

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**October 5, 2016
7:00 PM**

**Bob Lamb
Chairman**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Approve minutes of the June 22, 2016 and August 17, 2016 Planning Commission meetings.**
- 4. Public Hearings:**
 - a. Annexation Plan of Services and annexation petition [2016-515] for approximately 236.8 acres located along South Rutherford Boulevard, Thomas Hoover, Elizabeth Clark, Etal. applicants.
 - b. Zoning application [2016-446] for approximately 227.7 acres located along South Rutherford Boulevard to be zoned CH simultaneous with annexation, FedEx Ground applicant.
 - c. Annexation Plan of Services and annexation petition [2016-512] for approximately 77.1 acres located along Manchester Pike & Dilton Mankin Road, Mankin Family Limited Partnership applicant.
 - d. Zoning application [2016-447] for approximately 77.1 acres located along Manchester Pike & Dilton Mankin Road to be zoned PRD (Mankin Pointe) simultaneous with annexation, Ole South Properties Inc. applicant.
 - e. Annexation Plan of Services and annexation petition [2016-516] for approximately 21.5 acres located along West Thompson Lane, Diane & Grant Kelley applicants.
 - f. Zoning application [2016-445] for approximately 21.5 acres located along West Thompson Lane to be zoned PRD simultaneous with annexation, to rezone approximately 1.5 acres from RS-15 to PRD and to rezone

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

October 5, 2016

approximately 1.1 acres from CU to PRD (Caroline Farms), Steven Dotson applicant.

- g.** Zoning application [2016-452] for approximately 6.6 acres located along Salem Creek Drive to be rezoned from OG to PRD (Ashton at Salem Creek), David Alcorn applicant.
- h.** Zoning application [2016-443] for approximately 0.72 acre located at 720 Old Salem Road to be rezoned from RM-12 to CH, John Rudd applicant.
- i.** Zoning application [2016-449] for approximately 3.1 acres located along Halls Hill Pike & Journey Drive to be rezoned from RM-16 to RZ (1.8 acres) & CL (1.3 acres), Swanson Development applicant.
- j.** Zoning application [2016-451] for approximately 8 acres located along South Rutherford Boulevard to be rezoned from RS-10 to RZ, Swanson Development applicant.

5. Staff Reports and Other Business:

6. Adjourn.

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

OCTOBER 5, 2016

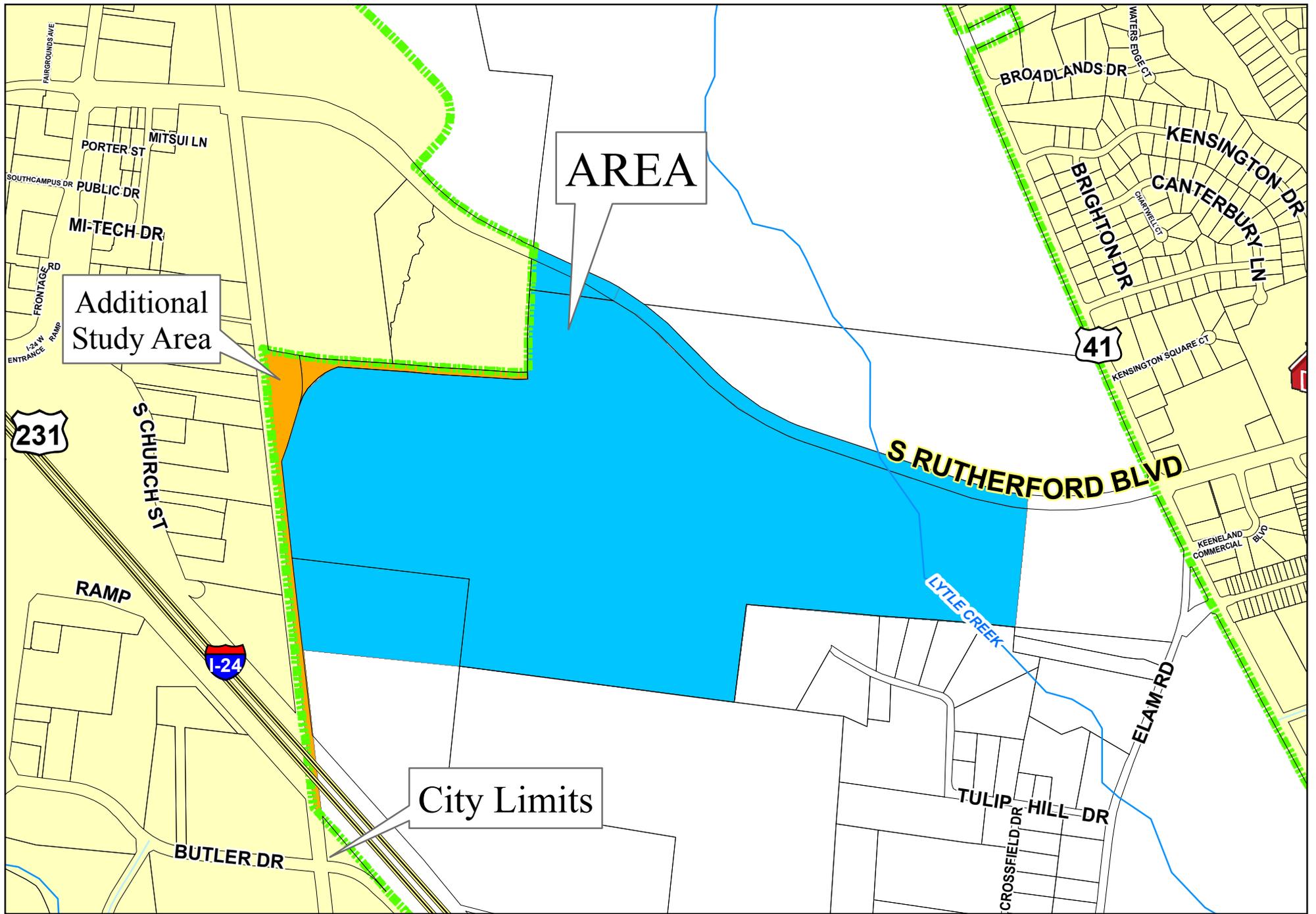
- 4.a. Annexation Plan of Services and annexation petition [2016-515] for approximately 236.8 acres located along South Rutherford Boulevard, Thomas Hoover, Elizabeth Clark, Etal. applicants.**

The requested property is located along the south side of South Rutherford Boulevard east of the CSX railroad tracks and west of Southeast Broad Street. It is undeveloped and consists of portions of three (3) existing parcels, totaling approximately 218.9 acres, which are all located within the City's Urban Growth Boundary and are contiguous with the existing City limits. Written petitions requesting annexation have been filed by the owners of two (2) of the parcels. The applicant has been investigating the possibility of acquiring the 1.6-acre parcel adjacent to Huskey Truss owned by Derryberry; however, no annexation petition for this parcel has been received. If Staff does not receive an annexation petition for the Derryberry parcel prior to the Planning Commission meeting, it will be recommended that this parcel be removed from the annexation.

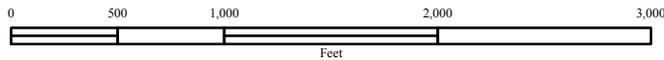
In addition to the requested property, approximately 4,000 linear feet of South Rutherford Boulevard right-of-way has been included in the annexation study. Also included is approximately 6.6 acres of CSX right-of-way and a 2.5-acre parcel owned by James Huskey that contains the spur line for Huskey Truss. This brings the total acreage being studied up to 236.8. Staff has contacted both CSX and Huskey Truss about petitioning the City for annexation of their parcels, because both parcels will be mostly surrounded by the City limits if the requested property is annexed, but at the time of the writing of these comments, the petitions have not been received. Staff has advertised for the annexation of these additional parcels but if no petitions are received prior to the Planning Commission meeting, then it will be recommended that both of these additional parcels be removed from the annexation.

Staff has prepared a plan of services and it has been included in the agenda packet. The plan of services indicates that the City will be able to provide services to the subject property if annexed. A zoning request to have the property zoned CH (Commercial Highway District) simultaneous with annexation has also been filed. The zoning request is the next item on the agenda. As an aside, the additional study area parcels are zoned residential in the County and will come into the City with an interim RS-15 (Single-Family Residential 15 District) zoning classification, if annexed.

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Annexation Request for Property Along
S. Rutherford Blvd.**



GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov



PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Thomas Hoover ETAL

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: see letter + signatures from Tune, Entrek in Status: Date: + White PC

P.O. Box 400 Laverne TN 37086 for 200acre Mailing Address (if not address of property to be annexed)

2. Elizabeth Clark

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Status: Date:

Mailing Address (if not address of property to be annexed)

3. Samuel Lassester

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: see Pinnacle Bank Signatures + Letter Status: Date:

Mailing Address (if not address of property to be annexed)

4. Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Status: Date:

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: X Yes

Power of Attorney applies and is attached: X Yes No

RECEIVED SEP 01 2016

BY:

TUNE, ENTREKIN & WHITE, P.C.

ATTORNEYS AT LAW

JOHN C. TUNE
1931-1983

ERVIN M. ENTREKIN
1927-1990

SUITE 1700
315 DEADERICK STREET
NASHVILLE, TENNESSEE 37238

TEL (615) 244-2770 FAX (615) 244-2778

*Rule 31 listed General Civil Mediator

THOMAS V. WHITE
JOHN W. NELLEY, JR.
THOMAS C. SCOTT
PETER J. STRIANSE
HUGH W. ENTREKIN
JOHN P. WILLIAMS *
ROBERT L. DELANEY
GEORGE A. DEAN
LESA HARTLEY SKONEY
JOSEPH P. RUSNAK
TODD E. PANTHER *
DAVID B. GRAY
SHAWN R. HENRY
T. CHAD WHITE
BRANDT M. MCMILLAN *
CHRISTOPHER B. FOWLER

August 2, 2016

City of Murfreesboro
Attn: Gary Whitaker
111 W. Vine Street
Murfreesboro, TN 37130

RECEIVED
SEP 01 2016

BY:

Dear Mr. Whitaker:

The undersigned owns property containing approximately 200 acres located on S. Rutherford Boulevard, Murfreesboro, Tennessee, and more particularly described on the drawing attached hereto as Exhibit A (the "Property"), which Property is a portion of Tax Map and Parcel No. 112-00200.

The undersigned hereby gives consent/authorization to FedEx Ground Package System, Inc., a Delaware corporation, and its consultant, Stantec Consulting Services, Inc. to file an application for Annexation and Rezoning and to represent such request on the undersigned's behalf before the City Staff, Planning Commission, and City Council.

Sincerely,

Estate of Louis Bush Cole, Sr., Louis Bush Cole, Jr., Jerry Colley, Sr., Jerry Colley, Jr., E. H. Hoover, III, Eleanor L. Hoover, Paul Anthony Hoover, Thomas S. Hoover, Sr., Martha Houston, Melinda Milam, Eleanor Elizabeth Hoover IRRV Trust, and TSH 2003A Land Company LP

By: 
T. Chad White, Attorney-in-Fact

Exhibit A



RECEIVED
SEP 01 2016

BY:

August 17, 2016

Mr. Gary Whitaker, Planning Director
City of Murfreesboro
111 W. Vine Street, 2nd Floor
Murfreesboro, Tennessee 37130

Dear Mr. Whitaker:

The undersigned own property containing approximately 17 acres located on S. Rutherford Boulevard, Murfreesboro, Tennessee, and more particularly described on the drawing attached hereto as Exhibit A (the "Property"), which Property is a portion of Tax Map and Parcel No. 113-013.00.

The undersigned hereby give consent/authorization to FedEx Ground Package System, Inc., a Delaware corporation FedEx and its consultant, Stantec Consulting Services, Inc. to file an application for Annexation and Rezoning and to represent such request on the undersigned's behalf before the City Staff, Planning Commission and City Council.

Sincerely,


ELIZABETH CLARK

SAMUEL LASSETER

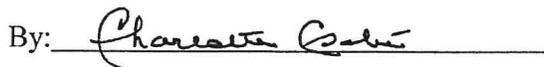
MERCEDES LUCIA SUAREZ

PINNACLE BANK AS SUCCESSOR TRUSTEE
UNDER WILL OF ROBERT C. LASSETER, JR.
FBO SAMUEL LEE LASSETER

By: 

Title: SR VICE PRESIDENT + TRUST OFFICER

PINNACLE BANK AS SUCCESSOR TRUSTEE
UNDER WILL OF ROBERT C. LASSETER, JR.
FBO MERCEDES LUCIA SUAREZ

By: 

Title: SR VICE PRESIDENT + TRUST OFFICER

PINNACLE BANK AS SUCCESSOR TRUSTEE
UNDER WILL OF ROBERT C. LASSETER, JR.
FBO ELIZABETH L. HULL CLARK

By: Charlene Galt

Title: SR VICE PRESIDENT + TRUST OFFICER

August 16, 2016

Mr. Gary Whitaker, Planning Director
City of Murfreesboro
111 W. Vine Street, 2nd Floor
Murfreesboro, Tennessee 37130

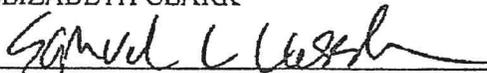
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The undersigned hereby give consent/authorization to FedEx Ground Package System, Inc., a Delaware corporation FedEx and its consultant, Stantec Consulting Services, Inc. to file an application for Annexation and Rezoning and to represent such request on the undersigned's behalf before the City Staff, Planning Commission and City Council.

Sincerely,

ELIZABETH CLARK



SAMUEL L. LASSETER



MERCEDES LUCIA SUAREZ

PINNACLE BANK AS SUCCESSOR TRUSTEE
UNDER WILL OF ROBERT C. LASSETER, JR.
FBO SAMUEL LEE LASSETER

By: _____

Title: _____

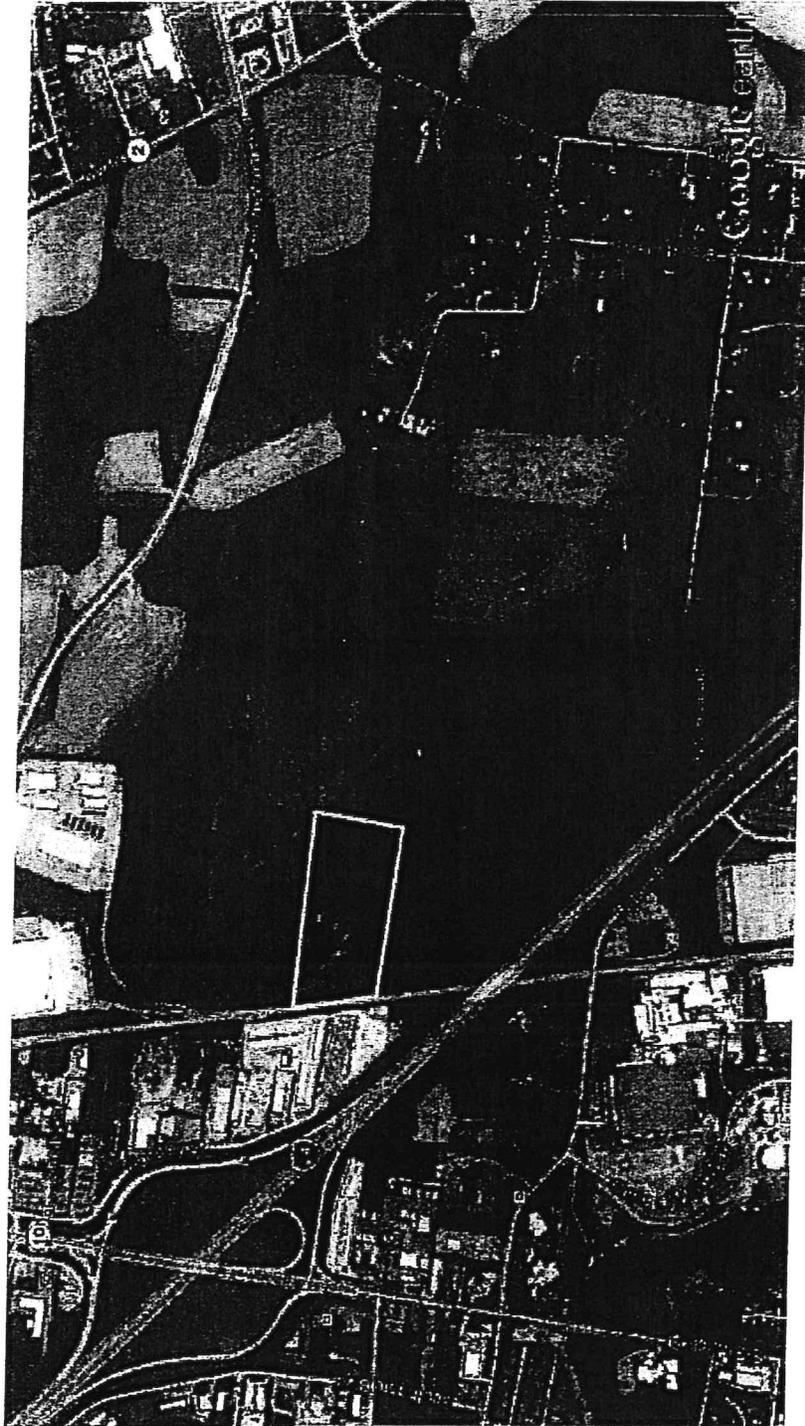
PINNACLE BANK AS SUCCESSOR TRUSTEE
UNDER WILL OF ROBERT C. LASSETER, JR.
FBO MERCEDES LUCIA SUAREZ

By: _____

Title: _____

EXHIBIT A

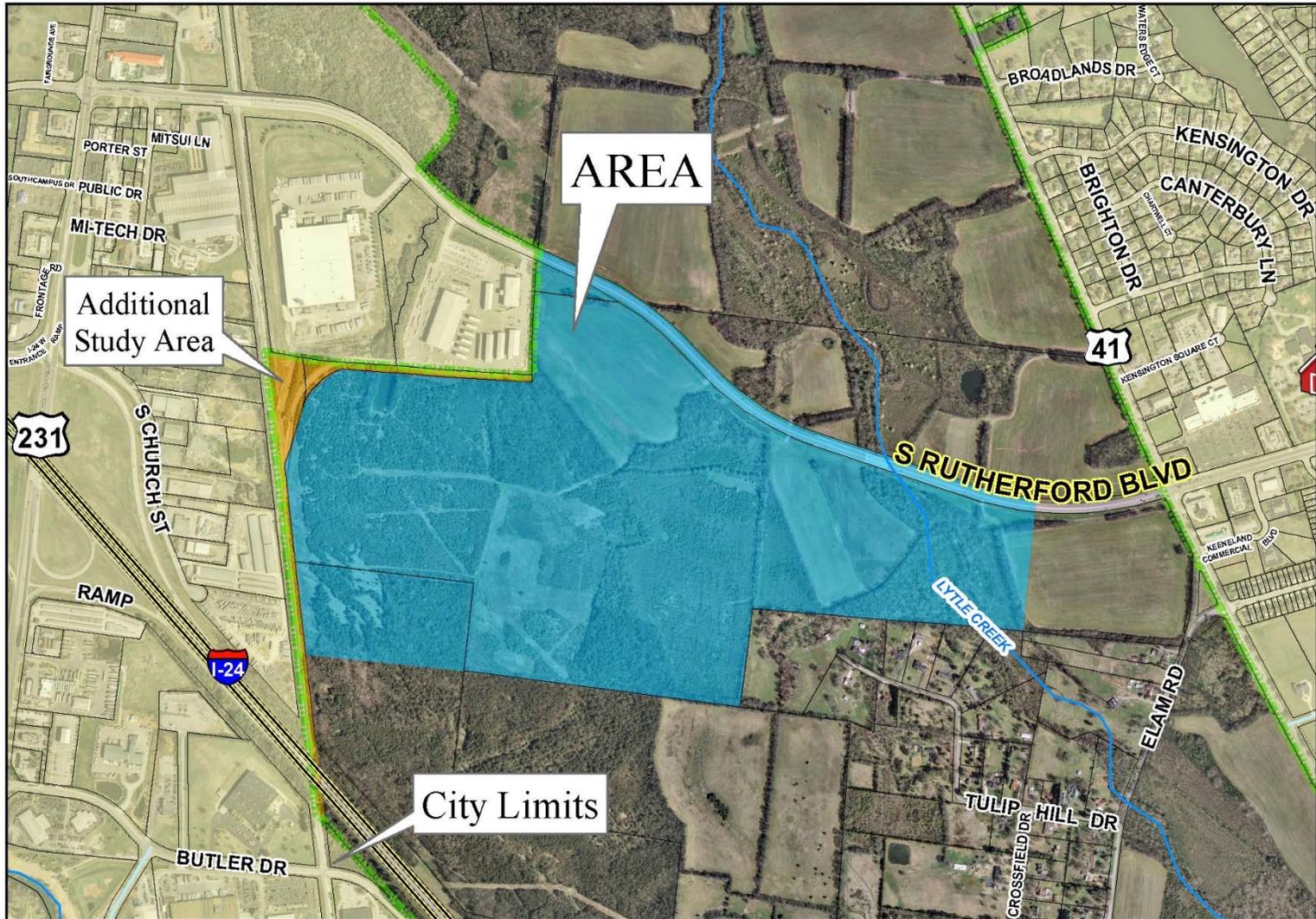
DRAWING OF PROPERTY



**ANNEXATION REPORT FOR PROPERTY LOCATED
ALONG SOUTH RUTHERFORD BOULEVARD
INCLUDING PLAN OF SERVICES**



PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
October 5, 2016



**Annexation Request for Property Along
S. Rutherford Blvd.**



Path: G:\planning\annex\hooverprop8_2016ortho.mxd



GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

INTRODUCTION

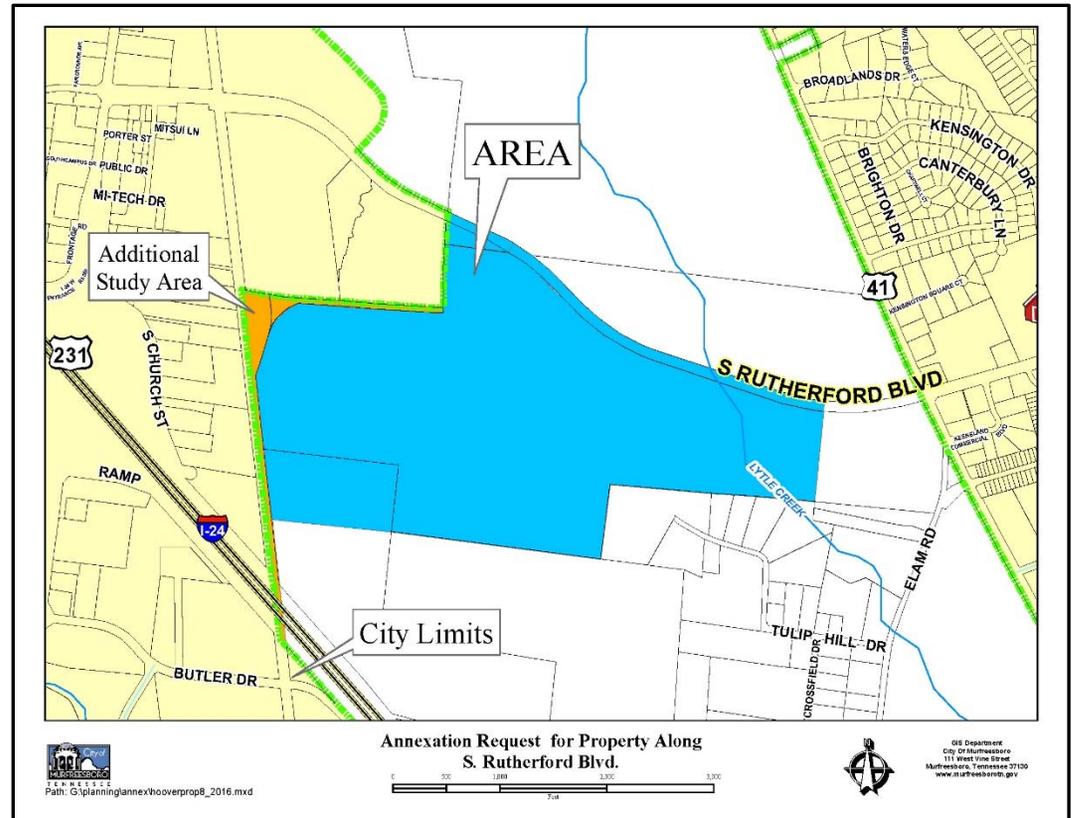
OVERVIEW

The applicant, FedEx Corporation, has requested annexation of property located along the south side of South Rutherford Boulevard.

