elevations. No eaves on side elevations.
- All units will have a covered front porch or stoop.
- Units with garages will have a small courtyard area at the rear of the unit.
- Individual units will have offsets to create articulation of the front facades to add interest to the elevations
- All townhomes will be sold under a horizontal property regime.
- Units without garages will have patios at the rear of the units.

**Building Elevation Materials:**

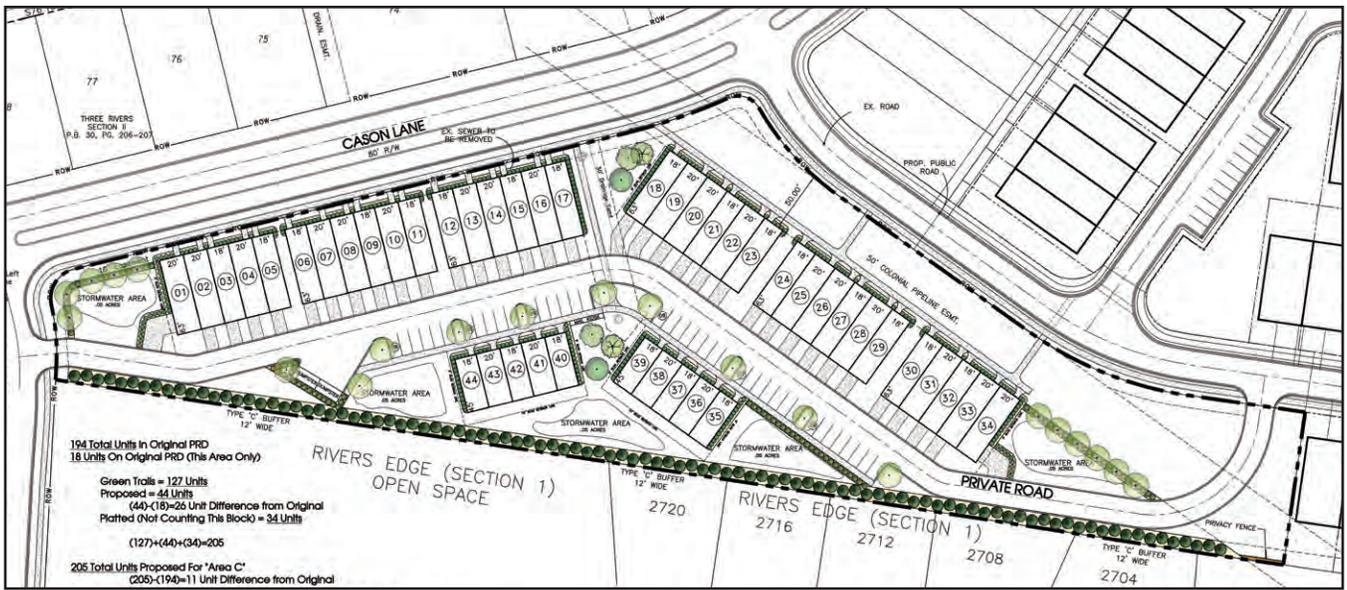
- Front: Mixture of brick, stone and cement fiber board
- Sides: Cement fiber board
- Rear: Cement fiber board
- Trim and Soffits: Vinyl siding



**FIRST FLOOR LAYOUT**



**SECOND FLOOR LAYOUT**



**CONCEPTUAL LANDSCAPE PLAN**



PLANT BED

NOT TO SCALE

**EXAMPLE OF LANDSCAPE: DECIDUOUS TREES**



(A)



(B)

- (A) ULMUS PARVIFOLIA 'EMER II'/'EMER II' ALLE ELM
- (B) ZELKOVA SERRATA 'GREEN VASE'/ SAWLEAF ZELKOVA
- (C) BUXUS X 'GREEN MOUNTAIN'/ BOXWOOD
- (D) PRUNUS LAUROCERASUS 'OTTO LUYKEN'/ LUYKENS LAUREL
- (E) LAGERSTROEMIA INDICA 'GAMAD VI'/ BERRY DAZZLE CRAPE MYRTLE
- (F) MISCANTHUS SINENSIS 'ADAGIO' / ADAGIO EULALIA GRASS
- (G) LIRIOPE SPICATA 'SILVER DRAGON'/ CREEPING LILY TURF
- (H) SETCREASEA PALLIDA 'PURPLE HEART'/ PURPLE HEART SETCREASEA