The area studied in this Plan of Services includes: a 199.1-acre portion of a 459-acre parcel (Tax Map 112, Parcel 2.00); a 17.4-acre portion of a 72-acre parcel (Tax Map 113, Parcel 13.00); a 1.6-acre parcel (Tax Map 112, Parcel 1.00); and an adjacent 4,000-linear foot, eight-acre portion of right-of-way along South Rutherford Boulevard. (Note: All acreages are approximate.)

Additionally, a 2.5-acre parcel (Tax Map 113, Parcel 11.05) and a 3,300-linear foot, 6.6-acre portion of right-of-way along the CSX railroad located west of the study area are included in the plan of services. These properties constitute the “additional study area” shown on the adjacent map. (Note: All acreages are approximate.)

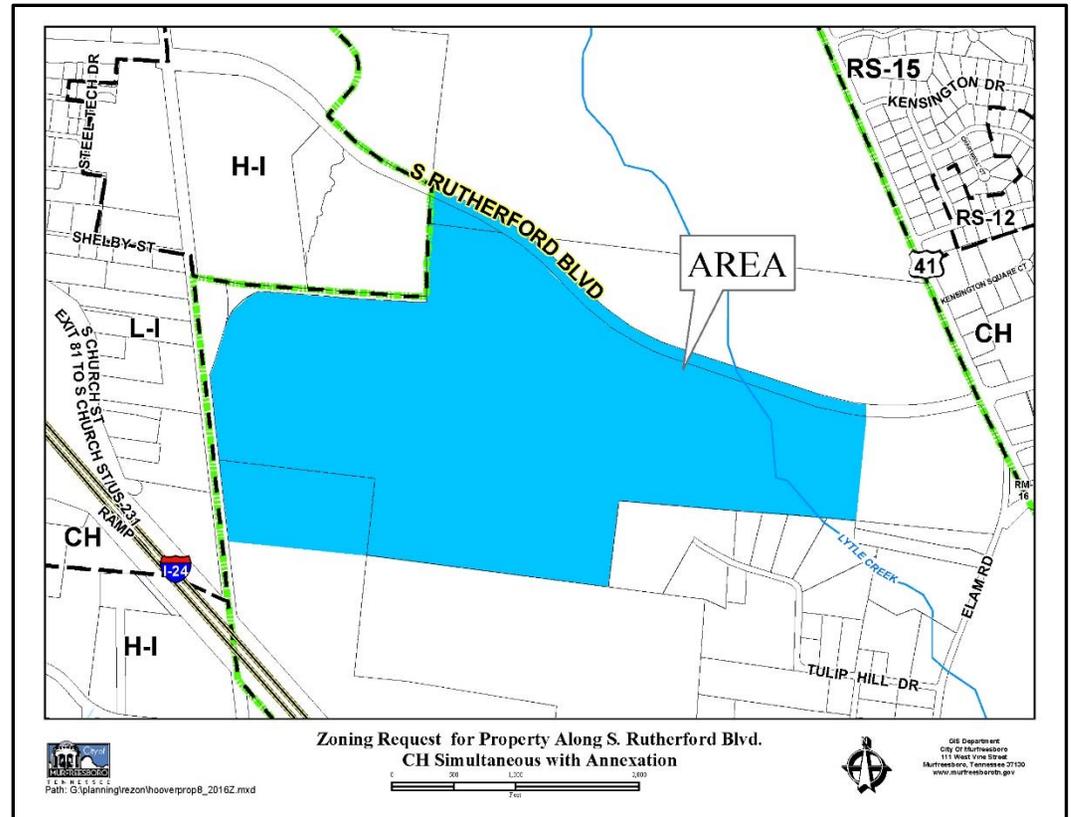
The study lies within the City of Murfreesboro’s Urban Growth Boundary and borders the City on the west and northwest. Adjacent areas to the northeast, south, and east lie within the unincorporated County.



CITY ZONING

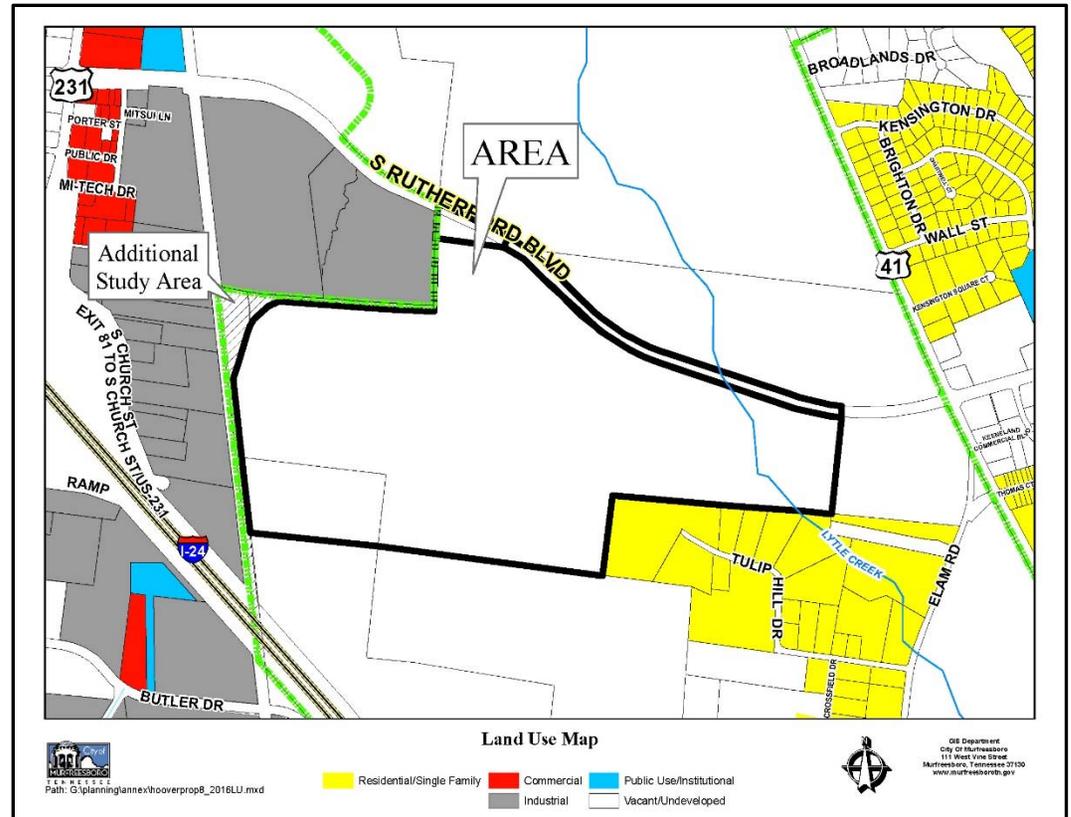
The applicant has requested rezoning to CH (Highway Commercial District) simultaneous with annexation. The study area is presently zoned RM (Residential – Medium Density) in the County.

The adjacent property to the northwest of the study area is located within the City and is zoned H-I (Heavy Industrial District). Adjacent properties to the west of the study area are also located within the City and are zoned L-I (Light Industrial District). Adjacent properties to the northeast, south, and east of the study area are located within the unincorporated County and are zoned RM.



PRESENT AND SURROUNDING LAND USE

The study area is presently vacant. Adjacent properties to the west and northwest and presently used for industrial purposes. A single-family residential subdivision adjoins the study area on the southeast. Other adjacent properties on the northeast, south, and east are presently vacant.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2016 will be due on December 31, 2017. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$1.2703/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Tommy Hoover et al.	199.1	\$393,370	N/A	\$98,342	\$1,249
Elizabeth L. Clark	17.4	\$9,451	N/A	\$2,363	\$30
James Allen Huskey et ux.	2.5	\$365,500	N/A	\$146,200	\$1,857
Derryberry Bettie	1.6	\$3,938	N/A	\$984	\$13
Total	220.5	\$772,259	N/A	\$247,889	\$3,149

These figures are for the property in its current state. Note that the Tommy Hoover et al. property includes a total of 459 acres; however, the study area includes only a 199.1-acre portion of the property. All figures for the Tommy Hoover et al. property are based on the 43.38 percent share of the property's area included in the study area. The Elizabeth L. Clark property includes a total of 72 acres; however the study area includes only a 17.4-acre portion of the property. All figures for the Elizabeth L. Clark property are based on the 24.17 percent share of the property's area included in the study area. The Bettie Derryberry property includes a total of 250 acres; however, the study area includes only a 1.6-acre portion of the property. All figures for the Bettie Derryberry property are based on the 0.65 percent share of the property's area included in the study area.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police service through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE and other community crime prevention programs to the subject parcels immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Police Department. No additional costs to the department are expected. This property is located in Police Zone #7.

ELECTRIC SERVICE

The property is located within Murfreesboro Electric Department's (MED) service boundary. MED has facilities and capacity in place to serve the proposed development. The electrical infrastructure installed to serve the proposed development will be required to adhere to MED standards.

STREET LIGHTING

According to MED, street lighting will be installed on the property if any future development on the property includes public streets.

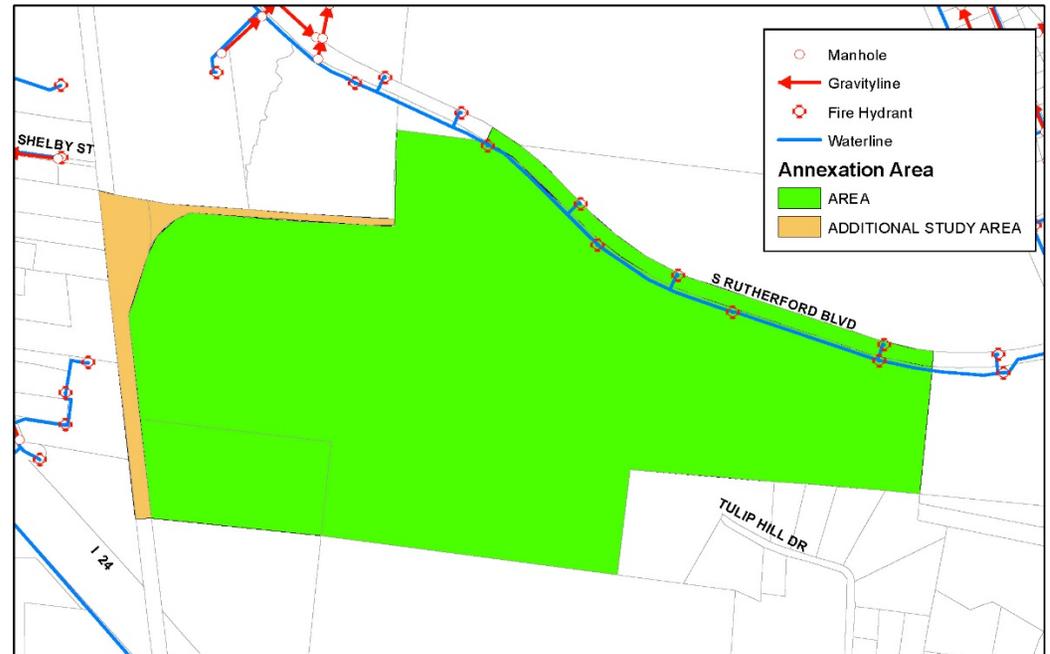
STREETS AND ACCESS

The study area currently has access to South Rutherford Boulevard, a major arterial, on the north. Upon annexation, the 4,000-linear foot portion of South Rutherford Boulevard included in the study area will become the responsibility of the City of Murfreesboro. Any future development of the study area should include a public roadway extension to the south with an intersection on Rutherford Boulevard approximately 500 feet west of Lytle Creek. Additionally, turn lane improvements may be required as part of any future development. Any future public roadway facilities serving the study area must be constructed to City standards.

WATER SERVICE

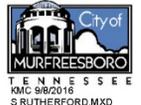
The study area lies within Murfreesboro Water and Sewer Department's (MWSD) service area. The study area is presently served by a 16-inch water line which runs along the south side of South Rutherford Boulevard. Should any new uses be proposed on the property, the developer/owner shall submit a Water Availability Request to MWSD.

The existing water lines are shown on the adjacent map. Any new water line development must be done in accordance with MWSD's development policies and procedures.



MURFREESBORO WATER AND SEWER DEPARTMENT

Annexation Request for South Rutherford Blvd.

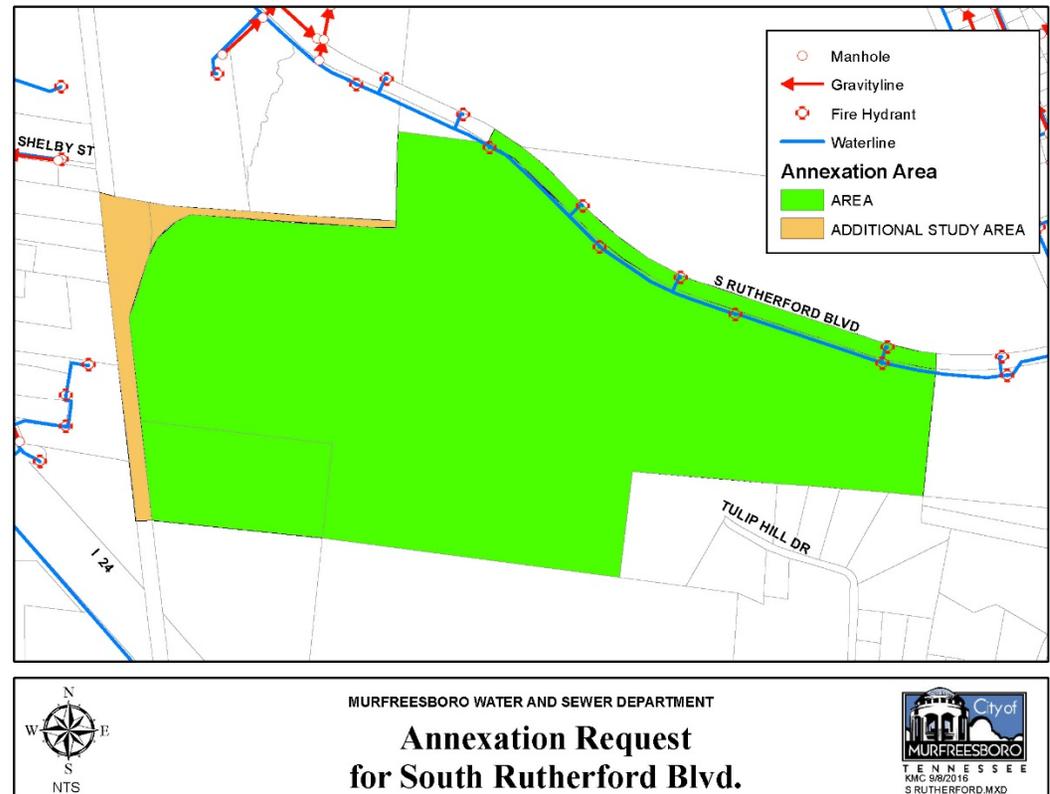


SANITARY SEWER SERVICE

Sanitary sewer is not currently available to serve the subject property, per the Murfreesboro Water and Sewer Department's (MWSD) definition of "available." Sanitary sewer can be extended to the study area in one of three ways, all of which require the acquisition of easements from neighboring property owners: 1) extend sewer from the Murfree and Derryberry properties east parallel to the northern right of way on South Rutherford Boulevard and bore to the south side of the study area; 2) extend sewer south and east from the Huskey Truss property to the study area; or 3) extend sewer from the Huskey Truss and Derryberry properties east parallel to the southern right-of-way of South Rutherford Boulevard to the study area.

The developer should anticipate working with MWSD on a proposed route for the Lytle Creek Interceptor Extension. Easements will be required for this future extension.

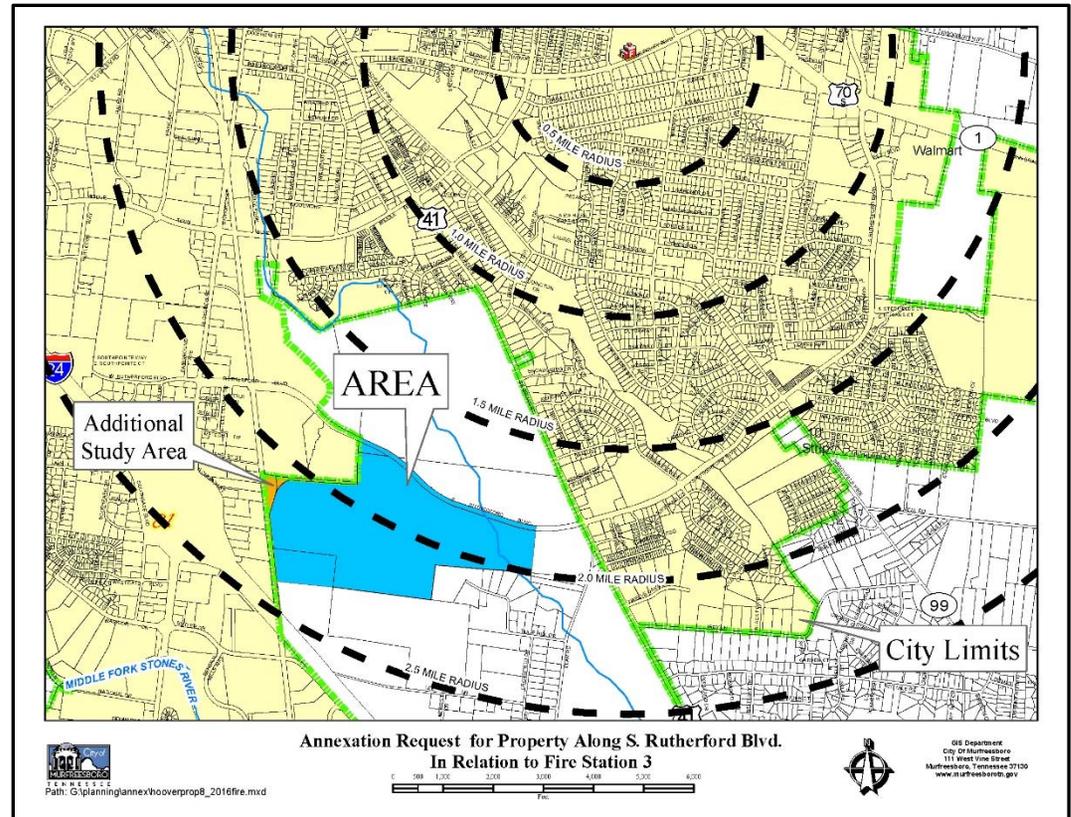
All sewer main improvements and easements needed to serve the subject properties are to be acquired and installed by the developer in accordance with MWSD's development policies and procedures. The red lines on the adjacent map represent existing sewer lines.



FIRE AND EMERGENCY SERVICE

The annexation will have no negative impact on the Murfreesboro Fire and Rescue Department (MFRD). The MFRD will provide fire protection with a full-time, professional staff as well as medical first responder service. Any development on the site must provide adequate fire flows and install water lines and fire hydrants per the Murfreesboro Water and Sewer Department (MWSD) policies and procedures.

The closest fire station to the subject tract is Fire Station #3, located at 1511 Mercury Boulevard, 3.0 miles from the study area. MFRD headquarters, located at 202 East Vine Street, is 3.2 miles from the study area. The MFRD can provide ISO Class Two (2) fire protection. The dashed lines on the adjacent map represent linear distance ranges from the nearest fire stations.



SOLID WASTE COLLECTION

The City will provide weekly curbside solid waste collection service immediately upon the effective date of annexation, as well as brush/debris removal every two to three weeks. The initial day of service will be Thursday. In its current state, no additional equipment or manpower will be needed to serve the study area.

BUILDING AND CODES

The property will immediately come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports.

These facilities and programs are wholly funded by the Murfreesboro tax payers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The study area is located in the Black Fox Elementary school zone. However, because the study area is proposed for commercial use, any development on the area should have minimal impact on the school system.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

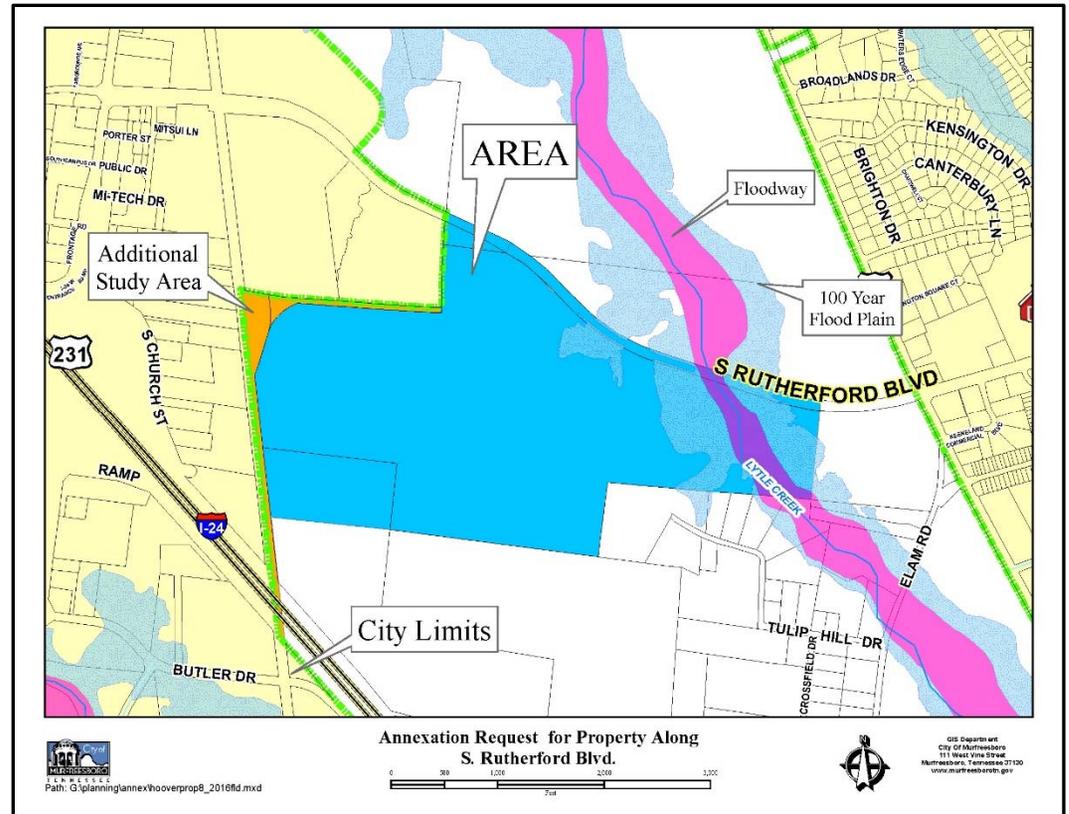
PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

FLOODWAY

A portion of the study area is located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

The adjacent map shows the floodway boundary in purple and the 100-year floodplain boundary in blue.

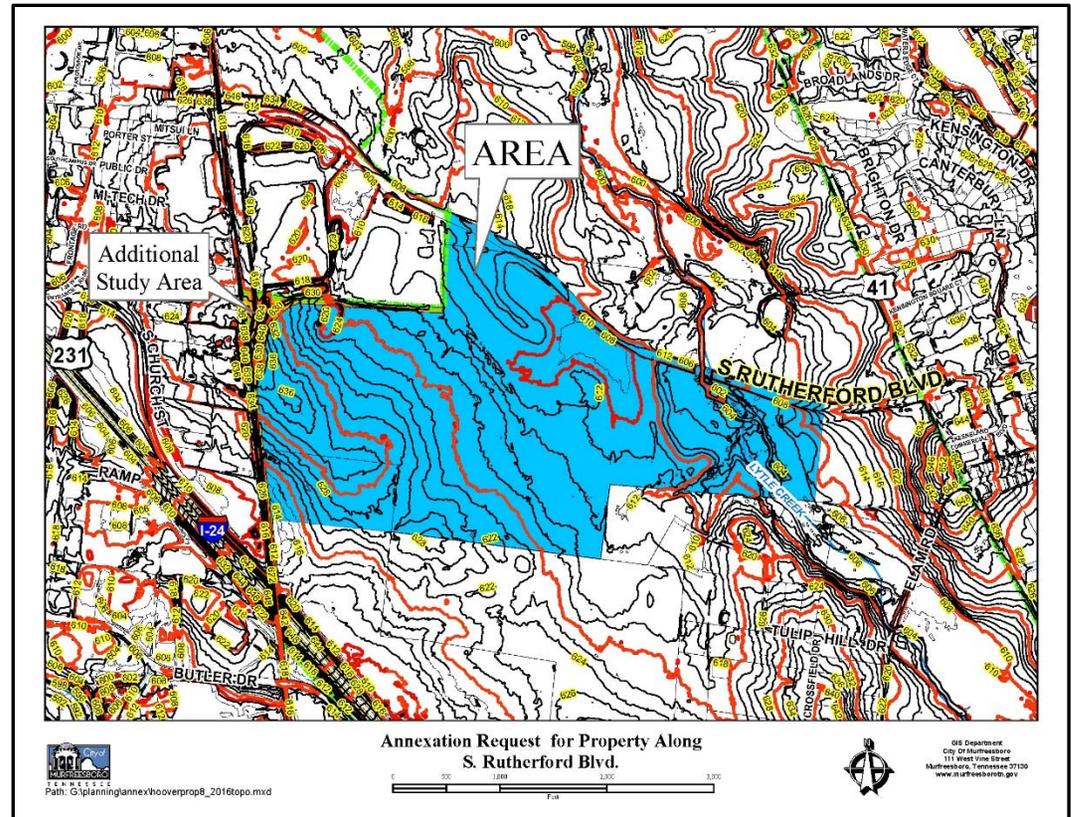


DRAINAGE

The eastern portion of the study area drains to Lytle Creek, while the central portion of the study area drains northward to an existing cross drain before emptying into Lytle Creek. The southwestern portion of the study area drains to West Fork Stones River. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

New development on the property must meet the City's requirements for building in the floodplain, including properly elevating structures and preventing encroachments in the floodway. Any alterations to Lytle Creek will require appropriate state and federal permits. Any future development must include a 50-foot Water Quality Protection Area from top of bank on each side of Lytle Creek.

New development on the property must also meet overall City of Murfreesboro Stormwater Quality requirements including water quality and detention. Future development in the study area will be subject to the Stormwater Utility Fee upon completion of construction. Based on the proposed residential land use and considering applicable credits, this property has the potential to generate \$36,000 in Stormwater Utility Fees annually upon full development. The red lines on the adjacent map represent ten-foot contours. The black lines represent two-foot intervals.



ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

4.b. Zoning application [2016-446] for approximately 227.7 acres located along South Rutherford Boulevard to be zoned CH simultaneous with annexation, FedEx Ground applicant.

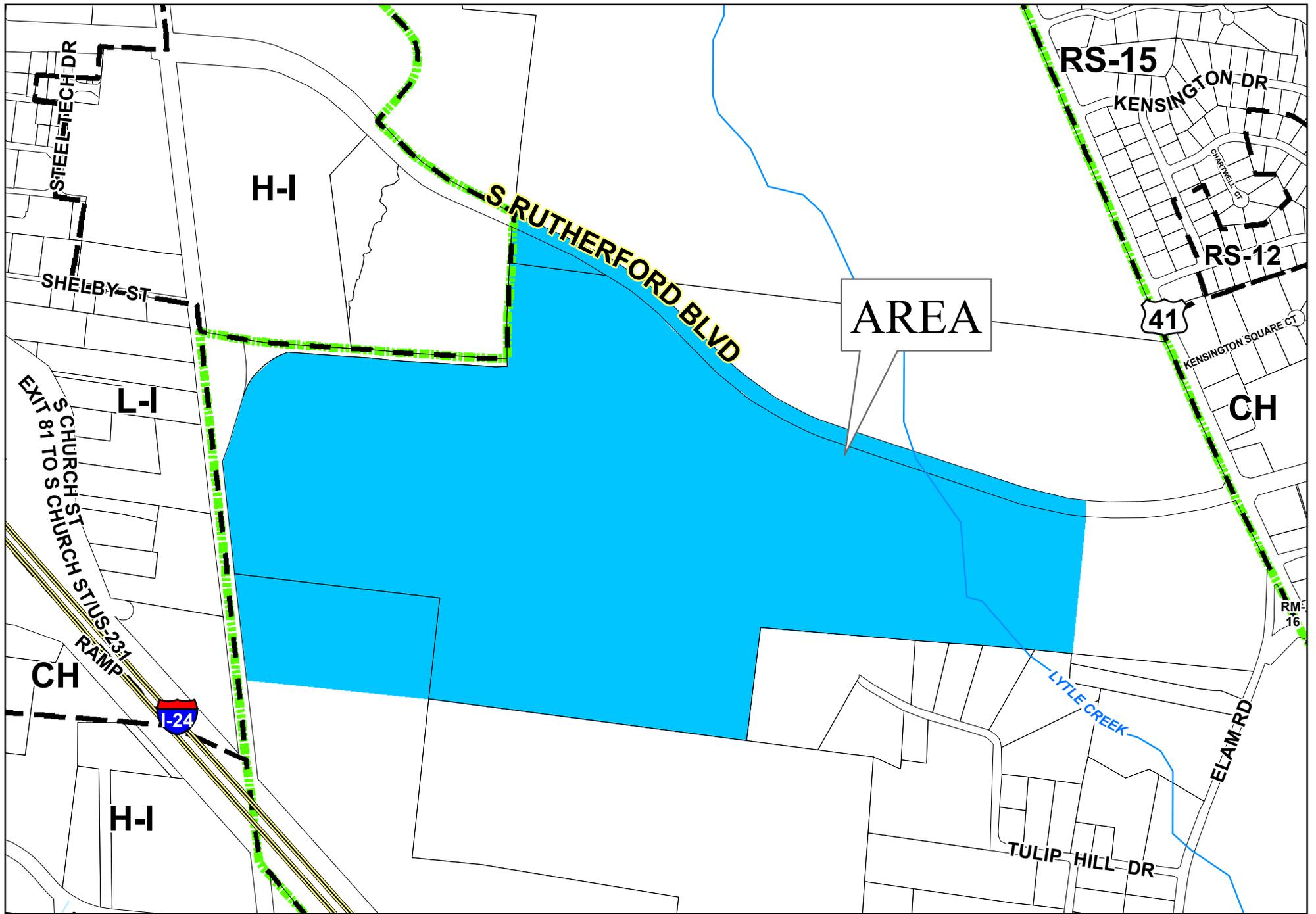
The requested property is located along the south side of South Rutherford Boulevard east of the CSX railroad tracks and west of Southeast Broad Street. It is undeveloped and consists of portions of three (3) existing parcels, totaling approximately 218.9 acres. In addition, Lytle Creek and its floodway are located in the eastern portion of the requested property. The previous item on the agenda was the annexation petition and plan of services. (The 8.8 acres of right-of-way included in the annexation brings the total acreage for the zoning request to 227.7 acres.) The applicant has requested a zoning classification of CH (Commercial Highway District) simultaneous with annexation. (Note: If the 1.6-acre Derryberry property is removed from the annexation, it will also be removed from this zoning request.)

Facilities for Huskey Truss and Southern Container are located to the northwest of the subject property and are zoned H-I (Heavy Industrial District). CSX railroad right-of-way borders the subject property on its west side. Further to the west are a variety of commercial uses zoned L-I (Light Industrial) located along the South Church Street frontage road. Directly to the south of the subject property are several large undeveloped tracts that are currently zoned RM (Medium Density Residential) in the unincorporated County. Also to the south are a number of existing single-family residential homes located along Tulip Hill Drive in the unincorporated County. To the east, also zoned RM in the unincorporated County, is the undeveloped remainder of one of the subject parcels. To the north, across South Rutherford Boulevard, is another large undeveloped tract zoned RM in the unincorporated County.

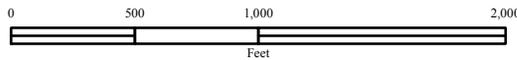
The applicant, FedEx Ground, wishes to develop a new 947,842 square-foot distribution center on the subject property. This use is classified as "warehousing and transporting" in the Zoning Ordinance. This use is permitted by right in the CH zone. The applicant has submitted for Planning Commission site plan review even though the annexation and zoning requests have not yet been approved. Any approval of the site plan will be subject to the annexation of the property and its zoning to CH. The design team will be submitting a traffic study for Staff to review as a function of the site plan review process and Staff expects road improvements to be required in conjunction with this development. In addition, the design team is aware that there are existing single-family homes to the south of the subject property, and they have indicated in their application materials a willingness to exceed minimum buffering requirements along these property lines.

A neighborhood meeting has been scheduled for 6:00 PM on October 3rd at Patterson Park Community Center.

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



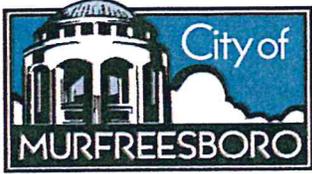
**Zoning Request for Property Along S. Rutherford Blvd.
CH Simultaneous with Annexation**



GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov



REZONING APPLICATION FORM



Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

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REZONING APPLICATION FORM
\$600.00 per application

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: FedEx Ground & Stantec Consulting Services

Address: 601 Grassmere Park Rd #22 City/State/Zip: Nashville, TN 37211

Phone: 615-440-0225 E-mail address: cherie.akers@gmail.com

PROPERTY OWNER: 1Tommy Hoover Etal & 2Elizabeth Clark

Street Address or property description: 1P.O. Box 400 Lavergne, TN 37086
25056 Sulphur Springs Rd, Murfreesboro, TN 37129

and/or Tax map #: 112 & 113 Group: n/a Parcel (s): 002.00 & 013.00

Existing zoning classification: RM - Rutherford

Proposed zoning classification: CH-Hwy Commercial Acreage: 217 +/- acres (200.18 & 17.11 acres)

Contact name & phone number for publication and notifications to the public (if different from the applicant): Cherie Akers, AICP

E-mail: cherie.akers@stantec.com/615-885-1144 (office) or 615-440-0225 (cell)

APPLICANT'S SIGNATURE (required): [Handwritten Signature]

DATE: 9/1/2016

***** For Office Use Only *****

Date received: MPC YR.: MPC #: 201644ce/515

Amount paid: 600 Receipt #: 914975ch#

Receipt 364037 Revised 1/2010



September 1, 2016

Attention: Mr. Gary Whitaker
Planning Director
City of Murfreesboro
111 W. Vine Street
Murfreesboro, Tennessee 37130

Reference: Annexation and Rezoning Request
Described as Tax Map #112, Parcel 002.00 (200+/- acres) and Tax Map # 113, Parcel 013.00 (17 +/-acres) located on South Rutherford Boulevard in Rutherford County, Tennessee

Dear Mr. Whitaker:

On behalf of our client, the Contract Purchaser, FedEx Ground, and the property owners, Tommy Hoover etal, and Elizabeth Clark, we hereby request the annexation and rezoning of approximately 217+/- acres of property located on Tax Map #112, Parcel 002.00 (200 acres) and Tax Map #113, Parcel 013.00 (17 acres). The subject properties are currently zoned RM in the County. We respectfully request a rezone from RM to the Highway Commercial (CH) Zoning District in the City of Murfreesboro. The subject properties are depicted on the attached location and zoning map. In addition, a summary of the request and project is also provided.

Thank you in advance for considering our request.

Sincerely,

STANTEC CONSULTING SERVICES INC.

Cherie Akers, AICP
Senior Planner/Associate
Phone: (615) 885-1144
Cherie.Akers@stantec.com

Attachment: Existing Location & Zoning Map





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**Murfreesboro Hub – FedEx Ground
Annexation and Rezoning**

NARRATIVE/JUSTIFICATION STATEMENT

FedEx Ground, the contract purchaser is requesting an Annexation and Rezoning of approximately 217+/- acres from Residential Medium (RM- Rutherford County) to Commercial Highway (CH) in order to develop a distribution/warehouse hub in Murfreesboro, Tennessee.

PROJECT SUMMARY

The subject property is comprised of approximately 217+/- acres of undeveloped land located on the south side of South Rutherford Boulevard, approximately 0.25 miles west of the intersection of SE Broad Street and S Rutherford Boulevard in Rutherford County, Tennessee. The subject property is identified by Rutherford county tax map & parcel id's 112-00200 & 113-01300. (See Attached Location Map). The subject property is located within the unincorporated area Rutherford County, however, it is within the Murfreesboro Urban Growth Boundary.

FedEx Ground desires to develop the subject property as a FedEx Ground Hub and the building envelope of the proposed distribution center will have an area of 947, 842 square feet once fully built out. **The applicant is requesting an Annexation and Rezoning from RM to CH in the City of Murfreesboro in order to develop the property as a distribution/warehouse facility for FedEx Ground.**

CURRENT LAND USE & ZONING

The subject property is currently designated as Medium Density Residential (RM) under Rutherford County's jurisdiction. The RM district primarily permits single family detached dwellings and accessory structures. The RM district allows for community facilities, public utilities, and agricultural activities. The current Rutherford County Zoning of RM does not permit the proposed development. As a result, the Applicant is requesting to Annex the property into the City of Murfreesboro and Rezone the property to allow for the proposed development. Pursuant to the Murfreesboro Zoning Ordinance, the proposed distribution center is permitted in the Highway Commercial (CH) and Industrial zoning districts. (see attached current zoning map)

The subject property is located within an area that is characterized by a mix of residential and industrial land uses. A few small subdivisions and single family homes exist southeast of the project site. More specifically the adjacent land uses are as follows:

	Zoning	Current Land Use
NORTH	RM – Rutherford H-I - Murfreesboro	Residential & Industrial (Huskey Truss & Building Supply)
SOUTH	RM - Rutherford	Residential
EAST	RM - Rutherford	Vacant
WEST	H-I - Murfreesboro	Industrial

A rezoning of the Subject Property to the Highway Commercial (CH) District would be consistent with the existing zoning in the immediate vicinity. Additional buffering and screening will be provided along the South Property line to ensure protection of the residential zoned property located to the south.



Electric

Electricity in Rutherford County is typically provided by Middle Tennessee Electric Membership Corporation. Power lines are located on the southern side of the road in South Rutherford Boulevard ROW.

PROPOSED DEVELOPMENT

The Applicant, FedEx Ground anticipates developing a FedEx Ground Hub (distribution center) on the subject property. A Conceptual Site Plan has been provided as a courtesy in order to acquire preliminary comments from City Staff in the anticipation of submitting a full set of Site Plans (drainage, landscape, stormwater, etc.) with the City on September 29, 2016.

The new FedEx Ground Murfreesboro facility will operate as a small-package distribution facility. Vans and tractor-trailers will bring packages to the facility. The packages will be unloaded onto conveyor belts, sorted based off destination, and then loaded onto vans and trailers to be delivered to the next destination.

The building envelope of the proposed distribution center will have an area of 947,842 square feet at full built out. The height of the building is 53'. Phase One will commence in 2018 and includes approximately 791,081 square feet of building and associated truck and auto parking, the remaining 156,761 square feet will be built in Phase II, approximately 3-5 years later.

Primary access to the site is provided via S. Rutherford Boulevard. This entryway allows for vehicular and tractor trailer access. A second entrance is provided for on the boulevard for employee entrance just south of the main access drive. In addition, a future access point further east on S. Rutherford Boulevard is shown as well on the conceptual plan. At full phase build out, approximately 962 parking spaces, including tractor-trailer, and van vehicles spaces will be accommodated on the overall site.

The required setbacks for the CH District are provided, with the exception of the south Property line adjacent to Residential. FedEx is proposing to increase the buffer to 25'. The detailed design of this buffer will be provided with the final site plan set.

FedEx Ground respectfully requests approval of the Annexation and Rezoning from the RM to Highway Commercial (CH) District.

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601 Grassmere Park Road, Suite 22
Nashville TN 37211

CLIENT
NASHVILLE FEDEX HUB

Figure No. _____

1

Title
VICINITY MAP

PROJECT
SEP 01 2016

BY:



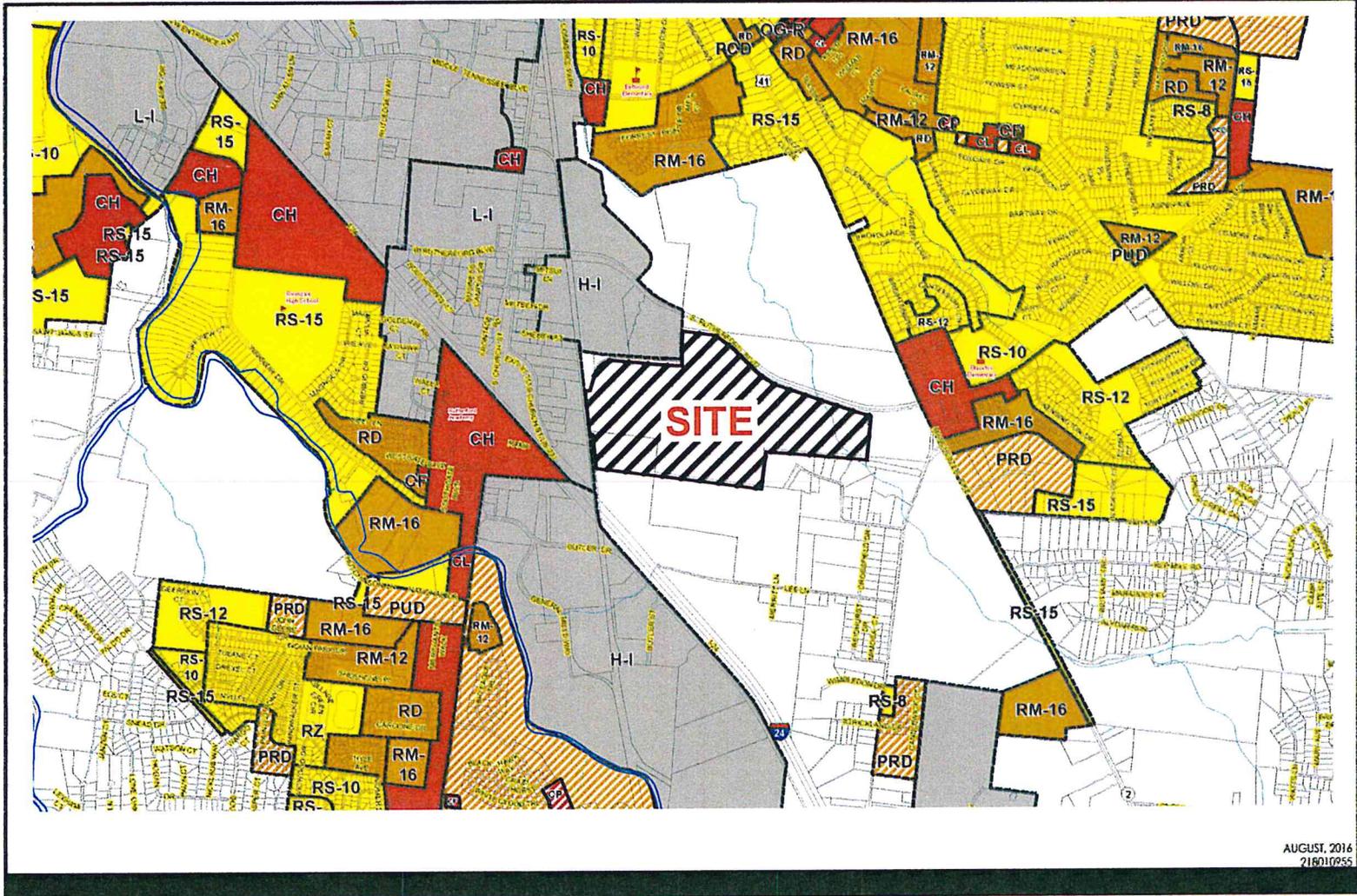
AUGUST, 2016
216010255



601 Grassmere Park Road, Suite 22
Nashville TN 37211

CLIENT
NASHVILLE FEDEX HUB

Figure No.
2
Title
AERIAL



AUGUST, 2016
216010255



601 Grassmere Park Road, Suite 22
Nashville TN 37211

CLIENT
NASHVILLE FEDEX HUB

Figure No.
3

Title
ZONING MAP

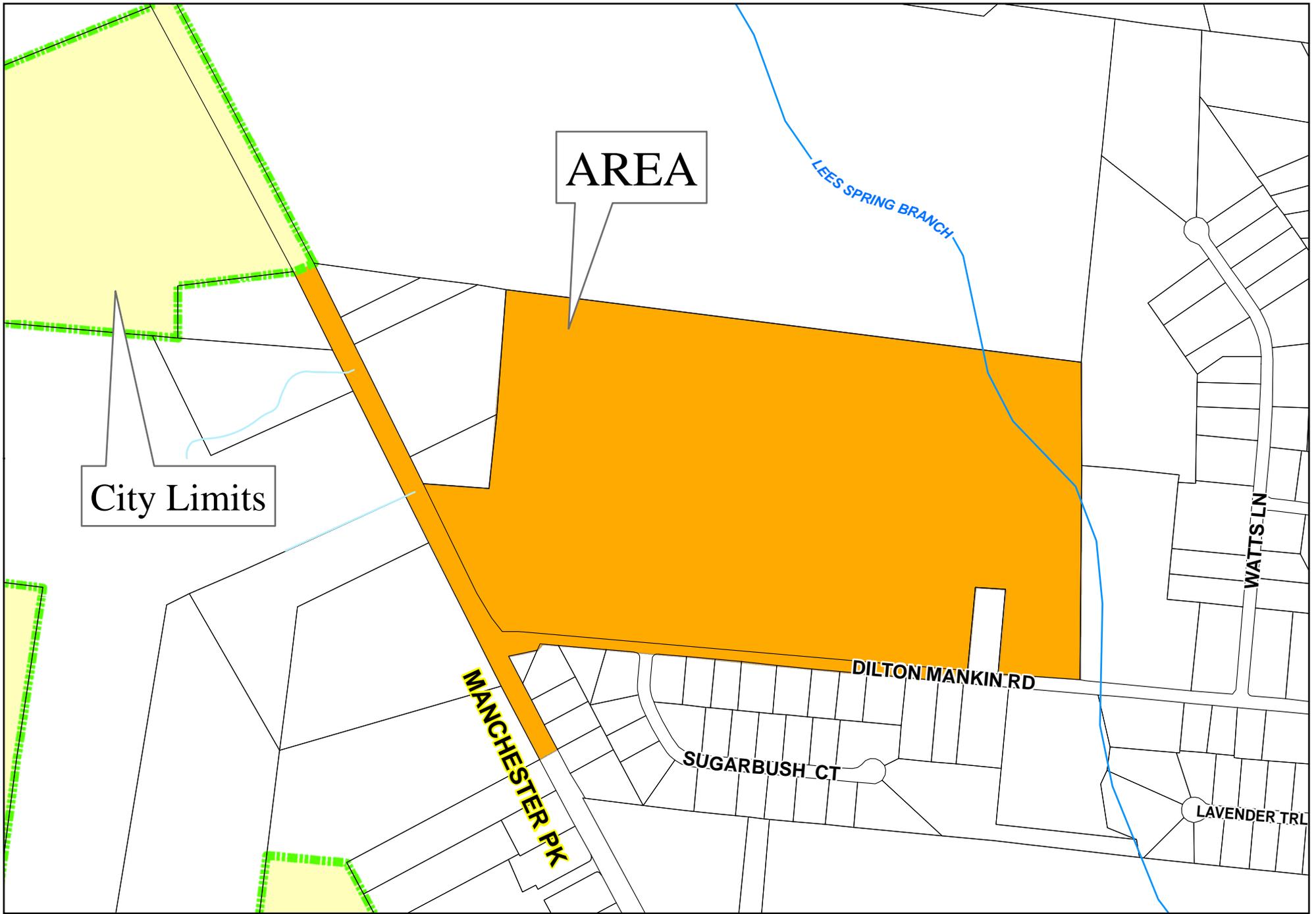
**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

4.c. Annexation Plan of Services and annexation petition [2016-512] for approximately 77.1 acres located along Manchester Pike & Dilton Mankin Road, Mankin Family Limited Partnership applicant.