- (I) IBERIS SEMPERVIRENS 'LITTLE GEM'/ LITTLE GEM CANDYTUFT
- (J) LIRIOPE MUSCARI 'VARIEGATA'/ VARIEGATED LILY TURF
- (K) MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD' TM/ SOUTHERN MAGNOLIA
- (L) THUJA STANDISHII X PPLICATA 'GREEN GIANT'/ GREEN GIANT ARBORVITAE
- (M) CRYPTOMERIA JAPONICA 'RADICANS'/ JAPANESE CEDAR
- (N) VIBURNUM X PRAGENSE/ PRAGUE VIBURNUM
- (O) PRUNUS LAUROCERASUS 'SCHIPKAENSIS'/ SCHIPKA LAUREL

**EXAMPLE OF LANDSCAPE: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES**



(C)



(D)



(E)



(F)

**EXAMPLE OF LANDSCAPE: GROUNDCOVER**



(G)



(H)



(I)



(J)

## TYPE 'C' LANDSCAPE BUFFER: EVERGREEN TREES



(K)



(L)



(M)

## TYPE 'C' LANDSCAPE BUFFER: EVERGREEN SHRUBS



(N)

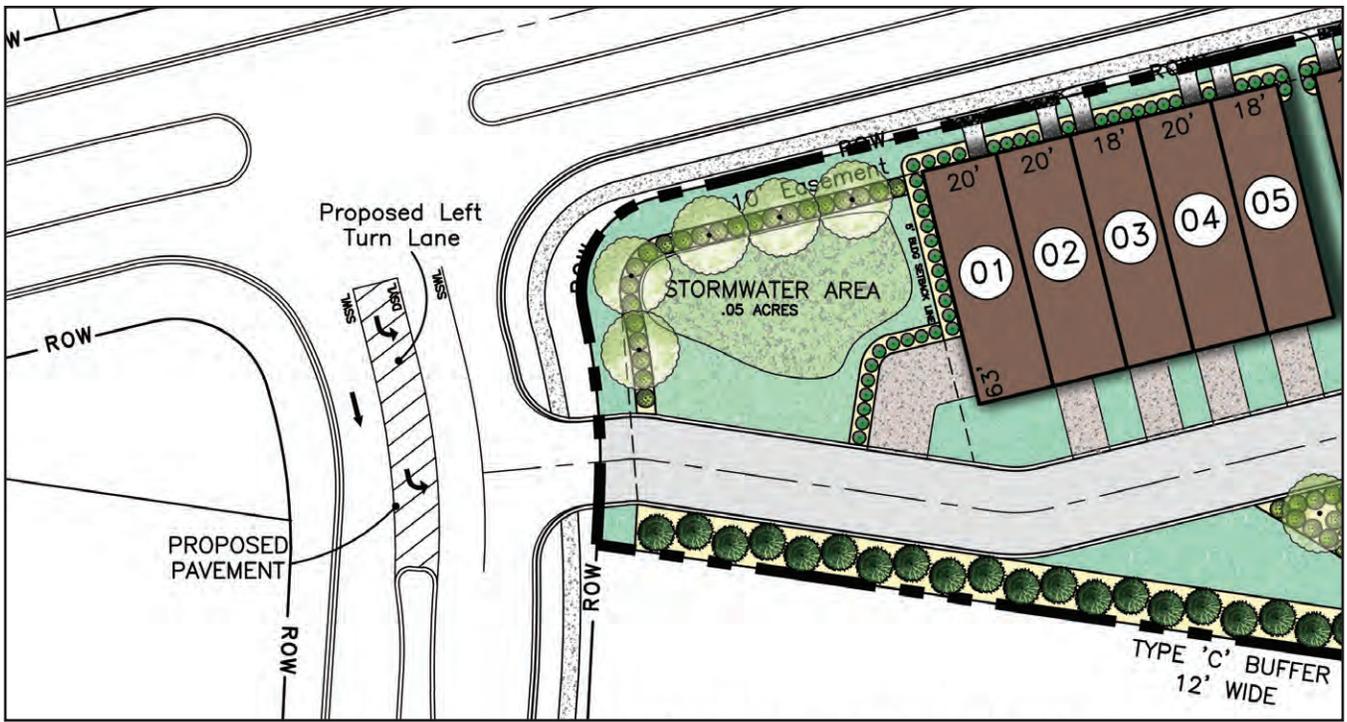


(O)