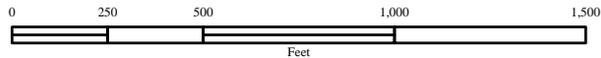
The subject property is located at the northeast corner of the intersection of Manchester Pike and Dilton Mankin Road. The property totals 70.9 acres and is primarily undeveloped. However, there is a single-family residence as well as several agricultural outbuildings located there. A written petition has been filed by the property owner requesting annexation. The requested property is located within the City's Urban Growth Boundary. By itself, it is not contiguous with the existing City limits. In addition to the requested property, however, Staff has also included Manchester Pike right-of-way in front of and north of the subject property in order to make the study area contiguous with the existing City limits. Approximately 2,100 linear feet of Manchester Pike right-of-way, including a segment south of the requested parcel as well, is included in the study area as is approximately 1,800 linear feet of Dilton Mankin right-of-way. The total study area, including right-of-way, is 77.1 acres.

Staff has prepared a plan of services, which is included in the agenda packet. It indicates that the City will be able to provide services to the subject property if annexed. The developer has also filed a request to have the property zoned PRD (Planned Residential District) simultaneous with annexation. The zoning request will be the next item on the agenda. It should be noted that, if the annexation and zoning for this property are both approved, the proposed subdivision will be the first development on a STEP (Septic Tank Effluent Pumping) system since the City Council approved allowing STEP systems in the City as an alternative to sanitary sewer.

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Annexation Request for Property Along
Manchester Pike**



Path: G:\planning\annex\manchesterHwy_DiltonMankin.mxd



GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. MANKIN FAMILY LIMITED PARTNERSHIP
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: Joe William Mankin Status: PARTNER Date: 8/31/2016
130 1/2 S.E. BROAD ST. MURFREESBORO 37130
Mailing Address (if not address of property to be annexed)

2. LINDA D. WILSON
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: Linda D. Wilson Status: PARTNER Date: 9/27/2016
127 Fishers Bend Lane McMinnville, TN 37110
Mailing Address (if not address of property to be annexed)

3. Nancy Bagwell
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: Nancy Bagwell Status: Partner Date: 9-29-16
3528 Dilton Mankin Rd. Murfreesboro TN 37127
Mailing Address (if not address of property to be annexed)

4.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature:
Status:
Date:
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: Yes

Power of Attorney applies and is attached: Yes No

**ANNEXATION REPORT FOR PROPERTY LOCATED AT
3545 MANCHESTER PIKE
INCLUDING PLAN OF SERVICES**



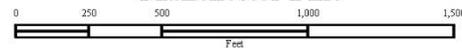
PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
October 5, 2016



**Annexation Request for Property Along
Manchester Pike**



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GIS Department
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111 West Vine Street
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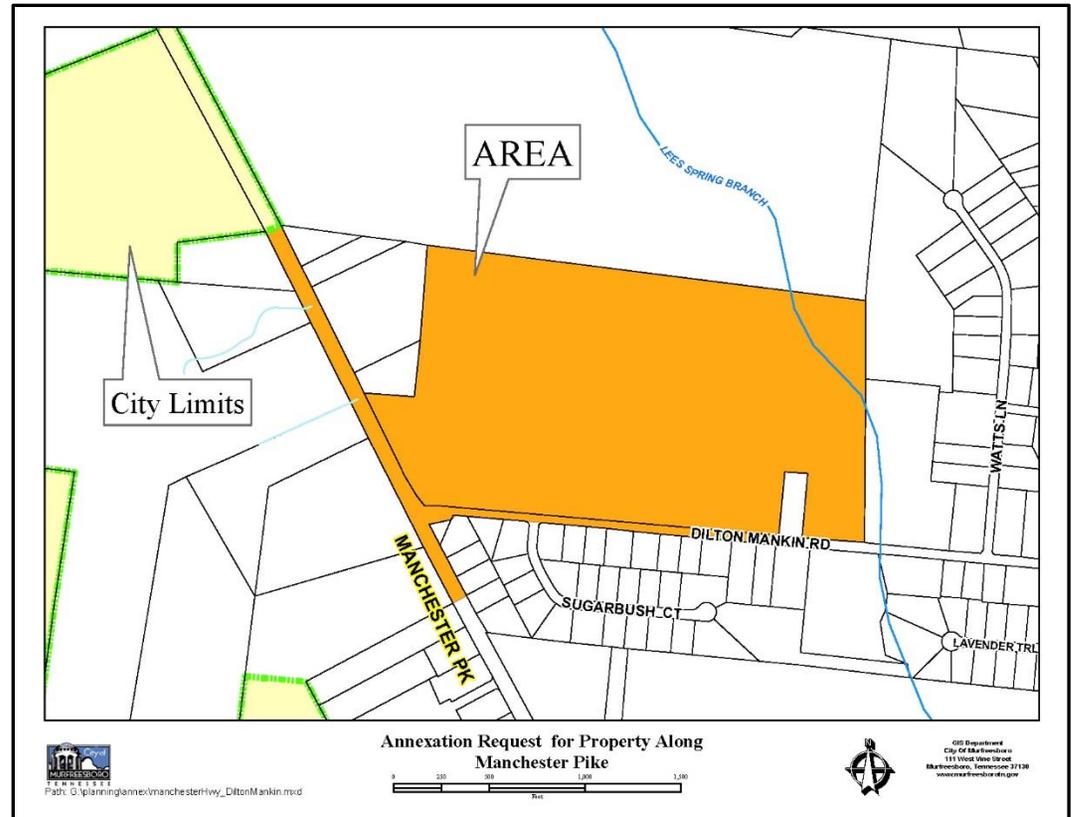
INTRODUCTION

OVERVIEW

The applicant, Matt Taylor of SEC Inc., representing Mankin Family Partnership, has requested annexation of property along the east side of Manchester Pike and the north side of Dilton Mankin Road.

The area studied in this Plan of Services includes: a 70.9-acre parcel (Tax Map 126, Parcel 18.00); an adjacent 2,100-linear foot, 4.14-acre portion of right-of-way along Manchester Pike; and an adjacent 1,800, 2.0-acre portion of right-of-way along Dilton Mankin Road. (Note: All acreages are approximate.)

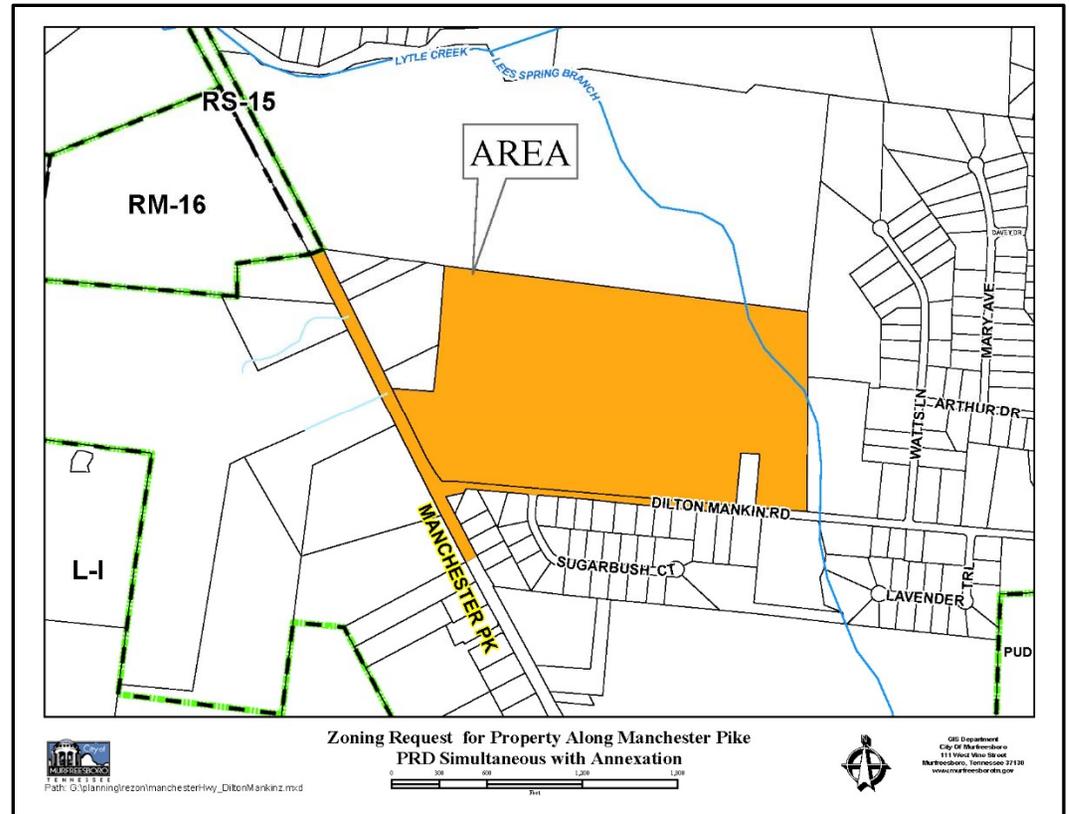
The study area lies within the City of Murfreesboro's Urban Growth Boundary and adjoins the City along Manchester Pike on the northwest. Adjacent areas to the north, south, east, and west lie within the unincorporated County.



CITY ZONING

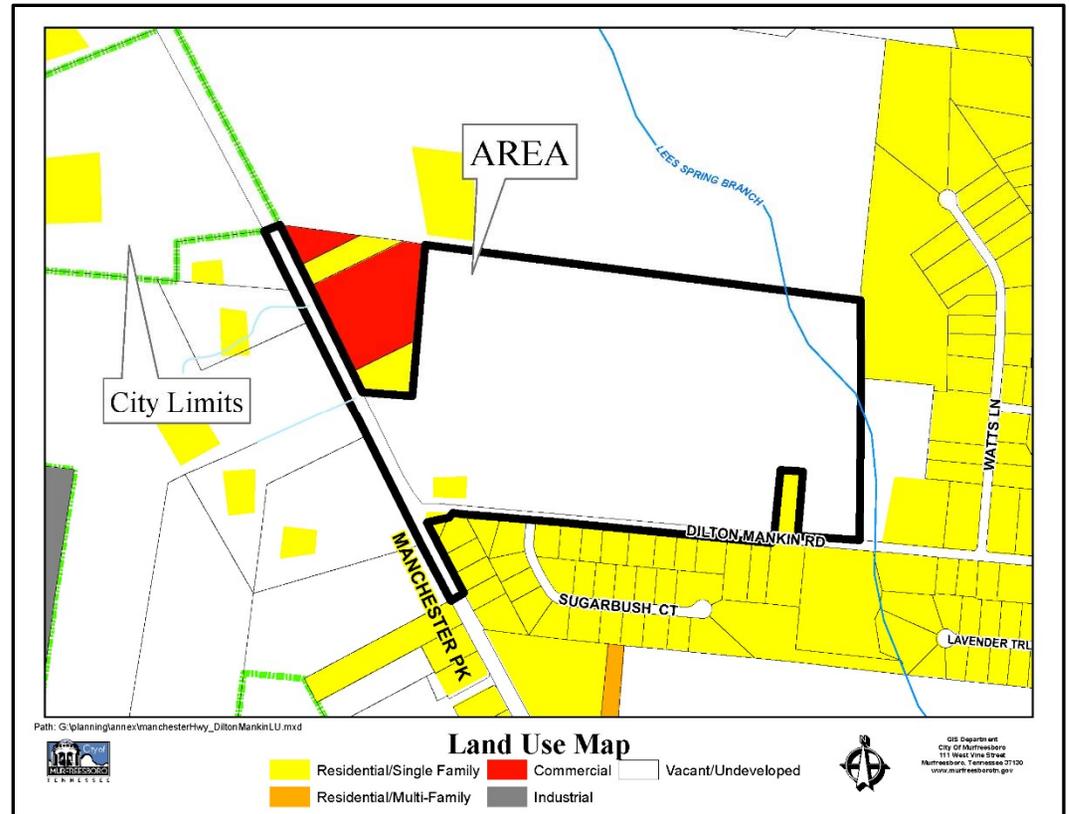
The applicant has requested rezoning to PRD (Planned Residential District) simultaneous with annexation. The study area is presently zoned RM (Residential – Medium Density) in the County.

Adjacent properties to the northwest of the study area are located within the City and are zoned RS-15 (Single-Family Residential) and RM-16 (Multi-Family Residential). Adjacent properties to the north, south, east, and west lie within the unincorporated County and are zoned RM.



PRESENT AND SURROUNDING LAND USE

The 70.9-acre requested parcel presently includes a single-family house and several detached accessory structures. A mix of single-family residential dwellings and commercial uses lie adjacent to the study area on the northwest. Large-lot single-family dwelling units line the western side of Manchester Pike. Mankinville Estates—a County residential subdivision—lies adjacent to the study area on the south across Dilton Mankin Road. The Watts Lane residential subdivision (also in the unincorporated County) is located east of the study area.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2016 will be due on December 31, 2017. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$1.2703/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Mankin Family Partnership	70.9	\$206,100	\$127,300	\$83,350	\$1,059

These figures are for the property in its current state.

The City of Murfreesboro is also projected to receive additional revenue from state-shared taxes. Table II below shows the 2016-2017 per capita state revenue estimates for the City of Murfreesboro once the development is built out.

Table II
Per Capita State Revenue Estimates

General Fund	Per Capita Amount
State Sales Tax	\$70.00
State Beer Tax	\$0.50
Special Petroleum Products Tax (Gasoline Inspection Fee)	\$2.05
Gross Receipts (TVA in-lieu taxes)	\$11.00
<i>Total General Revenue Per Capita</i>	\$83.55
State Street Aid Funds	Per Capita Amount
Gasoline and Motor Fuel Taxes	\$25.91
<i>Total Per Capita (General and State Street Aid Funds)</i>	\$109.46
Total State-Shared Revenues (based on full build-out at 2.58 per dwelling unit with maximum density of 163 units)	\$46,032.31

The per capita state revenue estimates apply only to new residents and will only be available after a certified census takes place.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police service through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE and other community crime prevention programs to the subject parcel immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Police Department. No additional costs to the department are expected. This property is located in Police Zone #5.

ELECTRIC SERVICE

The property is located within Middle Tennessee Electric Membership Cooperative's (MTEMC) service boundary. MTEMC has facilities and capacity in place to serve the proposed development. The electrical infrastructure installed to serve the proposed development will be required to adhere to MTEMC standards.

STREET LIGHTING

According to MTEMC, street lighting will be installed upon request by the City of Murfreesboro.

STREETS AND ACCESS

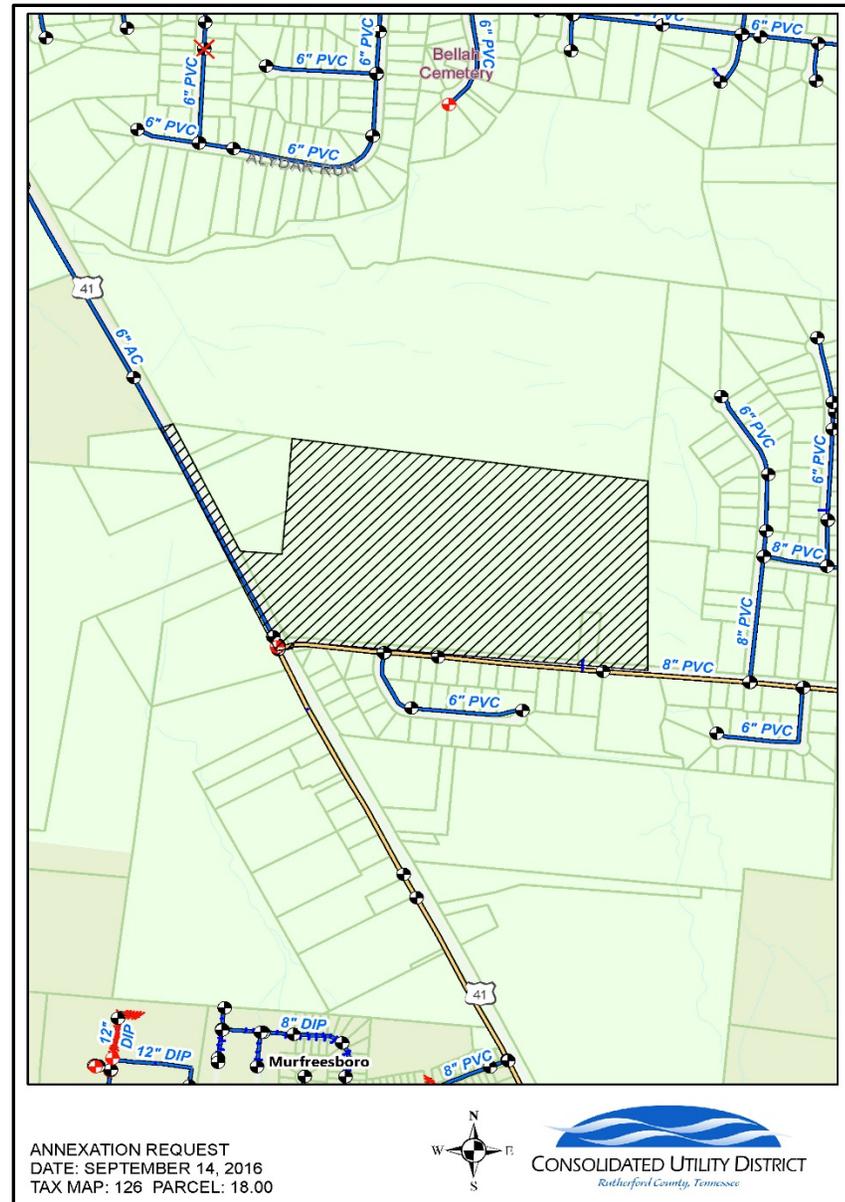
The study area currently has access to Manchester Pike, a state route and major arterial, on the west and Dilton Mankin Road, a County road, on the south. Upon annexation, the 1,800 linear feet of Dilton Mankin Road included in the study area will become the responsibility of the City of Murfreesboro. Dilton Mankin Road is presently on the City's Major Thoroughfare Plan for upgrade to a three-lane curb-and-gutter section. The City will also assume operation and maintenance responsibilities for the 2,100 linear feet of Manchester Pike included in the study area. Manchester Pike is on the City's Major Thoroughfare Plan for upgrade to a five-lane curb-and-gutter section.

Any new development in the study area must dedicate required rights-of-way and easements and participate in the construction of improvements along street frontages. Additionally, turn lane improvements may be required as part of any future development. Any future public roadway facilities serving the study area along Dilton Mankin Road must be approved by the City Engineer. Future improvements along Manchester Pike must be approved by the Tennessee Department of Transportation (TDOT) and the City Engineer. Any new public roadways serving the study area must be constructed to City standards.

WATER SERVICE

The study area lies within Consolidated Utility District's (CUD) service area. CUD presently has a six-inch water line along Manchester Pike and an eight-inch water line along Dilton Mankin Road. However, in order to meet the City's fire requirements, upgrades will be necessary. CUD has a Capital Improvement Project underway along Manchester Pike that will improve fire flow for the area; the developer will be required to participate in additional, necessary upgrades.

The existing water lines are shown on the adjacent map. Any new water line development must be done in accordance with CUD's development policies and procedures.



SANITARY SEWER SERVICE

Sanitary sewer is not currently available to serve the subject property, per the Murfreesboro Water and Sewer Department's (MWSD) definition of "available."

MWSD, Planning, and Engineering staff have worked with the applicant to develop septic tank effluent pumping (STEP) design criteria for developments beyond MWSD's sanitary sewer central collection system. MWSD has received approval from the Water and Sewer Board and the City Council to accept STEP systems for treatment and disposal. Therefore, MWSD will accept a STEP system for the study area to be dedicated to MWSD for ownership, operation, and maintenance. Any future extension of the sanitary sewer system would serve the study area only if the STEP system fails.

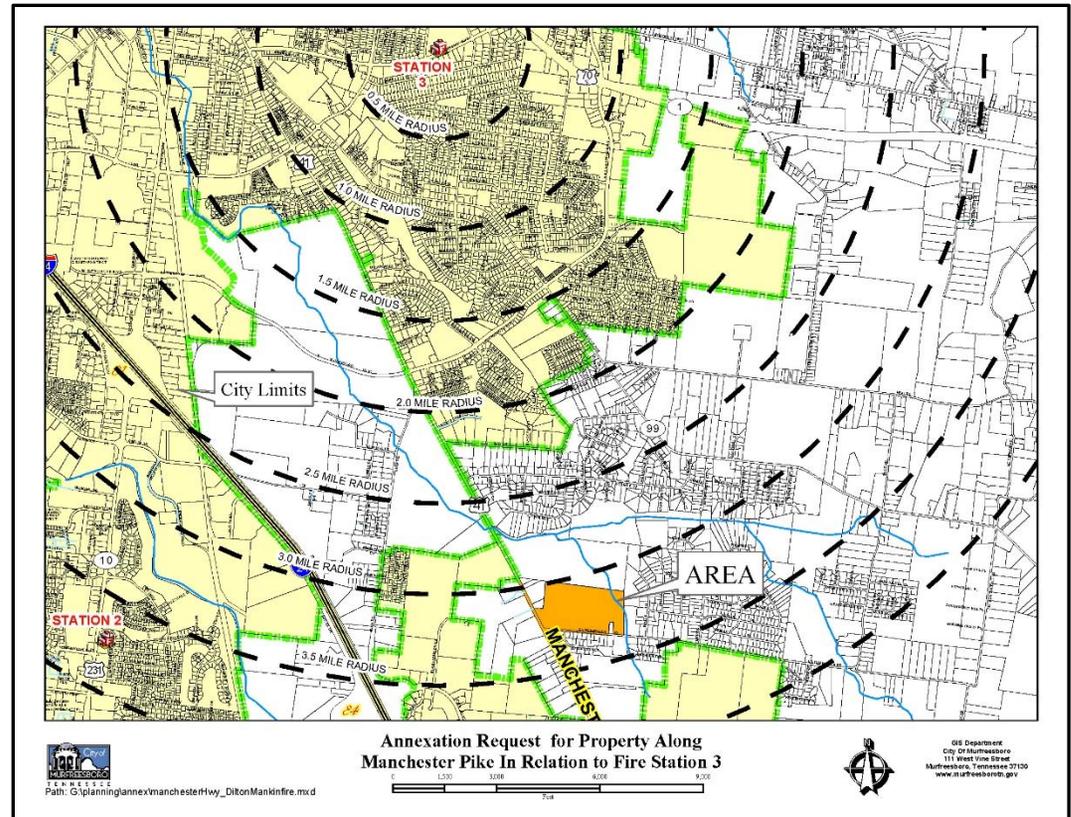
Because the STEP system will not connect to existing public sewer infrastructure, the standard sewer connection fees will not apply. Staff anticipates creating a customer class for customers served through the STEP system to adequately cover operation and maintenance costs. Monthly sewer fees are anticipated to correspond with Consolidated Utility District's (CUD) STEP system rates.

All sewerage improvements must be installed in accordance with the applicable State design criteria and regulations for STEP systems and CUD's construction specifications. Additionally, improvements must follow MWSD's Development Policies and Procedures.

FIRE AND EMERGENCY SERVICE

The annexation will have no negative impact on the Murfreesboro Fire and Rescue Department (MFRD). The MFRD will provide fire protection with a full-time, professional staff as well as medical first responder service. Any development on the site must provide adequate fire flows and install water lines and fire hydrants per the Consolidated Utility District (CUD) policies and procedures.

The closest fire station to the subject tract is Fire Station #3, located at 1511 Mercury Boulevard, 3.9 miles from the study area. Fire Station #2, located at 2880 Runnymede Drive, is 5.3 miles from the study area. The MFRD can provide ISO Class Two (2) fire protection. The dashed lines on the adjacent map represent linear distance ranges from the nearest fire stations.



SOLID WASTE COLLECTION

The City will provide weekly curbside solid waste collection service immediately upon the effective date of annexation, as well as brush/debris removal every two to three weeks. The initial day of service will be Monday.

BUILDING AND CODES

The property will immediately come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro tax payers. Children who are residents of the

City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The study area is located in the Black Fox Elementary school zone. Murfreesboro City Schools is in the process of constructing an addition to Black Fox Elementary School, projected to open in Fall 2017, in order to accommodate additional growth.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

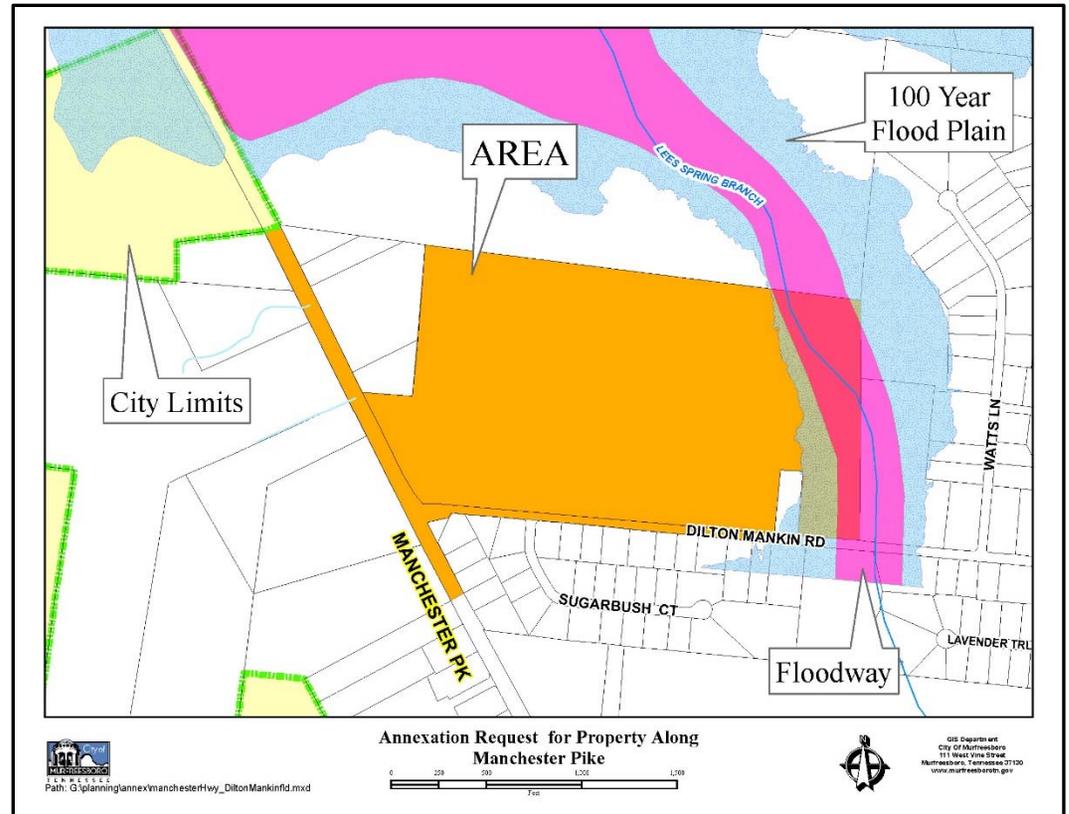
PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

FLOODWAY

A portion of the study area is located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

The adjacent map shows the floodway boundary in purple and the 100-year floodplain boundary in blue.

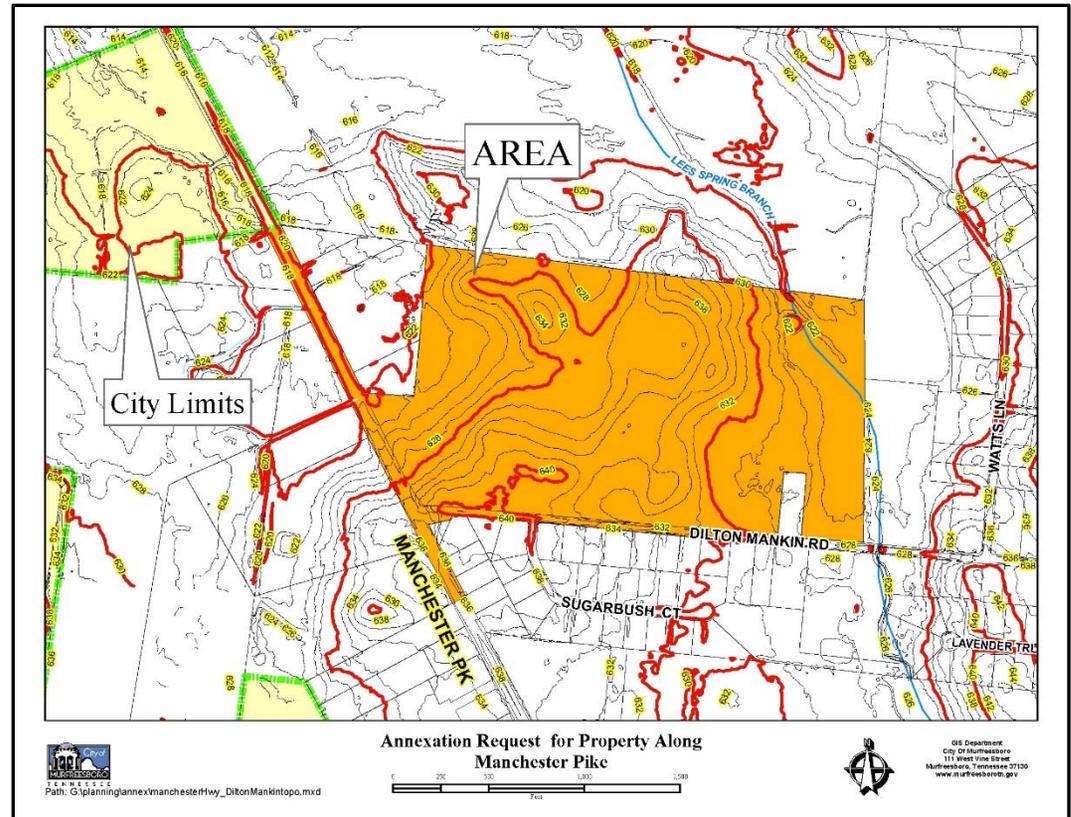


DRAINAGE

The eastern portion of the study area drains eastward to Lees Spring Branch. The northwestern portion of the study area drains northward on adjacent property and to Lytle Creek. The western portion of the study area drains on adjacent property to the west and to the right-of-way on Manchester Pike. Existing public drainage systems serving the study area are integral to Dilton Mankin Road and Manchester Pike. The Dilton Mankin Road drainage system will become the City's responsibility upon annexation, while TDOT will remain responsible for the Manchester Pike drainage system. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

New development on the property must meet the City's requirements for building in the floodplain, including properly elevating structures and preventing encroachments in the floodway. Any future development must include a 50-foot Water Quality Protection Area from top of bank on each side of Lees Spring Branch.

New development on the property must also meet overall City of Murfreesboro Stormwater Quality requirements including water quality and detention. Future development in the study area will be subject to the Stormwater Utility Fee upon completion of construction. Based on the proposed residential land use and considering applicable credits, this property has the potential to generate \$6,350 in Stormwater Utility Fees annually upon full development. The red lines on the adjacent map represent ten-foot contours. The black lines represent two-foot intervals.



ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

4.d. Zoning application [2016-447] for approximately 77.1 acres located along Manchester Pike & Dilton Mankin Road to be zoned PRD (Mankin Pointe) simultaneous with annexation, Ole South Properties Inc. applicant.

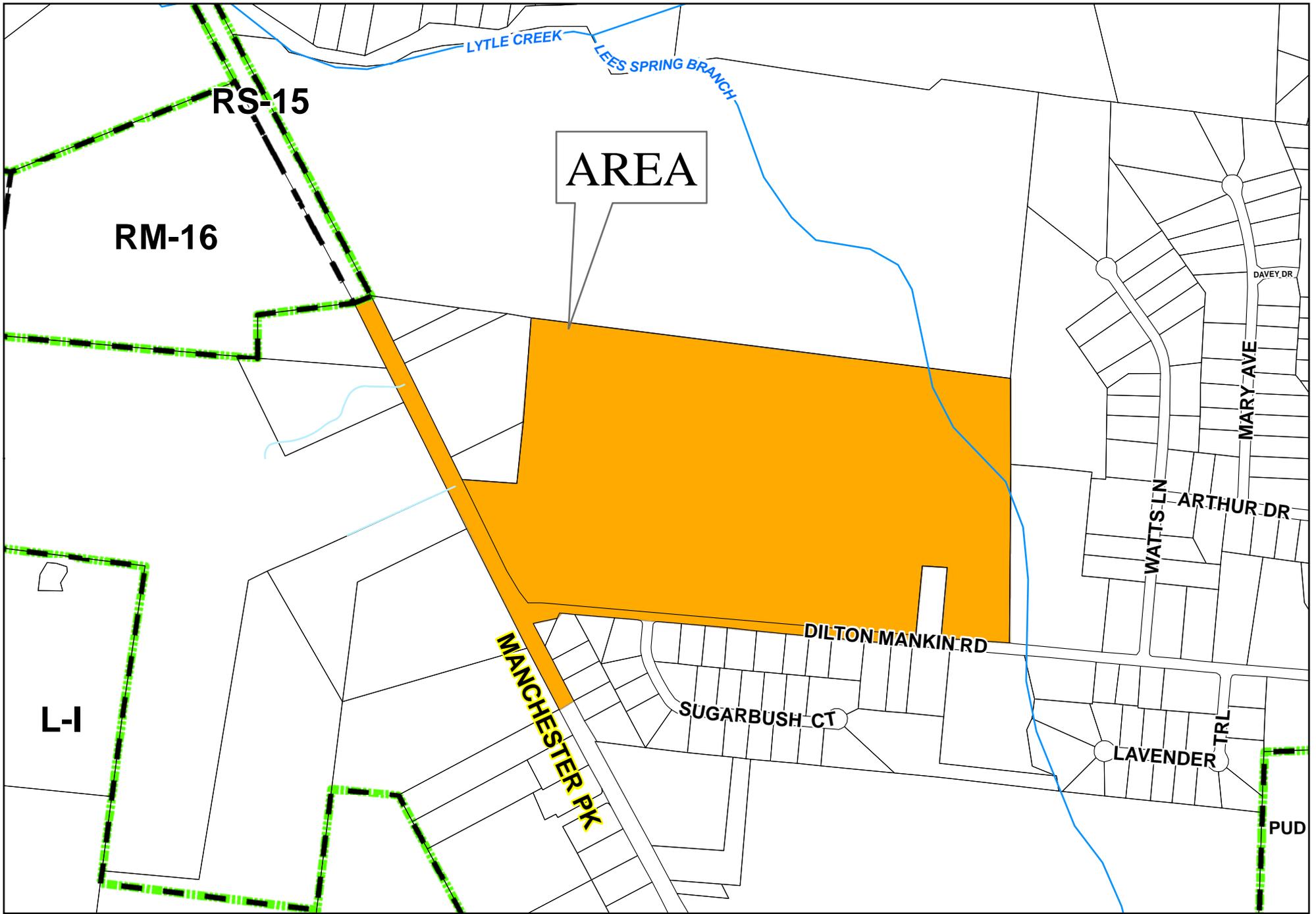
The subject property is located at the northeast corner of the intersection of Manchester Pike and Dilton Mankin Road. The property totals 70.9 acres and is primarily undeveloped. However, there is a single-family residence as well as several agricultural outbuildings located there. The previous item on the agenda was the annexation petition and plan of services. (The 6.2 acres of right-of-way included in the annexation brings the total to 77.1 acres.) The applicant has requested a zoning classification of PRD (Planned Residential District) simultaneous with annexation.

The proposed PRD, called Mankin Pointe, would allow 163 single-family residential detached lots with a minimum lot size of 7,000 square-feet. It should be noted that this will be the first development on a STEP (Septic Tank Effluent Pumping) system since the City Council approved allowing STEP systems in the City as an alternative to sanitary sewer. A significant portion of the tract will be devoted to the STEP fields. Because of this, as well as the amount of the property that is encumbered by the floodway of Lees Spring Branch, the overall proposed density is 2.3 units per acre. The development includes a main access point off of Manchester Pike and a secondary access point off of Dilton Mankin Road. Amenities will include the landscaping of the common area at the southwest corner of the site as well as a pavilion, playground, and walking trail toward the east side of the property adjacent to Lees Spring Branch. The houses will each contain a minimum of 2,000 square-feet of living area and a 2-car garage. The exterior building materials will consist of brick, stone, and fiber cement siding. Vinyl will only be permitted in the gables, soffit, and fascia. Additional details regarding the development plan can be found in the PRD program book, which has been included in the agenda package.

Directly to the south of the of the subject property is the Mankinville Estates single-family residential subdivision, which is located in the unincorporated County. To the east of the subject property is Lees Spring Branch and its floodway, as well as the Watts Lane single-family residential subdivision, which is also located in the unincorporated County. To the north of the subject property, along Manchester Pike, are several commercial uses in the unincorporated County, including a gas station/convenience market and a contracting business. Also to the north in the unincorporated County is a large tract that contains a single-family residence and what appears to be a horse farm. Across Manchester Pike are several single-family residential estate tracts located in the unincorporated County.

A neighborhood meeting regarding this zoning request was held on September 19th at Black Fox Elementary School. Approximately 25 neighbors were in attendance, many of whom had concerns related to traffic. In response to their concerns, the plan has been revised to shift the Dilton Mankin Road entrance further to the east in order to gain additional separation from the Manchester Pike intersection and so that it is no longer across the street from the existing Sugarbush Court.

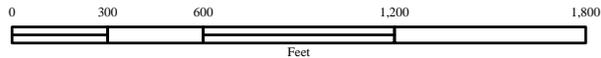
The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Zoning Request for Property Along Manchester Pike
PRD Simultaneous with Annexation**

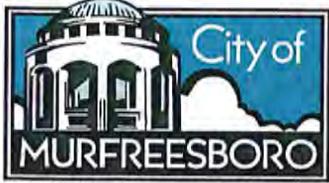


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GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

REZONING APPLICATION FORM



T E N N E S S E E

Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

REZONING APPLICATION FORM
\$600.00 per application

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Ole South Properties, Inc. c/o Dan Bobo

Address: 262 Robert Rose Drive, Suite 300 City/State/Zip: Murfreesboro, TN 37129

Phone: 615-896-0019 E-mail address: dbobo@olesouth.com

PROPERTY OWNER: Mankin Family Partnership

Street Address or property description: 3545 Manchester Pike Murfreesboro, TN 37127

and/or Tax map #: 26 Group: Parcel (s): 18.00

Existing zoning classification: RM - County

Proposed zoning classification: PRD Acreage: 70.90 acres

RECEIVED
SEP 01 2016
BY:

Contact name & phone number for publication and notifications to the public (if different from the applicant): Matt Taylor - SEC, Inc. 615-890-7901

E-mail: mtaylor@sec-civil.com

APPLICANT'S SIGNATURE (required): [Signature]

DATE: 8/31/16

*****For Office Use Only*****

Date received: MPC YR.: MPC #: 2016-447/512

Amount paid: 600 Receipt #: 364045

Revised 1/2010

MANKIN POINTE



A REQUEST FOR ANNEXATION & REZONING TO A PLANNED RESIDENTIAL DEVELOPMENT (PRD)

Submitted: September 1, 2016

SEC Project # 16104

Resubmitted: September 15, 2016 for the September 21, 2016 Planning Commission Workshop

Resubmitted: September 29, 2016 for the October 5, 2016 Planning Commission Public Hearing



Residential Designers
Ole South Properties, Inc.

Joe Ada
Ole South Properties, Inc.
262 Robert Rose Drive, Suite 300
Murfreesboro, Tennessee 37129
(615) 896-0019 Office
www.olesouth.com



Developer
Ole South Properties, Inc.

Dan Bobo
Ole South Properties, Inc.
262 Robert Rose Drive, Suite 300
Murfreesboro, Tennessee 37129
(615) 896-0019 Office
www.olesouth.com

SEC, Inc.

Planning . Engineering
Landscape Architecture
SEC, Inc.

Attn: Matt Taylor, P.E.
850 Middle Tennessee Blvd.
Murfreesboro, TN. 37129
P: 615-890-7901
www.sec-civil.com
mtaylor@sec-civil.com

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Ole South Properties, Inc. respectively requests annexation and zoning of the Mankin property at 3545 Manchester Pike from RM (Medium Density Residential) in the county to PRD (Planned Residential Development) to create Mankin Pointe. The property is located at the northeast corner of the intersection of Manchester Pike and Dilton Mankin Road. The site is identified as Parcel 18.00 of Tax Map 26, and is approximately 70.90 acres.

This request is for annexation and rezoning of the existing property to PRD to create Mankin Pointe. The development will consist of 163 single family detached lots on 70.90 acres, i.e. 2.30 dwelling units per acre. All the lots will be a minimum of 7,000 sf. in size, and all homes will be for purchase. The proposed homes will range in size from 2,000 sf. to 3,000+ sf. All homes will have a minimum of 2 bedrooms, and minimum two car front entry garage with decorative doors. The home elevations will be constructed of masonry materials to add quality and character to the community. Each lot and home will have foundation landscaping and sodded front yards. The neighborhood will include decorative mailboxes along the streets to add character and continuity to the neighborhood. The entrance will incorporate signage and landscaping at the entrance off of Manchester Pike. An entrance monument and landscaping will greet residents and guests at the entrance to the neighborhood off of Dilton Mankin Road. Sidewalks will be provided on both sides of all streets. Mankin Pointe will offer an open space area along Lees Spring Branch that will include walking trails, a pavilion, and playground for the residents to enjoy and interact with one another. The H.O.A. will maintain the common open spaces and detention facilities located in Mankin Pointe.



LOCATION MAP

NOT TO SCALE



MURFREESBORO WATER AND SEWER DEPARTMENT

Sanitary sewer service will be provided via a STEP system. The STEP system drip fields will be centrally located off the north side of Dilton Mankin Road. The developer will be responsible for constructing the STEP system, while the STEP system will be maintained by Murfreesboro Water and Sewer Department.



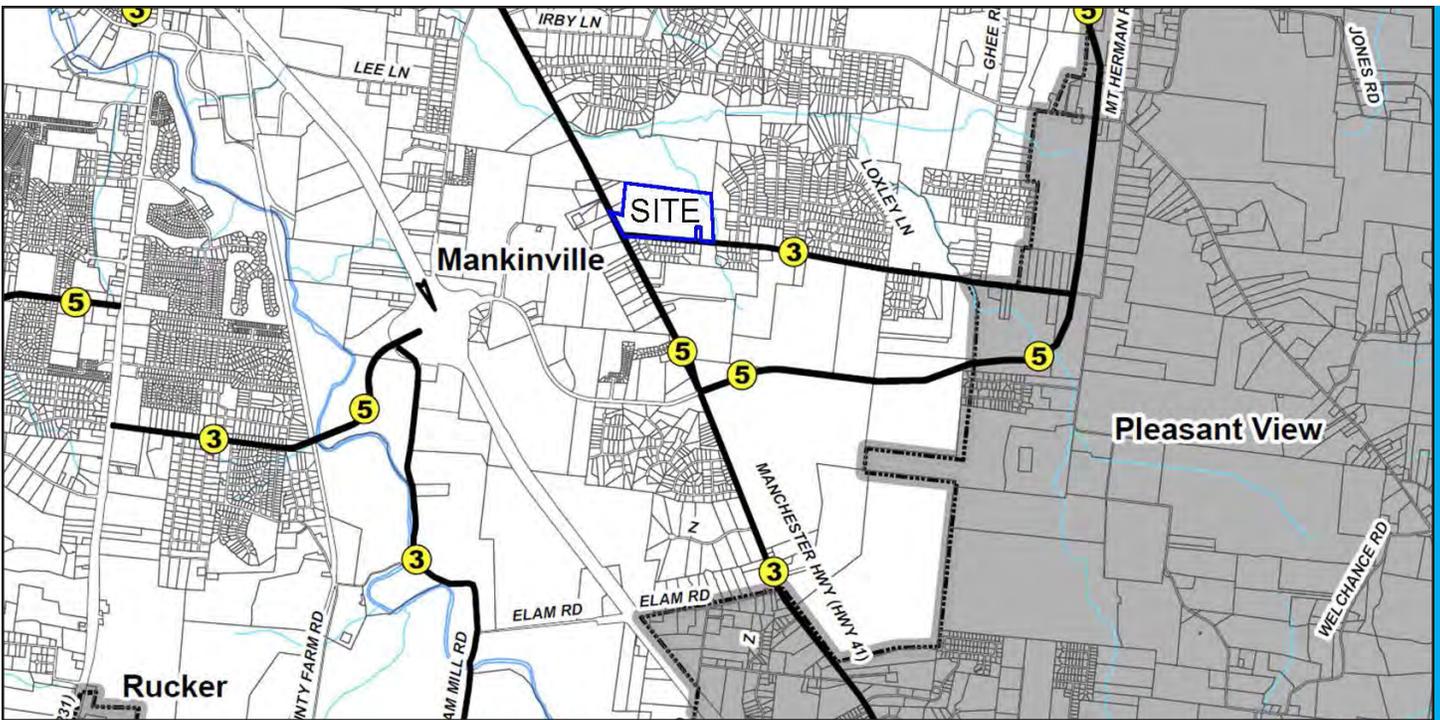
CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

There are two points of connection for this site for providing water service. There is an existing water line along the western R.O.W. of Manchester Pike for service into the site. There is also a water line along the southern R.O.W. of Dilton Mankin Road. The developer will be responsible for extending the waterline into the site for domestic and fire water service. Water service will be provided by Consolidated Utility District.



MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

Middle Tennessee Electric will be providing electrical service. All electric service will be underground. Currently above-ground electricity is located along the western side of Manchester Pike, and the south side of Dilton Mankin Road.



MAJOR THOROUGHFARE PLAN

NOT TO SCALE



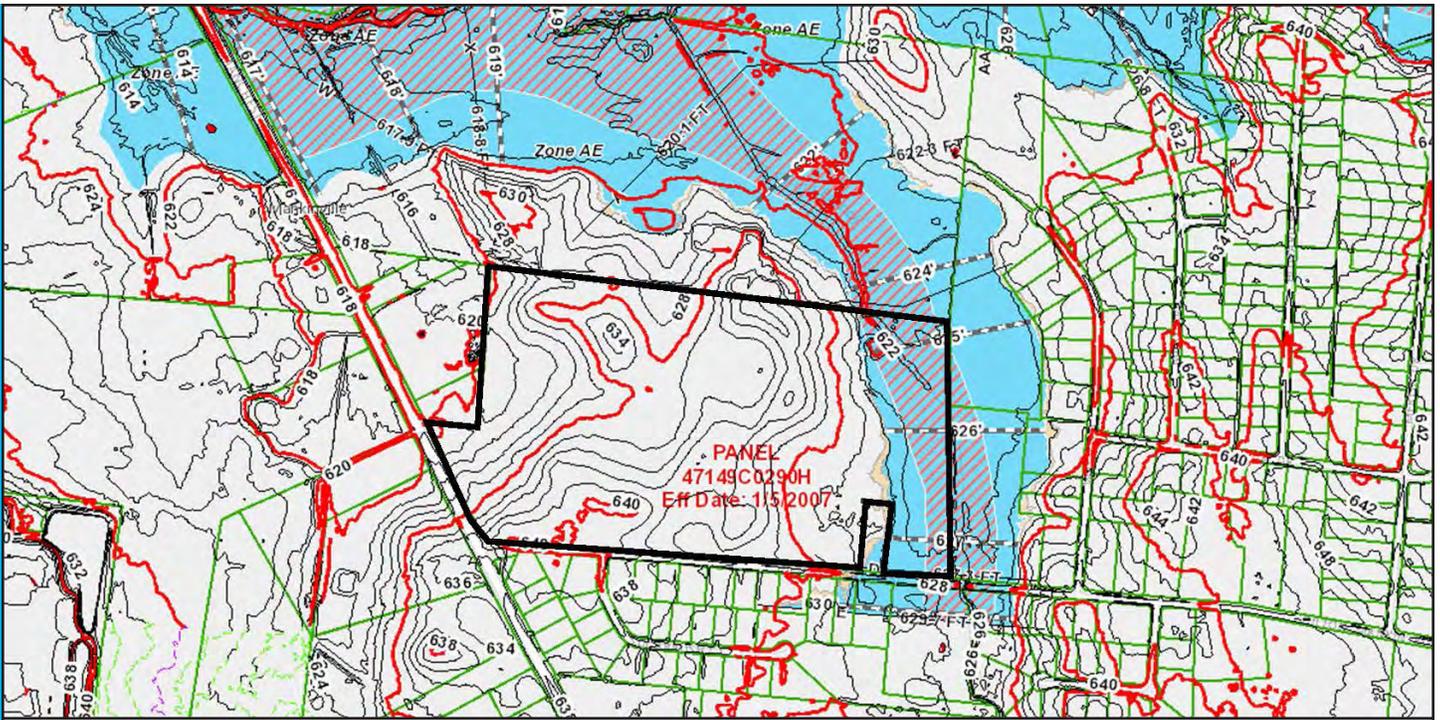
- | | |
|---|------------------------|
| Murfreesboro Urban Growth Boundary | Committed Or Existing |
| Outside Of Murfreesboro Urban Growth Boundary | 2 Lane Roadway |
| | 3 Lane Roadway |
| | 4 Lane Divided Roadway |
| | 5 Lane Roadway |
| | 6 Lane Roadway |
| | 7 Lane Roadway |



CITY OF MURFREESBORO

The property has/will have access to the existing public rights-of-way of along Manchester Pike and Dilton Mankin Road. Both of these roadways are on the Murfreesboro Major Thoroughfare Plan for widening projects in the future. Manchester Pike is a state highway that is planned to be widened to a 5 lane roadway. Currently the roadway is a 2 lane cross-section with paved shoulders and drainage ditches on both sides of the roadway. There is only one intersection along Manchester Pike, which is Dilton Mankin Road. TDOT plans to widen Manchester Pike, and install a signal at this intersection later this year.

Dilton Mankin Road is planned to be widened to a 3 lane roadway. Currently it is a 2 lane cross-section with drainage swales on both sides of the roadway, with no paved shoulders. There is one existing intersection along Dilton-Mankin Road, which is at Sugarbush Court, south of the development. Mankin Pointe will provide a connection to Dilton-Mankin Road to create the south entrance into the neighborhood. This entrance will be just to the west of Bagwell property.

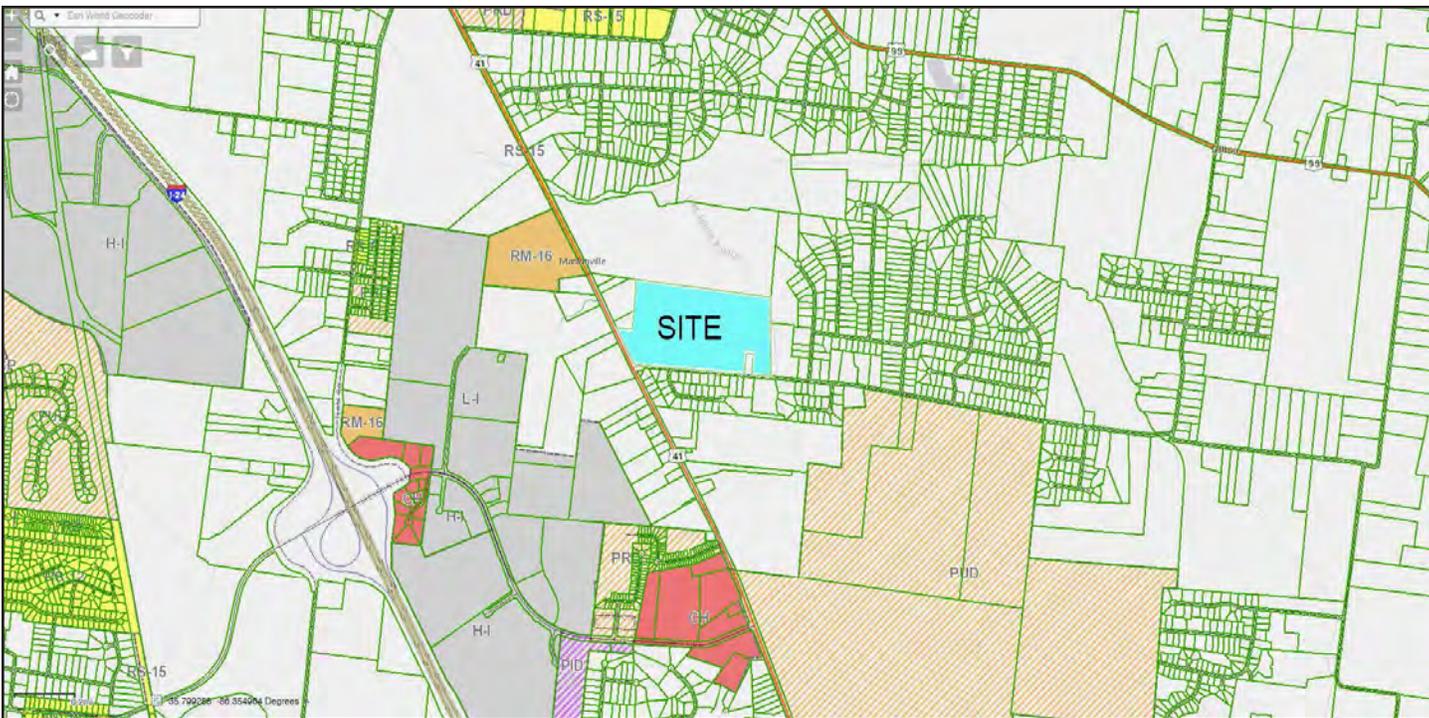


TOPOGRAPHY & FLOODPLAIN MAP

NOT TO SCALE



The existing topography of the site shows a high point that crosses through the center of the property from the intersection of Manchester Pike and Dilton Mankin Road, towards the northeast. The property is divided into two watersheds; one flowing west towards Manchester Pike, and the other flows towards the east and into Lees Spring Branch. Stormwater that is flowing towards the west from the property is eventually collected in the roadside swales along Manchester Pike. This stormwater then travels northwest along the roadway till it discharges into Lytle Creek. The stormwater that flows towards the east, discharges into Lees Spring Branch that generally flows from the south to the north through the north-eastern portion of the site. There is a FEMA floodway and floodplain associated with this section of Lees Spring Branch.



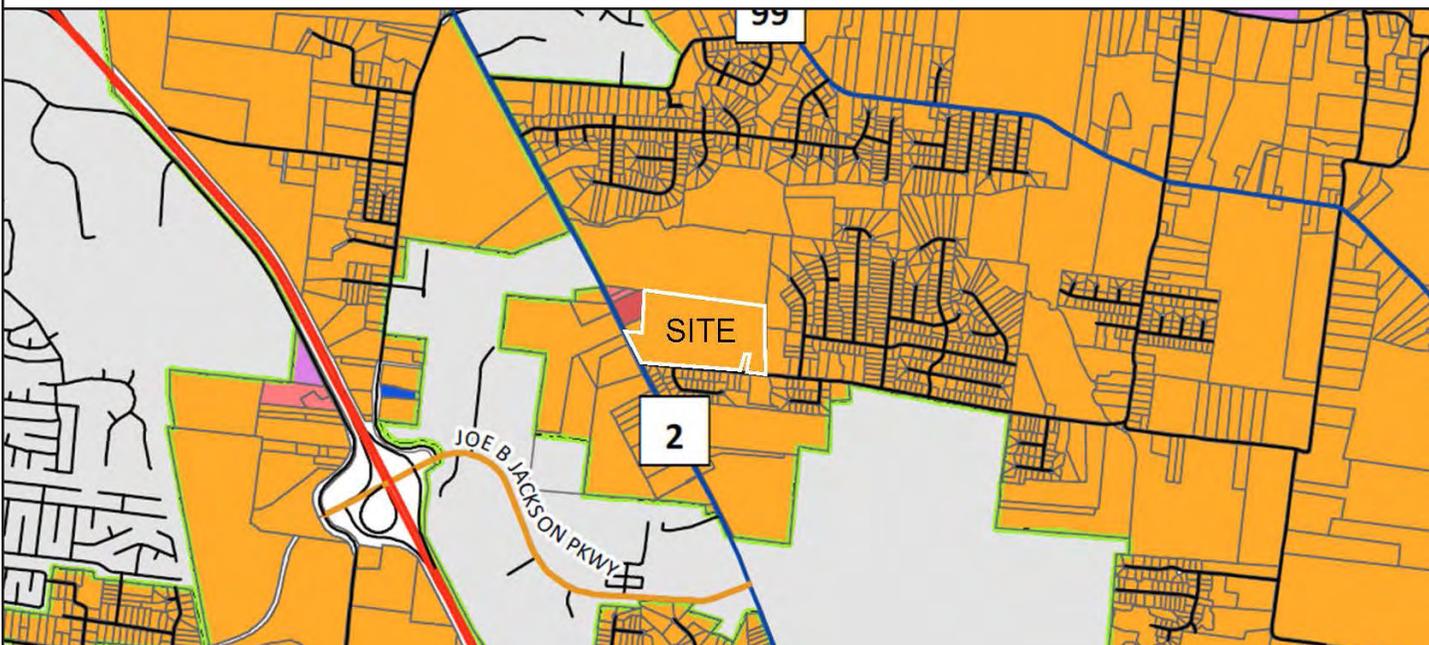
MURFREESBORO ZONING MAP

NOT TO SCALE



The surrounding area consists of Rutherford County Medium Density Residential (RM) zoning. Mankinville Estates and Dilton Corners subdivisions containing single-family detached homes are located along the south side of Dilton Mankin Road. To the east of the site is Watts Farm subdivision with single-family detached homes. To the north is a large tract that has a large single-family house, and horse stables with equestrian facilities. To the west of the site on the opposite side of Manchester Pike are a few large tracts of land with single family detached homes.

There are three commercial properties to the west of the site along Manchester Pike. One of these properties is zoned Commercial Services (CS) in Rutherford County for a construction business. The other two properties are zoned Commercial Neighborhood (CN) in Rutherford County. One of those businesses is Kountry Korner Market and gas station, and the other is Black Fox Veterinary Hospital.



RUTHERFORD COUNTY ZONING MAP



GIS - AERIAL - PHOTO LOCATIONS MAP

NOT TO SCALE



IMAGE 1

VIEW EAST ALONG TREE LINE SEPARATING SINGLE FAMILY RESIDENCE FROM THE SITE.



IMAGE 2

VIEW SOUTHEAST ONTO THE SITE AND EXISTING BUILDINGS TO BE REMOVED DURING CONSTRUCTION.



IMAGE 3

VIEW NORTHWEST ONTO THE SECTION OF THE SITE SURROUNDING A SINGLE FAMILY RESIDENCE.



IMAGE 4

VIEW NORTH ONTO THE EXISTING TREE LINE SEPARATING THE SITE FROM LEE SPRING BRANCH AND SINGLE FAMILY RESIDENTIAL.



GIS - AERIAL - PHOTO LOCATIONS MAP

NOT TO SCALE



IMAGE 5

VIEW NORTHWEST ALONG MANCHESTER PIKE WITH THE SITE ON THE RIGHT.



IMAGE 6

VIEW EAST ONTO THE INTERSECTION OF MANCHESTER PIKE AND DILTON MANKIN ROAD.



IMAGE 7

VIEW SOUTH ONTO SUGARBUSH COURT AS IT ENTERS INTO MANKINVILLE ESTATES SUBDIVISION.



IMAGE 8

VIEW WEST ALONG DILTON MANKIN ROAD WITH THE SITE ON THE RIGHT.



GIS - AERIAL - PHOTO LOCATIONS MAP

NOT TO SCALE



IMAGE 9

VIEW NORTHEAST ONTO THE RESIDENTIAL PROPERTY THAT IS ADJACENT TO THE CORNER OF THE SITE THAT CONNECTS TO MANCHESTER PIKE.



IMAGE 10

VIEW SOUTHWEST ONTO RESIDENTIAL PROPERTIES IN MANKINVILLE ESTATES SUBDIVISION THAT FACE THE SOUTHERN SECTION OF THE SITE AND FOLLOW ALONG DILTON MANKIN RD.



IMAGE 11

VIEW NORTH FROM DILTON MANKIN ROAD ONTO SAMUEL BAGWELL PROPERTY THAT IS SURROUNDED BY THE BOUNDARIES OF THE SITE.



IMAGE 12

VIEW NORTHEAST ONTO THE RESIDENTIAL PROPERTY ADJACENT TO THE EASTERN SECTION OF THE SITE.



GIS - AERIAL - PHOTO LOCATIONS MAP

NOT TO SCALE



IMAGE 13

VIEW EAST ONTO CITGO KOUNTY KORNER MARKET.



IMAGE 14

VIEW SOUTHEAST ONTO BLACK FOX VETERINARY HOSPITAL.



IMAGE 15

VIEW SOUTHEAST ONTO COMMERCIAL PROPERTY NEXT TO THE VETERINARY HOSPITAL.



IMAGE 16

VIEW SOUTHEAST ONTO COMMERCIAL PROPERTY NEXT TO THE VETERINARY HOSPITAL



CONCEPTUAL SITE PLAN

LAND USE DATA
 TOTAL LAND AREA: 470.90 ACRES
 TOTAL NUMBER OF LOTS: 163
 YIELD: 163 LOTS/79.90 ACRES/2.26 UNITS/ACRE
 TOTAL USABLE OPEN SPACE/STORMWATER/STEP FIELD: 333.47 ACRES
 USABLE OPEN SPACE: 18.65 ACRES
 STORMWATER: 118.89 ACRES
 STEP FIELD: 7,000 SF

MINIMUM LOT SIZE:
 MINIMUM LOT WIDTH AT FRONT SETBACK: 95 FEET
 LENGTH OF NEW ROADWAY: 45,623 LF
 DILTON MANNIN ROAD 8 FT ROW DEDICATION: 40.25 ACRES

CONCEPTUAL SITE PLAN

- NOT TO SCALE
- | | |
|---------------------|-----------------|
| ROADWAY | STEP SYSTEM |
| EXISTING VEGETATION | DETENTION (DRY) |
| PAVILION | OPEN SPACE |
| PLAYGROUND | LOTS |
| PAVED WALKING TRAIL | WATERWAY |



SCALE: 1" = 100'

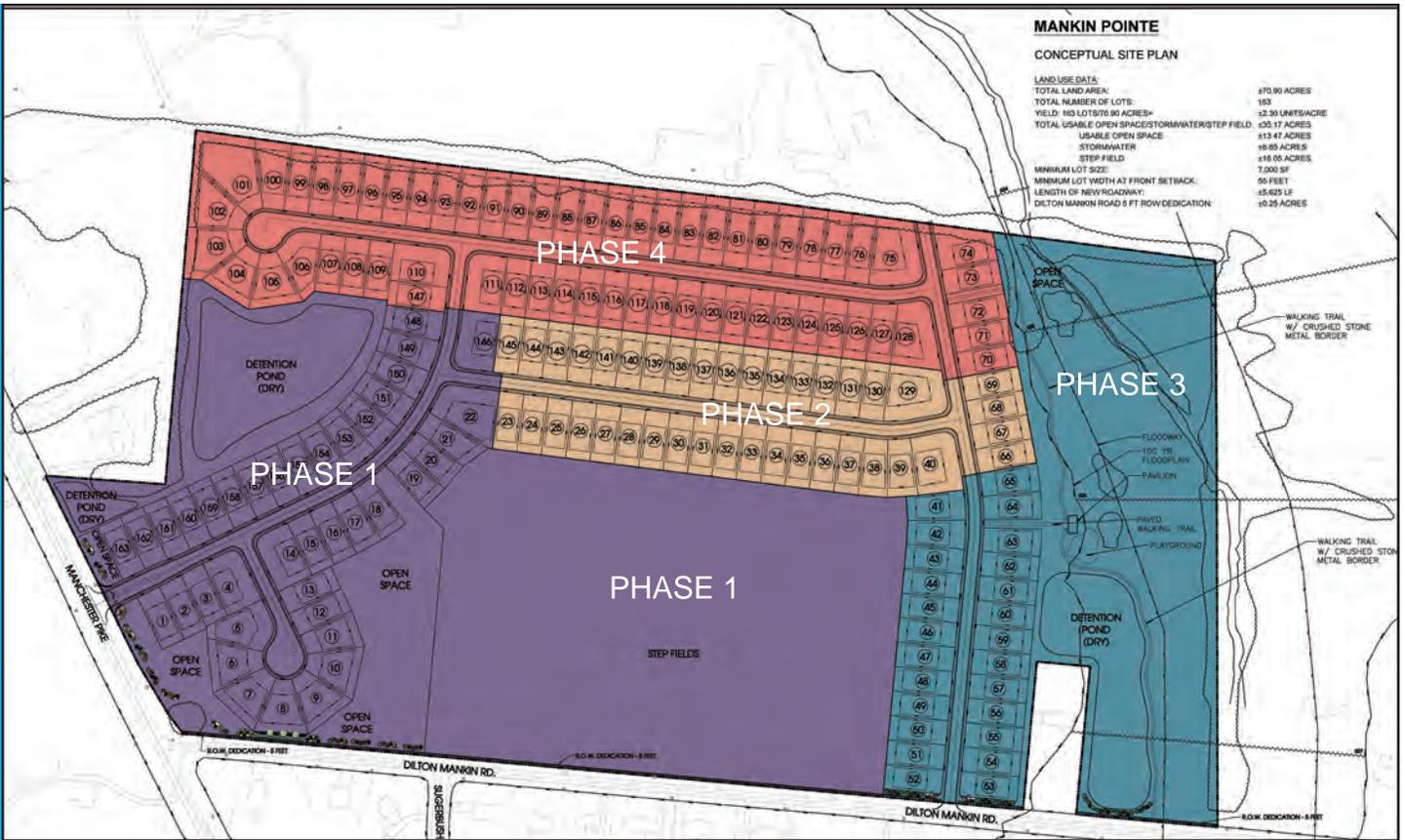
- | | | | | |
|---|---|--|--|---|
|  ROADWAY |  STEP SYSTEM |  OPEN SPACE |  WATERWAY |  PLAYGROUND |
|  EXISTING VEGETATION |  DETENTION POND (DRY) |  LOTS |  PAVILION |  PAVED WALKING TRAIL |

MANKIN POINTE

CONCEPTUAL SITE PLAN

LAND USE DATA:

TOTAL LAND AREA:	±70.90 ACRES
TOTAL NUMBER OF LOTS:	163
YIELD: 163 LOTS/70.90 ACRES=	±2.30 UNITS/ACRE
TOTAL USABLE OPEN SPACE/STORMWATER/STEP FIELD:	±35.17 ACRES
USABLE OPEN SPACE	±13.47 ACRES
STORMWATER	±6.65 ACRES
STEP FIELD	±16.05 ACRES
MINIMUM LOT SIZE:	7,000 SF
MINIMUM LOT WIDTH AT FRONT SETBACK:	55 FEET
LENGTH OF NEW ROADWAY:	±5,625 LF
DILTON MANKIN ROAD 5 FT ROW DEDICATION:	±0.25 ACRES





EXAMPLE OF ENTRANCE MONUMENT FOR DILTON MANKIN ROAD ENTRANCE



EXAMPLES OF ENTRANCE SIGNAGE FOR MANCHESTER PIKE ENTRANCE



EXAMPLE OF STANDARD MTEMC STREET LIGHT



EXAMPLE OF A DECORATIVE MAILBOX

Proposed Mankin Pointe Characteristics:

- 163 single family detached homes with 2 or more bedrooms.
- The homes will range in size from min. 2,000 SF. to 3,000+ SF. of living area.
- Minimum lot size shall be 7,000 sf. with a minimum lot width of 55 feet at the front setback.
- All homes will have 2 car front entry garages
- Front entry garages will have decorative doors and have neutral colors (not white)
- All front entry garages shall be setback a minimum of 35 feet from public R.O.W.
- Each single family lot will provide at least 4 off-street parking spaces per lot (outside of the garage)
- Each lot will have concrete driveways wide enough for 2 vehicles, and have a minimum width of 16 feet
- Builders shall install sod in front yards, as well as landscaping along the front foundation
- Building elevations will consist of 100% brick, stone, and fiber cement siding. A representation of elevation material mixtures are outlined on pages 19-20: Architectural Characteristics.
- All building elevations and materials shall be approved by the developer
- The development will be constructed in 4 phases.
- All streets will be public rights-of-way
- All streets have been designed to comply with Murfreesboro Street Standards
- Sidewalks will be provided on both sides of the all streets throughout the development to create a pedestrian friendly community
- Solid waste service will be provided by the City of Murfreesboro
- All on-site utilities will be underground.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Decorative black mailboxes will help establish community continuity
- Street lights will be standard Middle Tennessee Electric Membership Corporation poles and lights
- The common open spaces will be maintained by an H.O.A.
- Entrance off of Manchester Pike will have new entrance signage constructed of masonry materials and anchored by landscaping, while the entrance off of Dilton Mankin Road will have a stone monument that will be anchored by landscaping.
- All home owners will be required to be a member of the H.O.A.
- HOA will be managed by independent 3rd party management company
- Construction is anticipated to begin within 90-120 days after zoning is completed.