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

### Landscaping Characteristics:

- A minimum 10 feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- The south perimeter of the property will have a 12 foot wide Type 'C' Landscape Buffer planted consisting of a double staggered row of evergreen trees planted 8 feet on center to provide screening for the adjacent properties and their residents. Evergreen trees will be a minimum of 6 feet tall at the time of planting. A single row of evergreen shrubs shall be planted in the spaces between the evergreen trees to temporarily fill in the void between trees till they fill out the space. Evergreen shrubs will be a minimum 4 feet tall at the start of planting.
- All above ground utilities and mechanical equipment screened with landscaping and/or walls.
- Solid waste enclosure screened with a masonry wall and enhanced with landscaping.
- The fronts and sides at the base of buildings will have at least 3 foot wide landscape strip.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.



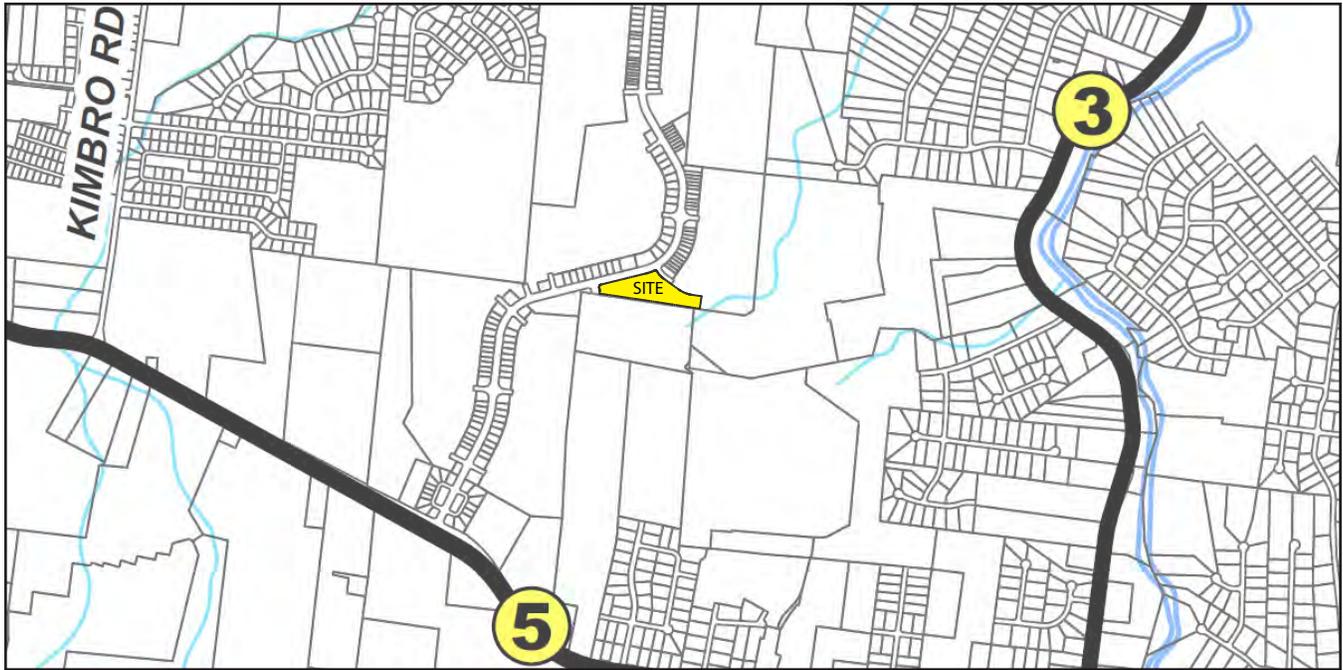
ENTRY/EXIT ONTO PARKWOOD DRIVE



ENTRY/EXIT ONTO ELDTN CRK DR.

Pursuant to the Murfreesboro Major Thoroughfare Plan, none of the roadways that lead to the site are slated for improvements at this time. Cason Lane, which is the major thoroughfare for the majority of vehicular trips generated by this development, is currently built out to the cross-section recommended by the Major Thoroughfare Plan. As per this rezoning request, the plan proposes no additional improvements be made to any of the roadways around the perimeter of the site.

As stated above, the primary means of ingress/egress from this site will be via Parkwood Drive and Eldin Creek Lane out to Cason Lane. All on-site drive aisles and parking spaces will be designed to comply with the City of Murfreesboro's zoning ordinance, dimensionally and quantities. All vehicular areas will be surfaced with asphalt pavement or concrete pavement and will be determined at construction plan phase.



**THOROUGHFARE PLAN**



1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** An exhibit is given on Page 6 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** Exhibits are shown on Pages 4-5 that shows the existing contours and drainage patterns along with an aerial photograph of the area. No portion of the property is subject to floodplains or floodways, and the site ultimately drains to Puckett Creek.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** Exhibits and photographs on Page 8 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 8 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

**Response:** The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

**Response:** The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	196018
TOTAL MAXIMUM FLOOR AREA	61864
TOTAL LOT AREA	196018
TOTAL BUILDING COVERAGE	49284
TOTAL DRIVE/ PARKING AREA	50194
TOTAL RIGHT-OF-WAY	0
TOTAL LIVABLE SPACE	96540
TOTAL OPEN SPACE	146734
<b>FLOOR AREA RATIO (F.A.R.)</b>	0.32
<b>LIVABILITY SPACE RATIO (L.S.R.)</b>	1.56
<b>OPEN SPACE RATIO (O.S.R.)</b>	2.37

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned PRD. The surrounding areas has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

**8.)** If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

*(aa) the approximate date when construction of the project can be expected to begin;*

**Response:** Infrastructure all at one time; however, applicant will phase which units are brought online.

**9.)** Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

**Response:** This requirement has been addressed on Page 12.

**10.)** A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

**Response:** Exceptions are being requested to allow front setbacks to be 20 feet less than RM-12, and for the rear setbacks to be 10 feet less than RM-12.

**11.)** The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is not in the Airport Overlay District (AOD), Battlefield Protection District (BPD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel. Property is within Gateway Design Overlay District (GDO-1).

**12.)** The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

**Response:** Page 20-21 discusses the Major Thoroughfare Plan.

**13.)** The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Highpoint Limited. content info for both is provided on cover.

**14.)** Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Pages 14-15 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built. A detailed photometric plan will be provided at site plan phase.