Minimum Building Setbacks:

Front: 35-feet

Side: 5-feet

Rear: 20-feet

Architecture Characteristics:

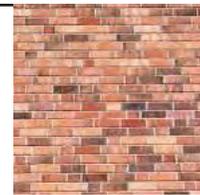
- Building heights shall not exceed 35 feet in height.
- There will be a mixture of 1-story and 2-story homes.
- All homes will have at least 2 bedrooms.
- All the homes will have eaves.
- All homes will have a covered front porch.
- All homes will have an option for a covered porch or open patio area at the rear of the home.

Building Elevation Materials:

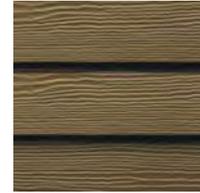
- Permitted exterior building materials on all elevations: brick, stone, and fiber cement siding.
- Soffits, gables, and fascia will consist of aluminum and vinyl.
- Vinyl will not be a permitted exterior building material except in soffits, gables, and fascia.



EXAMPLE OF A FRONT ELEVATION



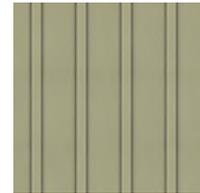
Example of Brick
(different colors will be allowed)



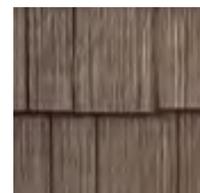
Example of
Cement Fiber Board Siding
(different colors will be allowed)



EXAMPLE OF A FRONT ELEVATION



Example of Cement Fiber Board
and Batten Siding
(different colors, patterns
will be allowed)



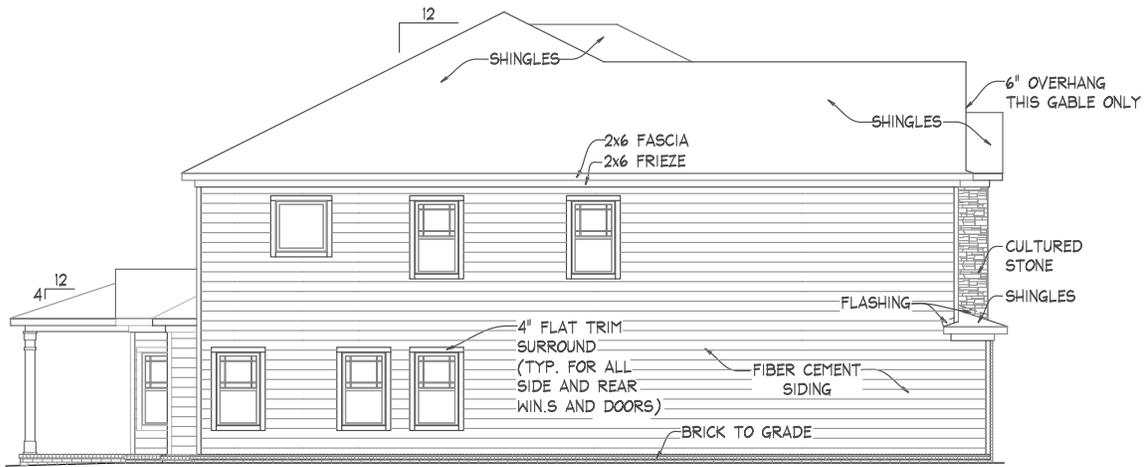
Example of
Cement Fiber Shakes
(different colors, patterns
will be allowed)



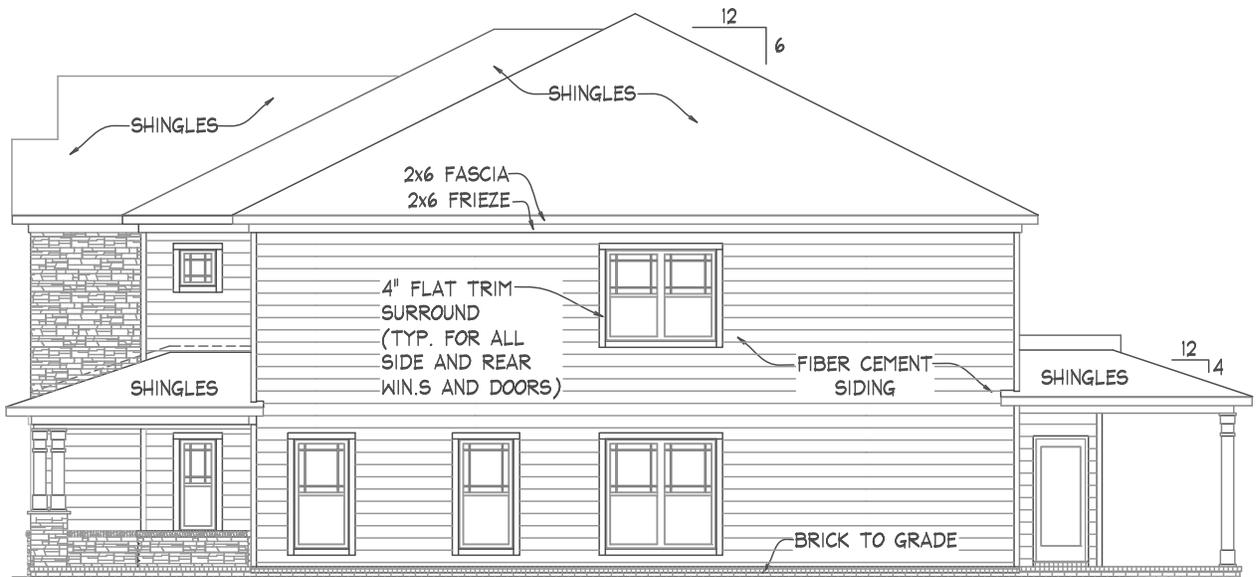
EXAMPLE OF A FRONT ELEVATION



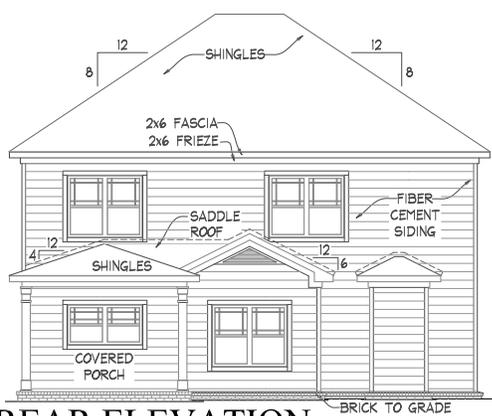
Example of the
Stone Veneer
(different colors, cuts, pat-
terns will be allowed)



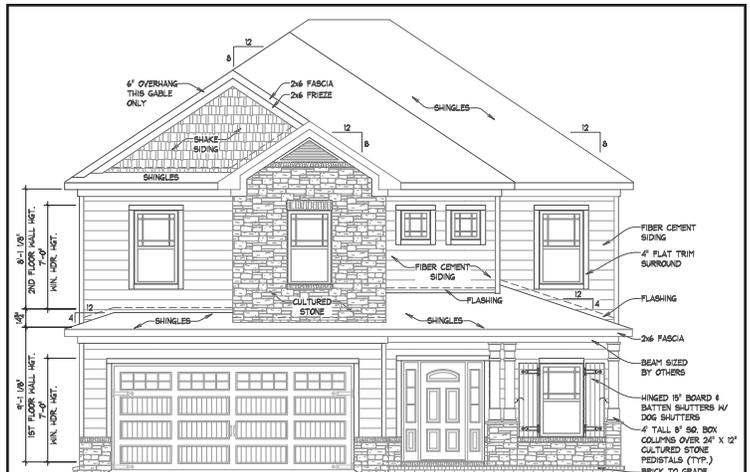
**LEFT SIDE ELEVATION
W/ COVERED REAR PORCH**



**RIGHT SIDE ELEVATION
W/ COVERED REAR PORCH**



**REAR ELEVATION
W/ COVERED REAR PORCH**



FRONT ELEVATION

EXAMPLES OF EXTERIOR ELEVATIONS

With this request, Mankin Pointe will be dedicating over 35 acres (roughly 49% of the site) to open space. This open space area is comprised of usable open space, detention areas, and the STEP system drip field. Usable open space accounts for over 13 acres for amenities such as; walking trails, community pavillion, a playground area, and landscaped areas at the entrances. The Manchester Pike entrance area will incorporate masonry signage and will be anchored with landscaping. The Dilton Mankin entrance will incorporate a masonry monument that will be anchored with landscaping. The open space that stretches between the Manchester Pike entrance to the STEP field along Manchester Pike and Dilton Mankin Road will be used as a passive open space. This open space along these existing thoroughfares will incorporate landscape elements to create a front yard appearance. This landscape treatment will also function as a visual break from any potential fences that may be installed on private lots that back up to these main roadways.

The main amenity will be the open space area around Lees Spring Branch. A paved trail will lead residents back to the pavillion from the trailhead in the cul-de-sac. An aggregate walking trail will stretch from the pavillion towards the northern trailhead, and to the southern trailhead at Dilton Mankin Road. These three trailheads will provide residents of the area access to the community pavillion and playground. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well. The construction of these amenities will take place during construction of Phase 3 of the neighborhood.

The residents of Mankin Pointe will be required to be members of an H.O.A. As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company.



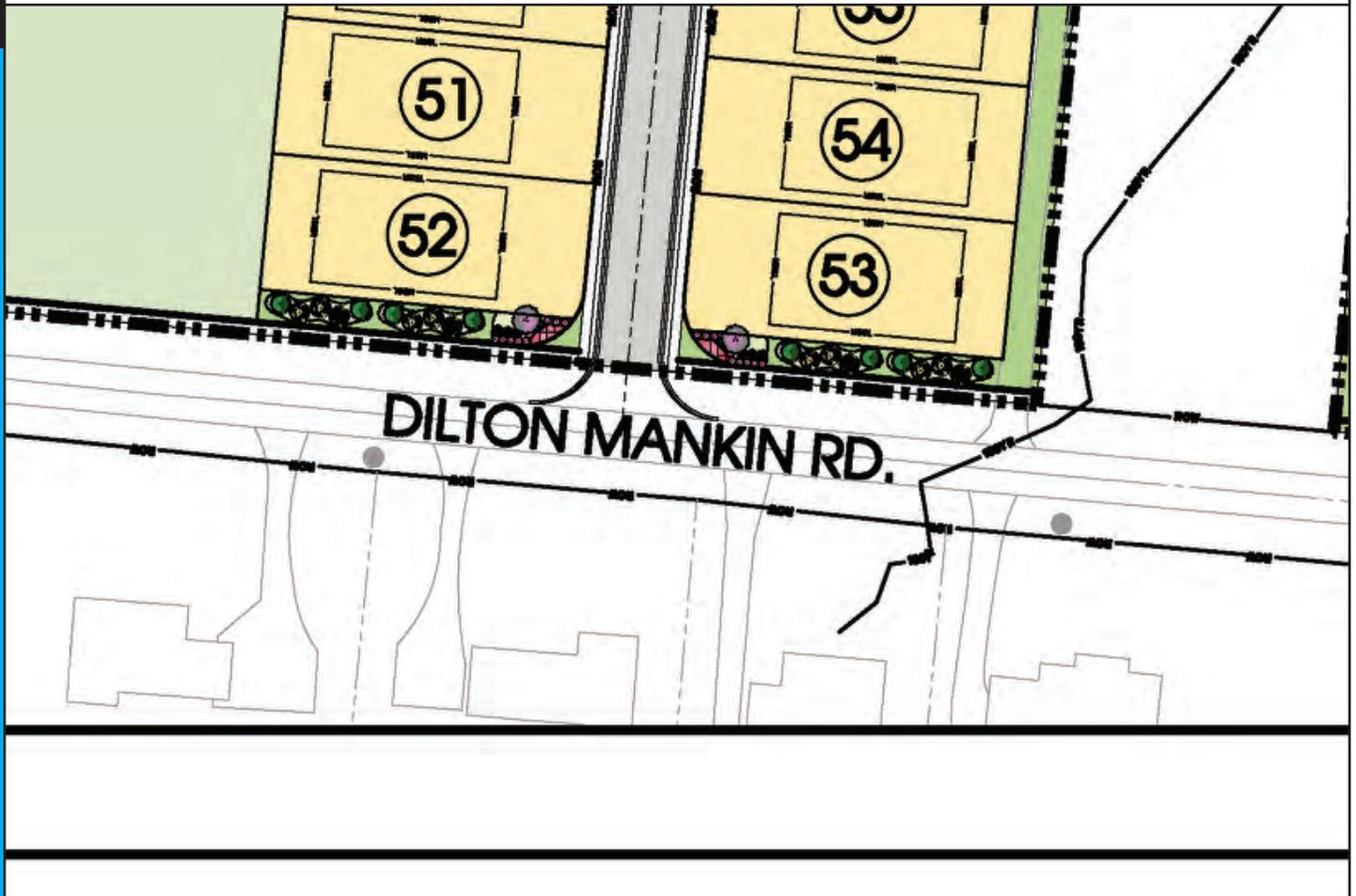
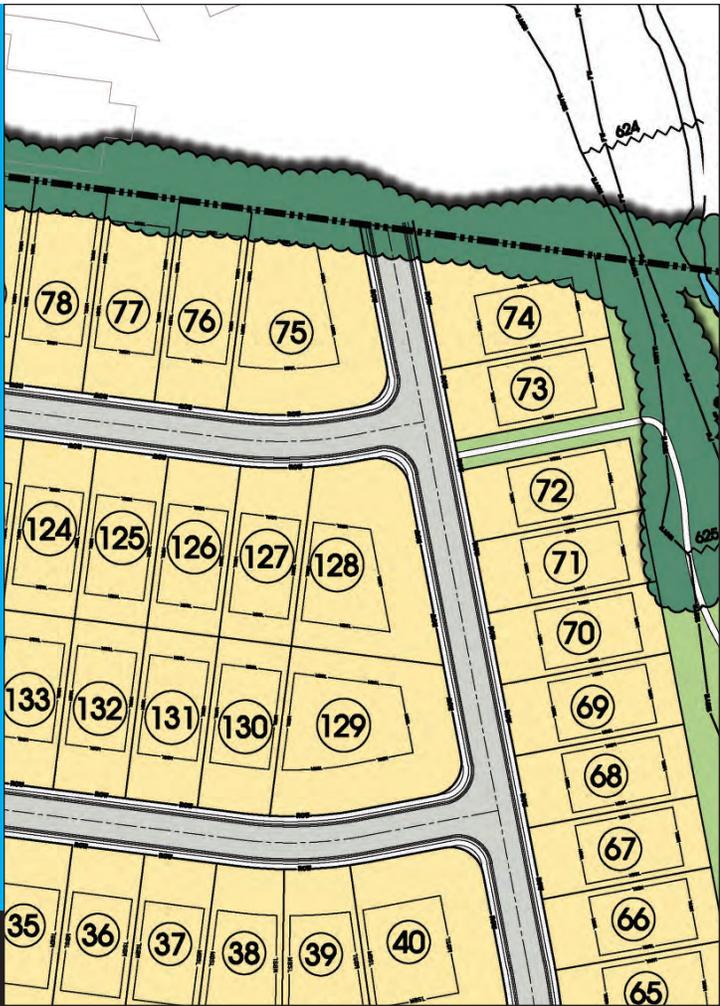
PLAYGROUND EXAMPLE



AGGREGATE TRAIL EXAMPLE



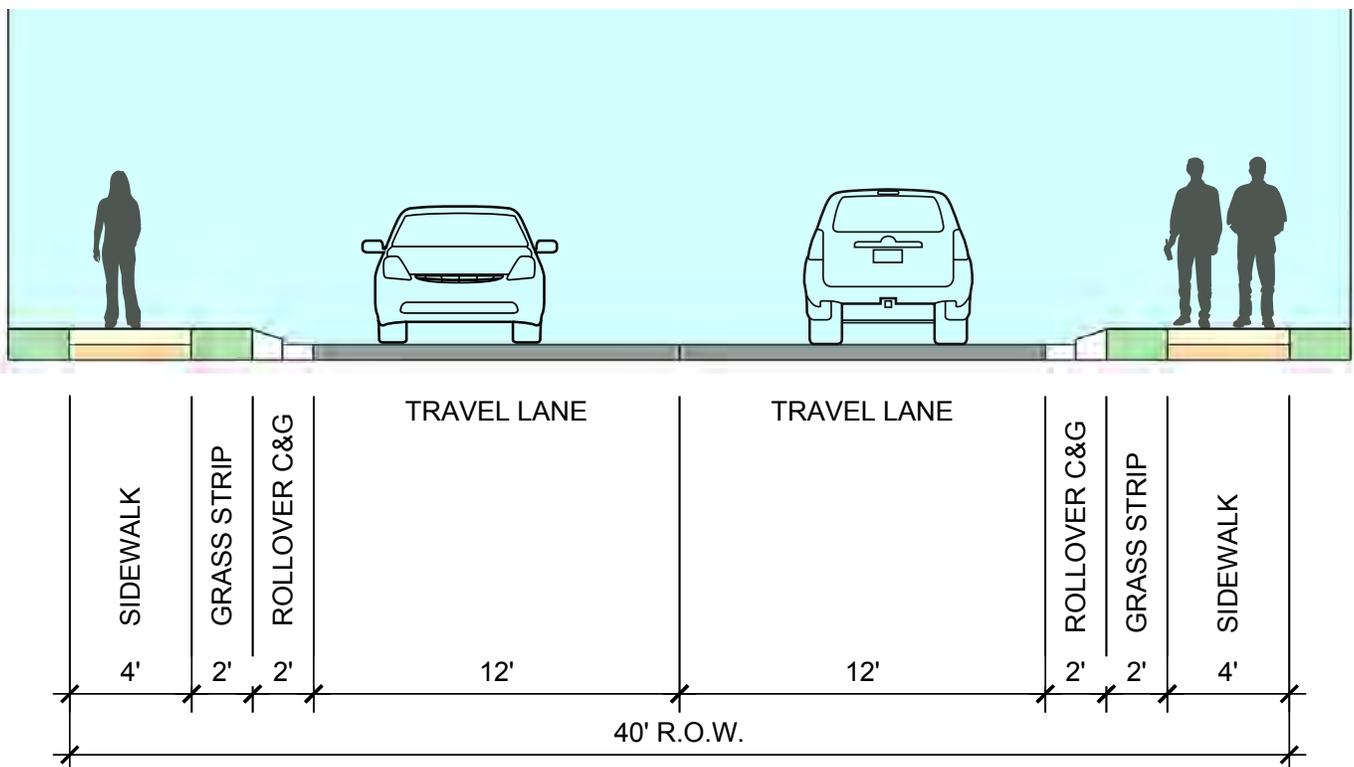
PAVILION EXAMPLE

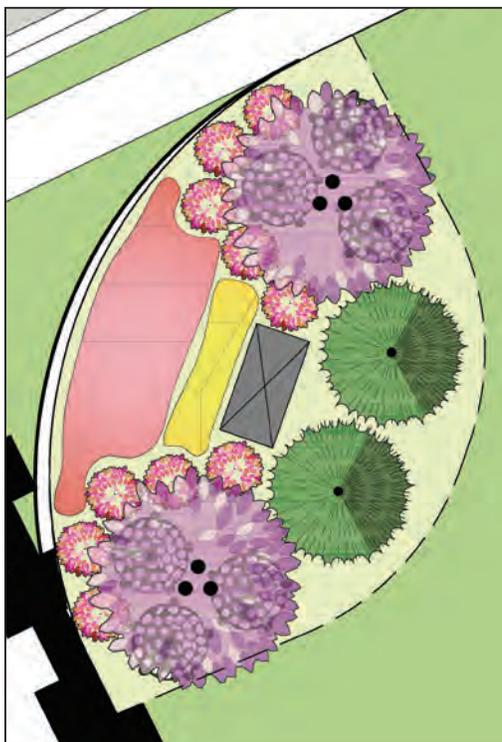


Pursuant to the City of Murfreesboro's Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. However, Manchester Pike and Dilton Mankin Road that Mankin Pointe accesses onto are on the MTP. Manchester Pike is a major thoroughfare where the majority of vehicular trips generated by this development will impact. It is currently built as a 2 lane cross-section with paved shoulders and drainage ditches on both sides of the roadway. It will be built out to the 5 lane cross-section as recommended by the Major Thoroughfare Plan. In the future, Dilton Mankin Road is planned to be widened to a 3 lane roadway. Currently it is a 2 lane cross-section with drainage swales on both sides of the roadway, with no paved shoulders. Mankin Pointe will dedicate required R.O.W. necessary for the widening projects as well as implement the improvements as required by the Traffic Impact Study and the City Engineer.

As stated above, the primary means of ingress/egress from this site will be onto Manchester Pike. The majority of the developments vehicular traffic will enter and exit the development until the connection is made to Dilton Mankin Road. The entrance is proposed to incorporate three travel lanes, as well as reserve adequate right-of-way to provide for a potential future 4th traffic lane for proper circulation into and out of the development onto Manchester Pike. As the graphic on the previous page illustrates, there will be a dedicated left and right out of the neighborhood, as well as single lane for traffic entering the development. The secondary means of ingress/egress from the development will be roadway connection to Dilton Mankin Road along the southern boundary. This entrance is proposed to have three travel lanes similar to the main entrance. The other possible means of ingress/egress will be a stub street to the property to the north. There are no plans for development on the adjacent property at this time, but if development ever did occur, the opportunity for connectivity will be present.

All streets within Mankin Pointe will be local streets with a typical 40 foot R.O.W. cross-section. These streets will be built in accordance with the Murfreesboro Street Standards.