**15.)** If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** No entrance sign is proposed at this time.



**CONCEPTUAL SITE AND LANDSCAPE PLAN**

- SCALE: 1" = 80'
- BUILDING
  - LAWN
  - DUMPSTER
  - DRIVEWAY
  - STORMWATER AREA
  - MAIL KIOSK

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 13, 2016**

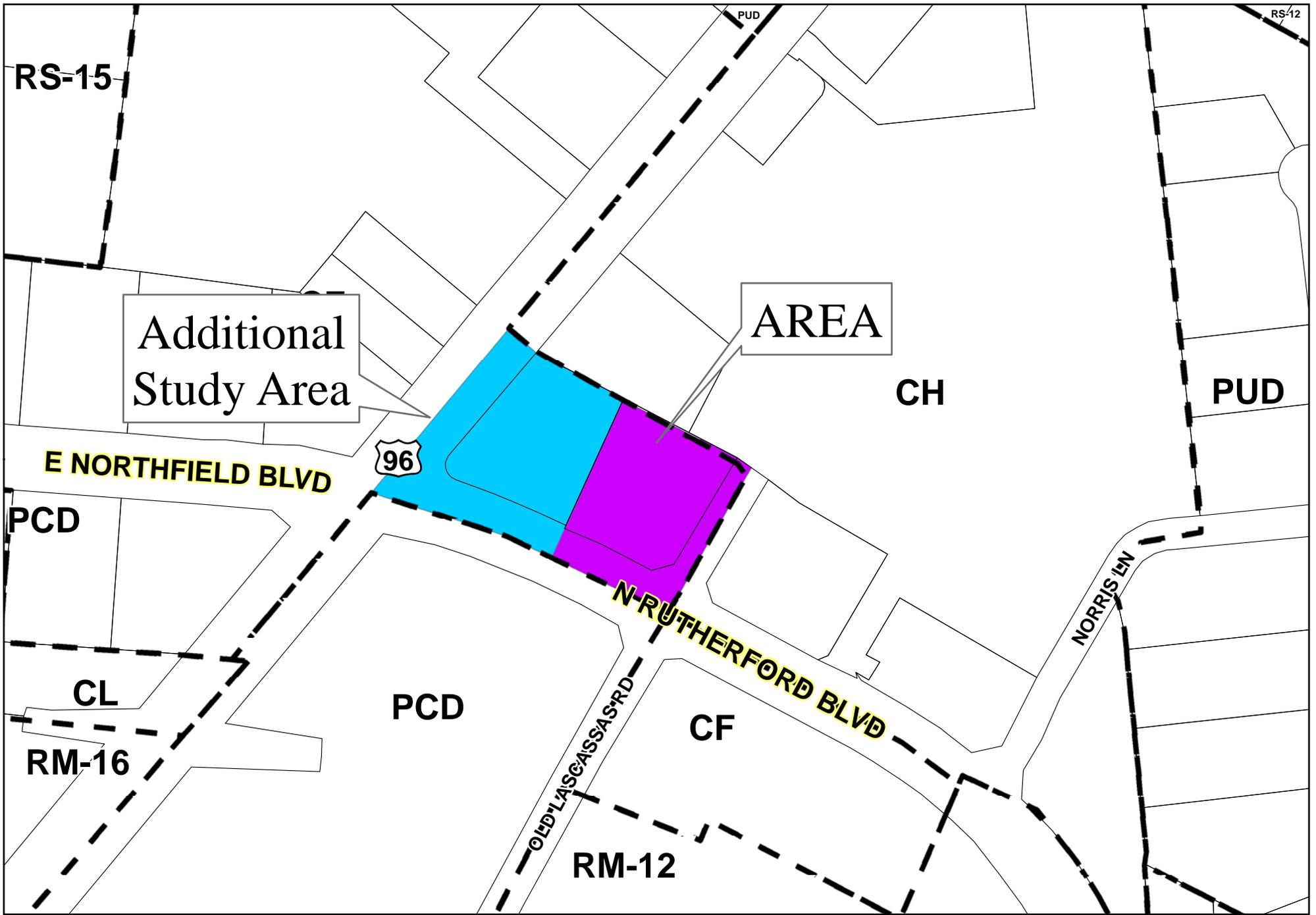
- 3.d. Zoning application [2016-427] for approximately 0.97 acres located along North Rutherford Boulevard and Old Lascassas Road to be rezoned from CF to CH, Eric Lowman applicant.**

The subject properties are located along North Rutherford Boulevard and Old Lascassas Road. The properties to the north and east are zoned CH and is the location of the Kroger grocery store and McDonalds. The property to the south, across North Rutherford Boulevard is zoned PCD, however the City Council has recently approved a request to rezone it to CF.

The subject property was zoned interim RS-15 when it was annexed in 1986. Six year later the CF district was created and this intersection was rezoned to CF. In 2003, an application was made to zone the adjacent properties to PCD to allow Kroger. After the Kroger was constructed, it was rezoned to CH. This parcel and the adjacent Burger King parcel were under a different ownership and they were not included in the zoning change to PCD or CH.

The applicant wishes to purchase the property to develop it with an automated car wash. The proposed use is not permitted within the CF district. As such, the applicant has requested a zone change to CH. The Planning Commission included the adjacent CF zoned parcel (Burger King) as additional area to study. The parcels are located along two major arterials and are not adjacent to residential uses.

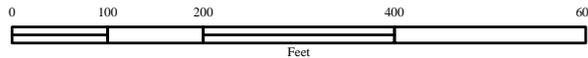
The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Rezoning Request for Property Along N Rutherford Blvd.  
from CF to CH**



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GIS Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
www.murfreesborotn.gov



E NORTHFIELD-BLVD

96

Site

OLD LASCASSAS RD

OLD LASCASSAS RD

N RUTHERFORD-BLVD

NORRIS LN

HIGGINS LN

DONALD BRADLEY CT

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 13, 2016**

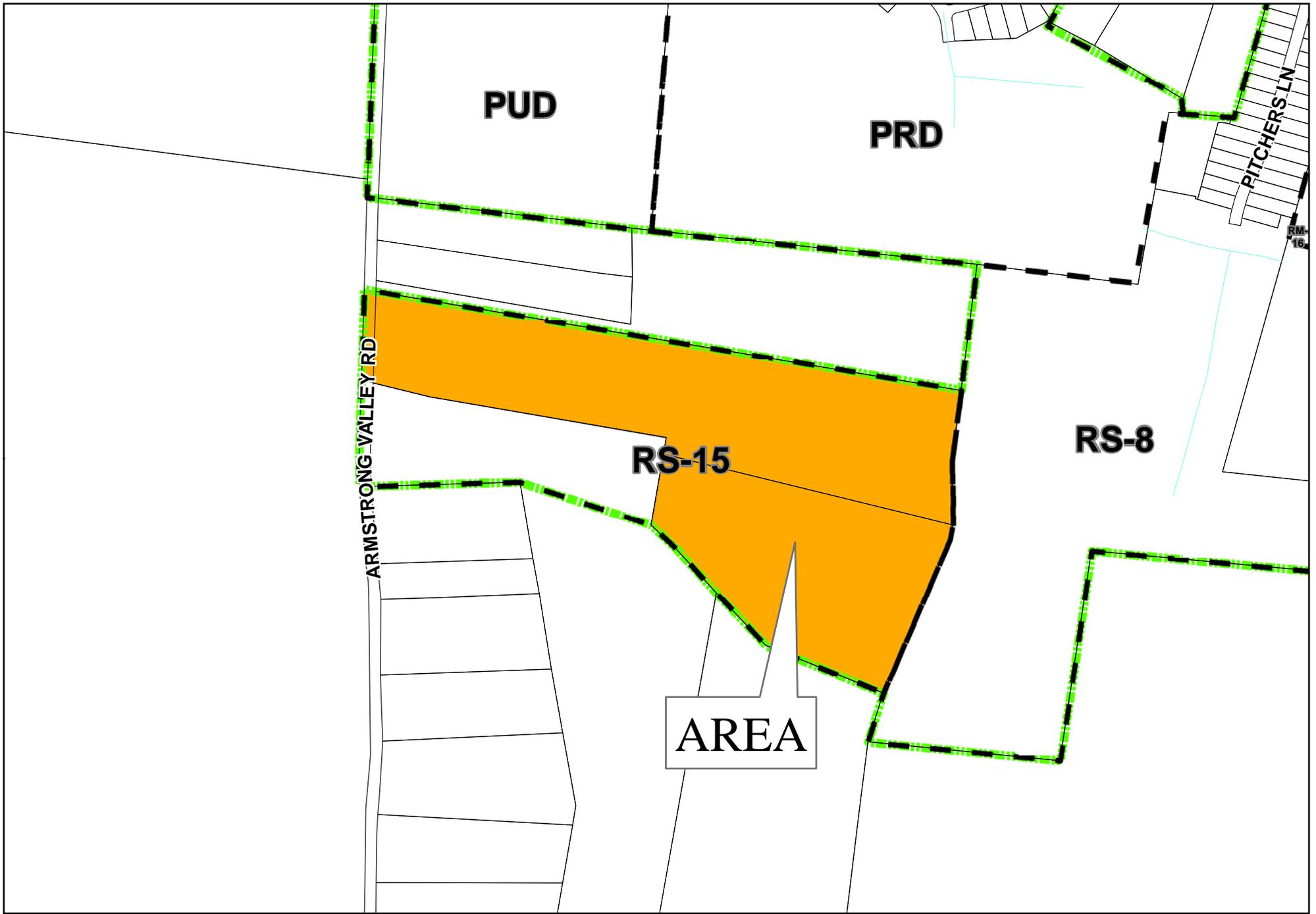
- 3.e. Zoning application [2016-428] for approximately 44 acres located along Armstrong Valley Road to be rezoned from RS-15 to RS-8, Cornerstone Development applicant.**

The subject property is located along the east side of Armstrong Valley Road. It consists of 44 undeveloped acres and is currently zoned RS-15 (Single-Family Residential District 15). It was annexed in 2008 and zoned PRD (Planned Residential District) simultaneous with annexation. The PRD, which was called Three Oaks at Armstrong Valley, permitted the development of an active adult community consisting of 165 residential condominiums on 53 acres. This development never moved forward. In 2011, at the request of the property owner, the property was rezoned to RS-15. Approximately nine (9) acres of the 53 acres were subsequently sold to an adjacent property owner.

The applicant has a contract on the remaining 44 acres. He is the developer of the Westwind single-family residential subdivision, which is located directly to the east of the subject property. Westwind is zoned RS-8 (Single-Family Residential District 8), and the applicant has requested that the subject property be rezoned to RS-8 to match the zoning for Westwind. He envisions the 44 acres to be incorporated into the Westwind development. The RS-8 zone requires a minimum lot size of 8,000 square-feet. Staff calculates that the approximate maximum number of lots that could be created on 44 acres in the RS-8 zone is 179, but the actual lot count would likely be less than this number. The subject property is just outside the boundaries of the *Salem Pike Land Use Plan* study area.

As mentioned previously, the subject property is bordered on its east side by the Westwind tract, which is zoned RS-8. Directly to the north are three single-family residential estate lots in the unincorporated County. Further to the north is the Sheffield Park subdivision, which is zoned PRD and consists of 8,000, 10,000, 12,000, and 15,000 square-foot single-family residential lots. The undeveloped southern half of the Weston Park PUD (Planned Unit District) is also to the north of the subject property. It is zoned for a variety of small-lot single-family attached and detached dwellings, as well as a "retail village." To the south of the subject property are several estate lots in the unincorporated County as well as some undeveloped tracts. To the west across Armstrong Valley Road is undeveloped agricultural land located in the unincorporated County.

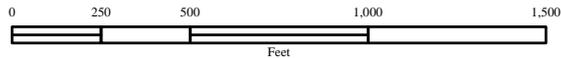
The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Rezoning Request for Property Along Armstrong Valley Road  
from RS-15 to RS-8**



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GIS Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

REZONING APPLICATION FORM



Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

REZONING APPLICATION FORM
\$600.00 per application

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Cornerstone Development, LLC c/o Harry Minge

Address: 216 Noah Dr, Ste 100 City/State/Zip: Franklin, TN 37064

Phone: 615-642-2342 E-mail address: cstonellc@att.net

PROPERTY OWNER: Buford Brewer Jr & James Travis

Street Address or property description: 1995 Armstrong Valley Rd

and/or Tax map #: 124 Group: Parcel (s): 30.01 & 30.00

Existing zoning classification: RS-15

Proposed zoning classification: RS-8 Acreage: 44 ACRES

Contact name & phone number for publication and notifications to the public (if different from the applicant): Matthew Taylor 615-890-7901

E-mail: mtaylor@sec-civil.com

APPLICANT'S SIGNATURE (required): Cornerstone Development, LLC By Harry Minge
DATE: 5-26-16

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: 6/26/16 MPC YR.: MPC #: 2016-428

Amount paid: 600.00 Receipt #: 364015

Revised 1/2010

**SEC, Inc.**

SITE ENGINEERING CONSULTANTS

Engineering • Surveying • Land Planning  
850 Middle Tennessee Blvd, Murfreesboro, TN 37129  
www.sec-civil.com • 615-890-7901 • fax 615-895-2567

June 1, 2016

Mr. Matthew Blomeley  
Murfreesboro Planning & Engineering Dept  
111 W. Vine St  
Murfreesboro, Tennessee 37130

RE: Rezoning Request Cover Letter  
Armstrong Valley Road  
Murfreesboro, Tennessee  
SEC Project No. 07094

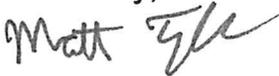
Dear Mr. Blomeley:

Please accept this letter along with the attached application form as our official request to the City of Murfreesboro to rezone Parcel 30.00 & 30.01 of Tax Map 124. The entire area for this request is approximately 44 acres in size. The property is currently undeveloped and is located along Armstrong Valley Road. Presently, the property is zoned RS-15. It was previously annexed and zoned as a PRD to allow for 165 detached active adult dwelling units. That specific development did not occur and the original property owners retained ownership of the property and requested a rezoning to RS-15. The applicant is requesting rezoning to RS-8 to allow the zoning to match the neighboring Westwind Subdivision. The applicant is also the developer of Westwind and intends for this property to serve as an extension of Westwind.

We have attached an exhibit related to this project showing the relation of this property to surrounding developments.

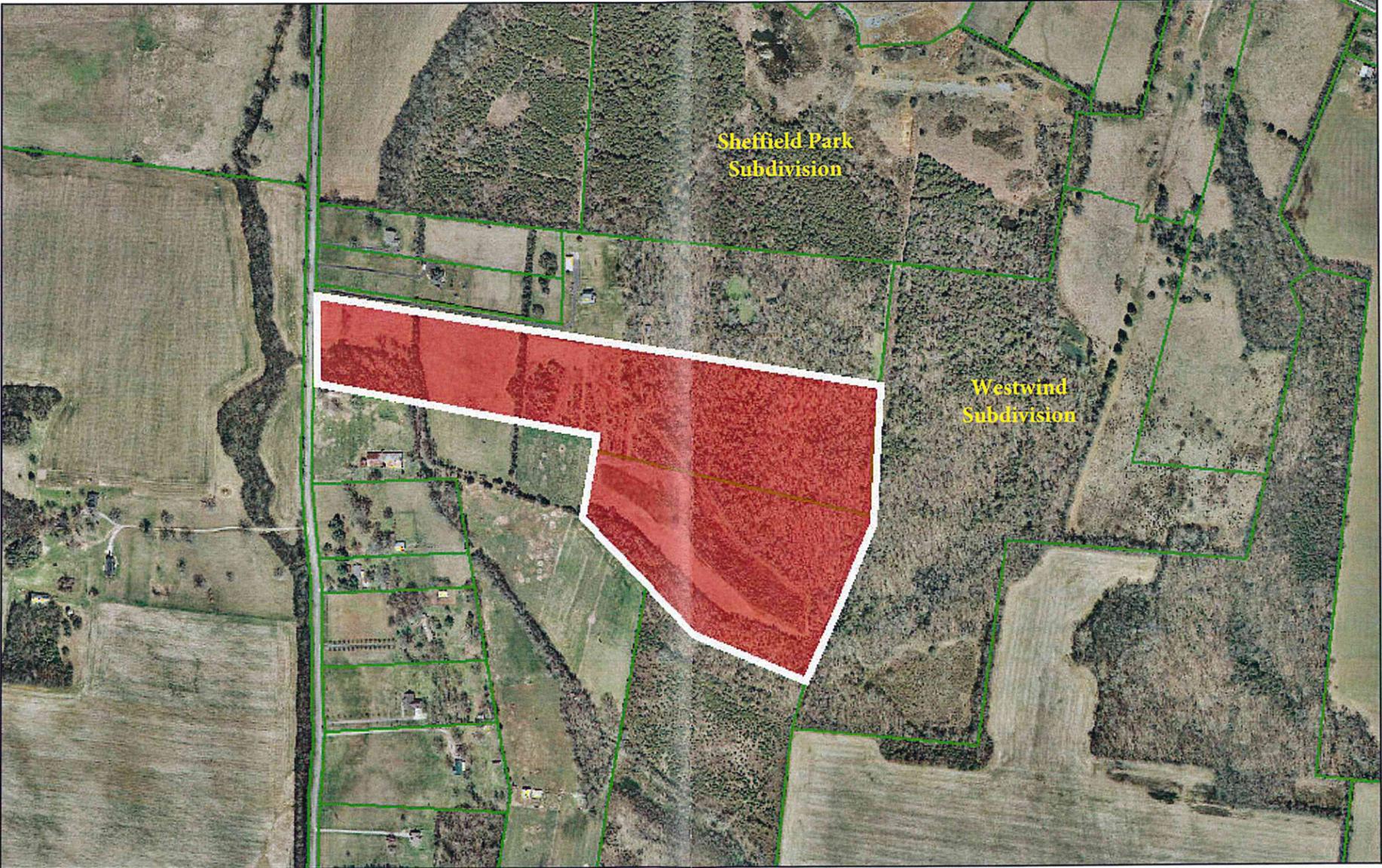
If you should have any questions concerning this request, please feel free to call me at (615) 890-7901 or via email at [mtaylor@sec-civil.com](mailto:mtaylor@sec-civil.com)

Sincerely,



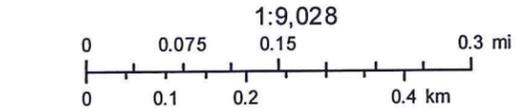
Matt Taylor, P.E.  
SEC Inc.

# Murfreesboro Web Map



June 1, 2016

- PARKS
- Schools
- Street Centerline**
  - INTERSTATE
  - US/STATE HWY
- MAJOR RD
- Parcels



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