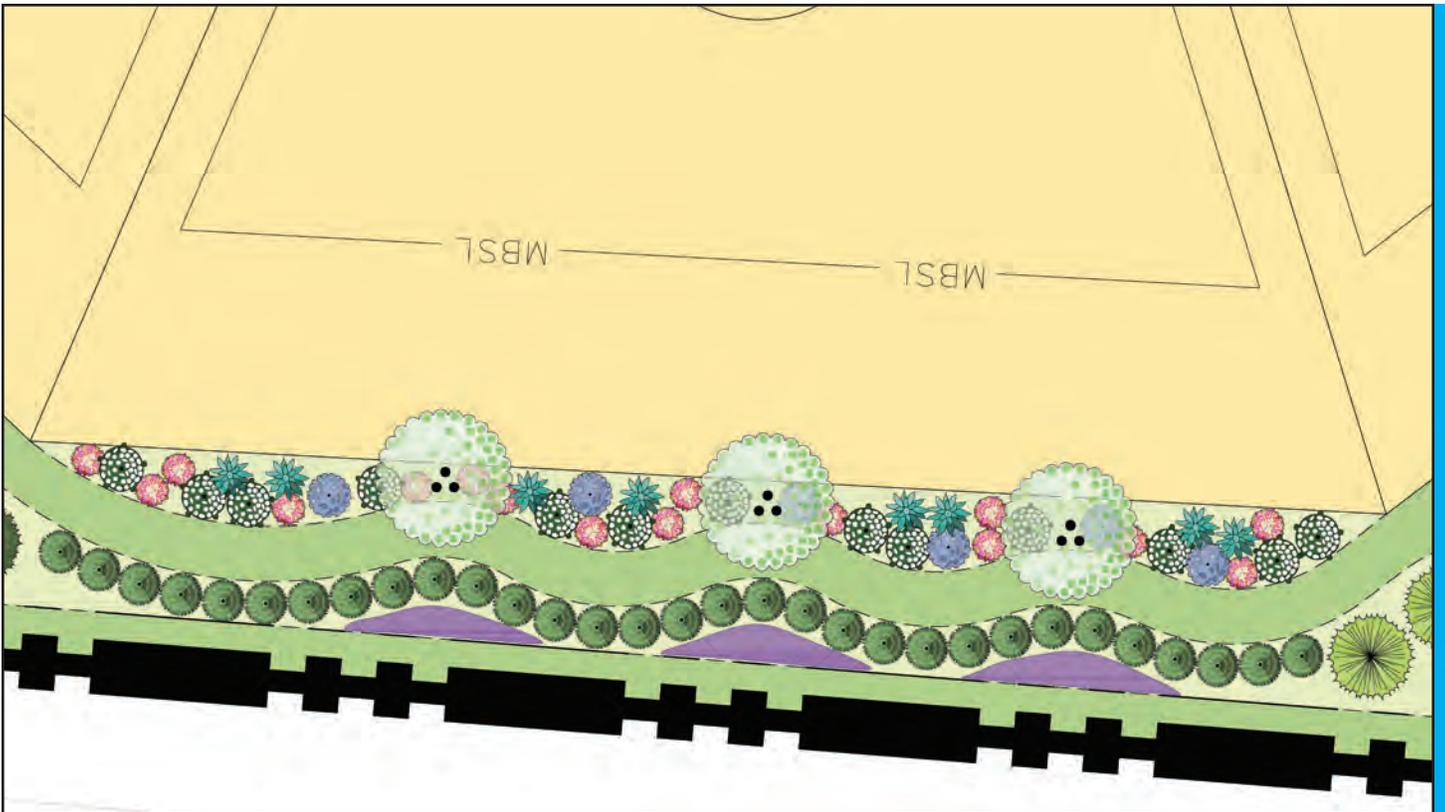




A1 - MANCHESTER PIKE
ENTRANCE SIGN PLANTING



A2 - DILTON MANKIN ROAD ENTRANCE
MONUMENT PLANTING



A3 - NATURAL THROUGHWAY CONNECTING EACH OPEN SPACE

LANDSCAPE MATERIALS



EXAMPLES OF EVERGREEN PLANTING MATERIAL



EXAMPLES OF DECIDUOUS PLANTING MATERIAL

This open space, on the corner of Manchester Pike and Dilton Mankin Rd., creates an aesthetic front door into the neighborhood. The landscape examples on these two pages illustrate the conceptual intent for this open space. This open space is intended to function as an amenity for the residents, while lessening the visual impact of potential residential fences along the rear lot lines backing up to the previously-mentioned roadways.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: An exhibit is given on Page 4 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits are shown on Page 6 that shows the existing contours and drainage patterns along with an aerial photograph of the area. A portion of the property is subject to floodplains or floodways, and the site ultimately drains to Lytle Creek.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Page 3 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	3,149,388 s.f.
TOTAL MAXIMUM FLOOR AREA	423,800 s.f.
TOTAL LOT AREA	1,309,725 s.f.
TOTAL BUILDING COVERAGE	358,600 s.f.
TOTAL DRIVE/ PARKING AREA	249,576 s.f.
TOTAL RIGHT-OF-WAY	243,052 s.f.
TOTAL LIVABLE SPACE	701,549 s.f.
TOTAL OPEN SPACE	2,547,736 s.f.
FLOOR AREA RATIO (F.A.R.)	0.13
LIVABILITY SPACE RATIO (L.S.R.)	1.66
OPEN SPACE RATIO (O.S.R.)	6.01

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RM. The surrounding area has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in four phases. Phasing information is described on Page 16.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Page 21.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: The applicant is requesting the following exceptions with this PRD.

SETBACKS	RS-15	PRD	DIFFERENCE
Front Setback	40.0'	35.0'	5.0'
Side Setback	12.5'	5.0'	7.5'
Rear Setback	30.0'	20.0'	10.0'
Minimum Lot Size	15,000 s.f.	7,000 s.f.	8,000 s.f.
Minimum Lot Width	75'	55'	20'

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). A portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0290H Eff. Date 01/05/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 5 & 23 discusses the Major Thoroughfare Plan. Manchester Pike is planned to be improved to a 5-lane roadway, and Dilton Mankin Road is planned to be improved to a 3-lane roadway.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Ole South Properties, Inc. contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 19 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 17 and a description is on Page 21.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

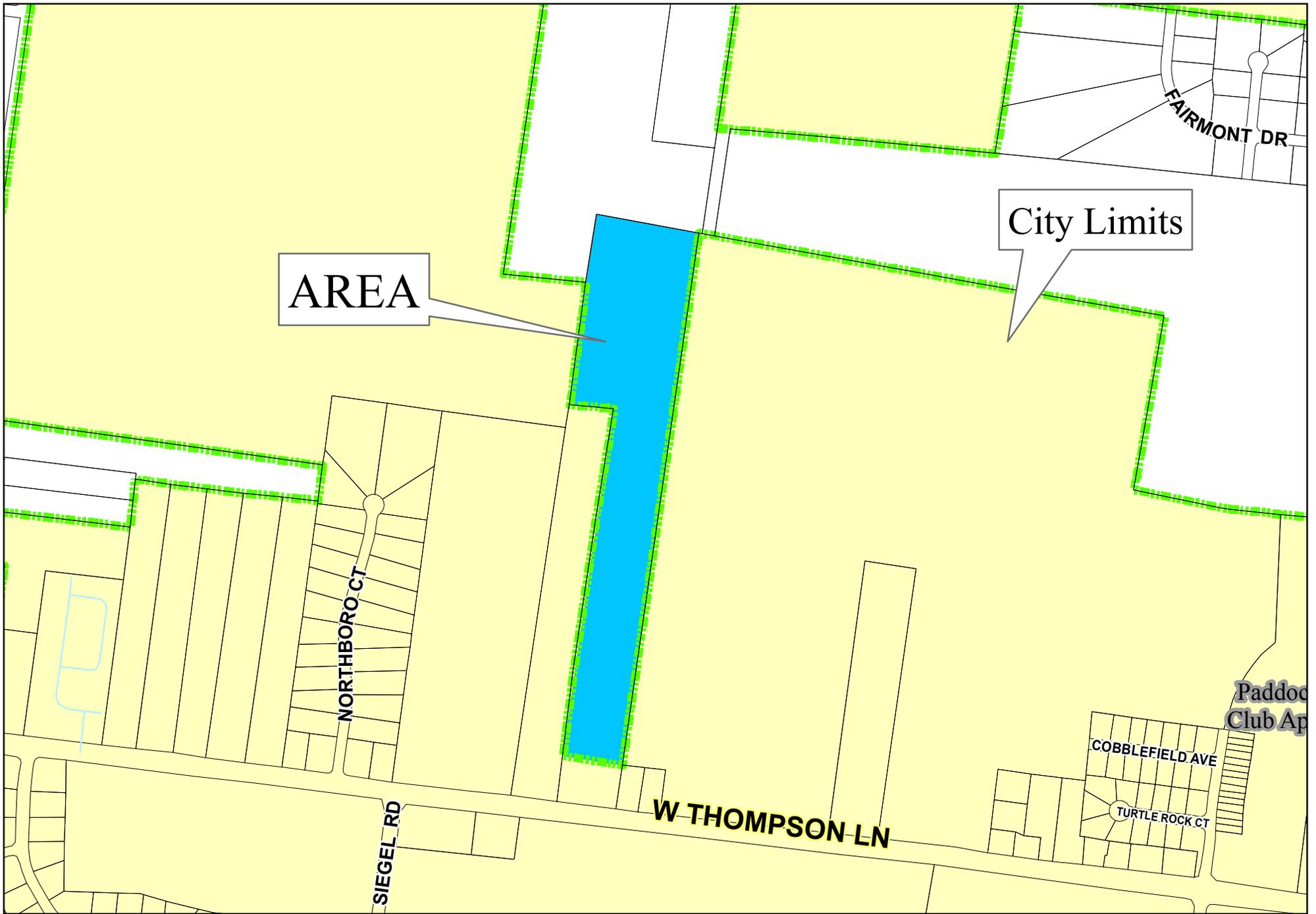
4.e. Annexation Plan of Services and annexation petition [2016-516] for approximately 21.5 acres located along West Thompson Lane, Diane & Grant Kelley applicants.

The subject property is located north of West Thompson Lane. The study area consists of property owned by Diane and Grant Kelly, a 1.5 acre portion of which is already located within Murfreesboro City limits. Mr. Steven Dotson has a contract to purchase the property and wishes to develop it, which will be discussed in the next agenda item. The entire study area is 21.5 acres.

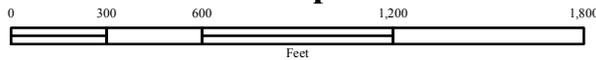
A written petition has been filed by the property owners requesting annexation. The property is located within the City's Urban Growth Boundary and is contiguous with the City limits.

Staff has prepared a plan of services and it has been included in the agenda packet. The plan of services indicates that the City will be able to provide services to the subject property if annexed. The right of way of West Thompson Lane is already located within City limits. Steven Dotson has also filed a request to zone the annexation study area PRD (Planned Residential District) simultaneous with annexation which is the subject of a separate public hearing.

The Planning Commission will need to conduct a public hearing on the matter of the annexation petition and Plan of Services, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Annexation Request for Property Along
W. Thompson Ln.**



Path: G:\planning\annex\424WThompsonLn.mxd



GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Diane L. Kelley
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Diane L. Kelley Status: Owner Date: 8-24-16

3705 Leanna Rd, Murfreesboro, TN 37129
Mailing Address (if not address of property to be annexed)

2. AUGUSTA GRANT KELLEY, JR.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Augusta Grant Kelley Status: OWNER Date: 8-24-16

3205 LEMMA ROAD, MURFREESBORO, TN 37129
Mailing Address (if not address of property to be annexed)

3. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes No

**ANNEXATION REPORT FOR PROPERTY LOCATED AT
424 WEST THOMPSON LANE
INCLUDING PLAN OF SERVICES**



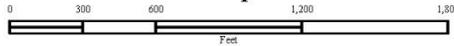
**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
October 5, 2016**



AREA

City Limits

**Annexation Request for Property Along
W. Thompson Ln.**



GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov



Path: G:\planning\annex424WThompsonLnortho.mxd

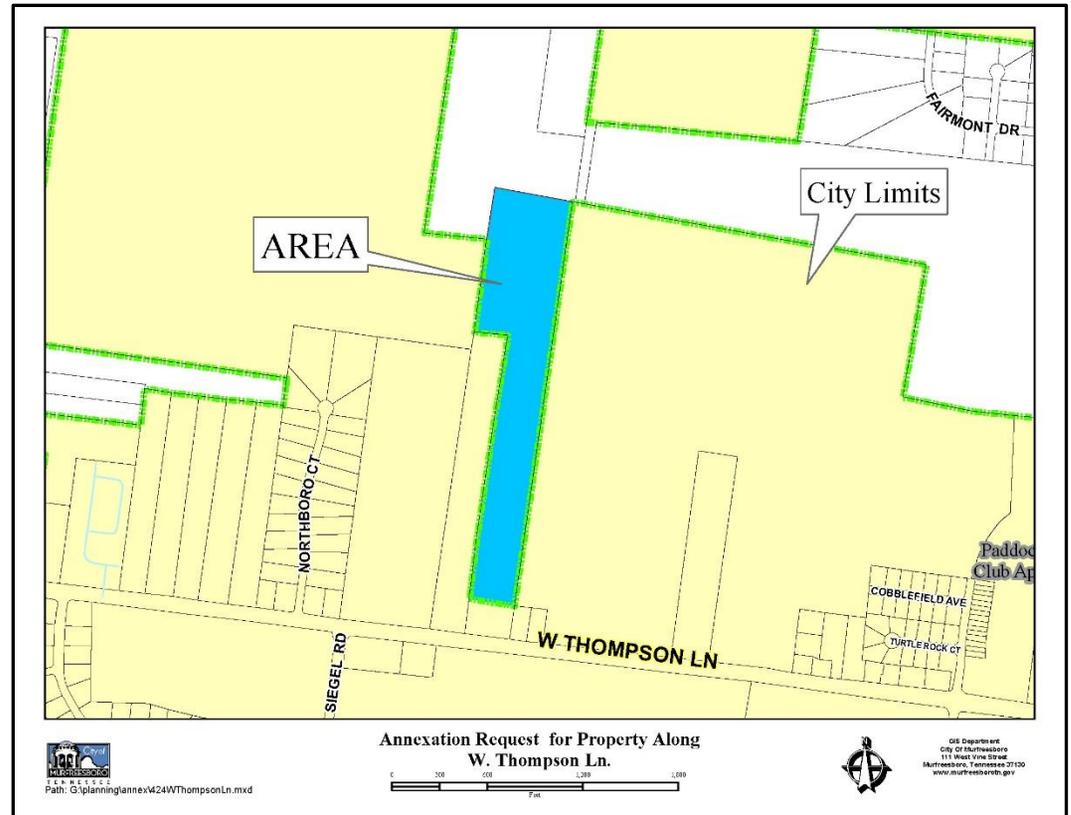
INTRODUCTION

OVERVIEW

The applicants, Diane and Grant Kelley, have requested annexation of property located along the north side of West Thompson Lane.

The area studied in this Plan of Services includes a 21.5-acre portion of a 23-acre property (Tax Map 058, Parcel 80.00). The remaining 1.5-acre portion of the subject parcel was annexed into the City of Murfreesboro in 1987.

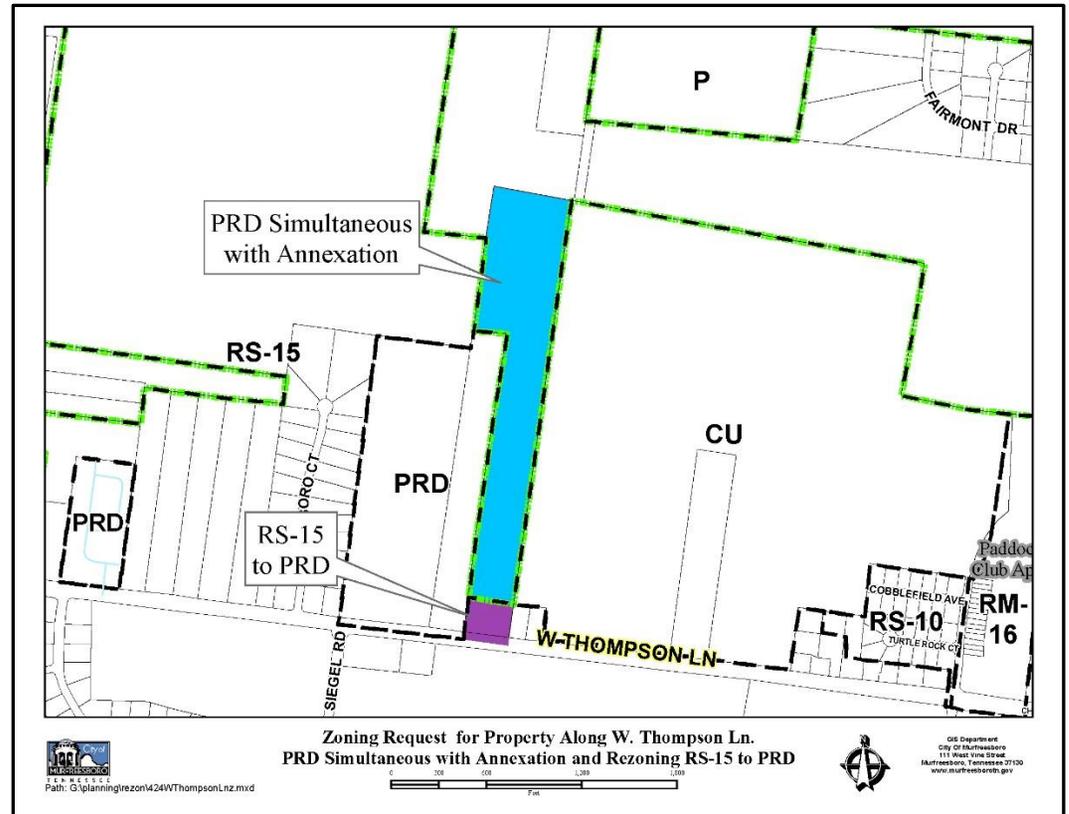
The study lies within the City of Murfreesboro's Urban Growth Boundary and adjoins the City on the east, south, and west. Adjacent areas to the north lie within the unincorporated County.



CITY ZONING

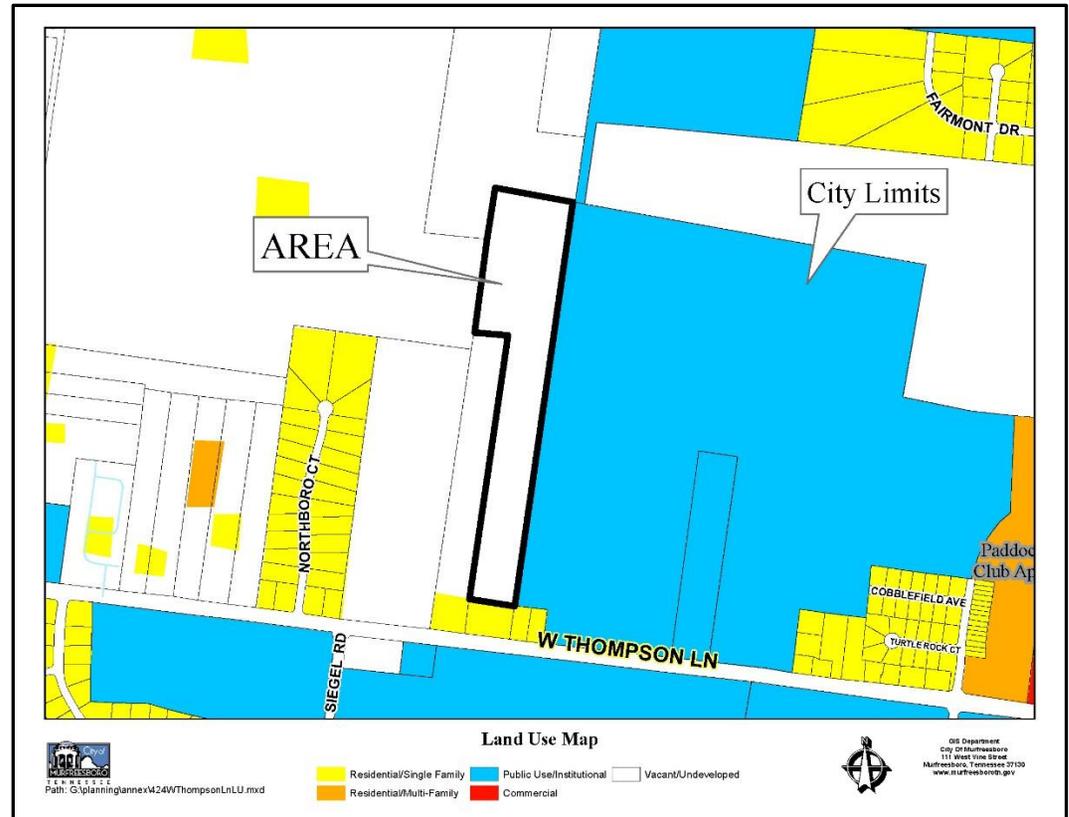
The applicants have requested rezoning to PRD (Planned Residential District) for the study area simultaneous with annexation. The study area is presently zoned RM (Residential – Medium Density) in the County. Additionally, the applicants have requested that the 1.5-acre portion of the subject property already located within the City be rezoned from RS-15 (Single-Family Residential) to PRD.

The adjacent property to the west of the study area is zoned PRD and is the future location of an approved residential subdivision consisting of 31 single-family homes and 130 townhomes. Adjacent properties to the northwest and south are zoned RS-15. The adjoining property to the east is zoned CU (College and University District). Adjacent properties to the north of the study area lie within the unincorporated County and are zoned RM.



PRESENT AND SURROUNDING LAND USE

The 21.5-acre study area is part of a larger 23-acre property that presently includes one single-family residential dwelling and several detached accessory structures. Single-family residential dwellings are also present on adjacent lots to the north, southeast, and southwest. Tennessee Miller Coliseum, an arena owned by Middle Tennessee State University, lies to the east of the study area. Siegel High School and its associated athletic fields are located along the south side of West Thompson Lane. Other nearby land uses include the Northboro residential subdivision to the west, the Bluffview residential subdivision to the east, and Siegel Middle School to the southeast.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2016 will be due on December 31, 2017. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$1.2703/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Kelley Diane L et vir Grant	21.54	\$41,000	N/A	\$10,250	\$130.21

These figures are for the property in its current state. The study area will be developed with 112 single-family homes.

The City of Murfreesboro is also projected to receive additional revenue from state-shared taxes. Table II below shows the 2016-2017 per capita state revenue estimates for the City of Murfreesboro once the development is built out. The study area will be developed with 112 single-family homes.

Table II
Per Capita State Revenue Estimates

General Fund	Per Capita Amount
State Sales Tax	\$70.00
State Beer Tax	\$0.50
Special Petroleum Products Tax (Gasoline Inspection Fee)	\$2.05
Gross Receipts (TVA in-lieu taxes)	\$11.00
<i>Total General Revenue Per Capita</i>	\$83.55
State Street Aid Funds	Per Capita Amount
Gasoline and Motor Fuel Taxes	\$25.91
<i>Total Per Capita (General and State Street Aid Funds)</i>	\$109.46
Total State-Shared Revenues (based on full build-out at 2.58 per dwelling unit with maximum density of 112 units)	\$31,629.56

The per capita state revenue estimates apply only to new residents and will only be available after a certified census takes place.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police service through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE and other community crime prevention programs to the subject parcels immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Police Department. No additional costs to the department are expected. This property is located in Police Zone #6.

ELECTRIC SERVICE

The property is located within Murfreesboro Electric Department's (MED) service boundary and is currently served by MED. Any new electrical infrastructure installed to serve the proposed development will be required to adhere to MED standards.

STREET LIGHTING

MED presently maintains street lighting along West Thompson Lane. Additional street lighting will be installed on the property if any future development on the property includes public streets.

STREETS AND ACCESS

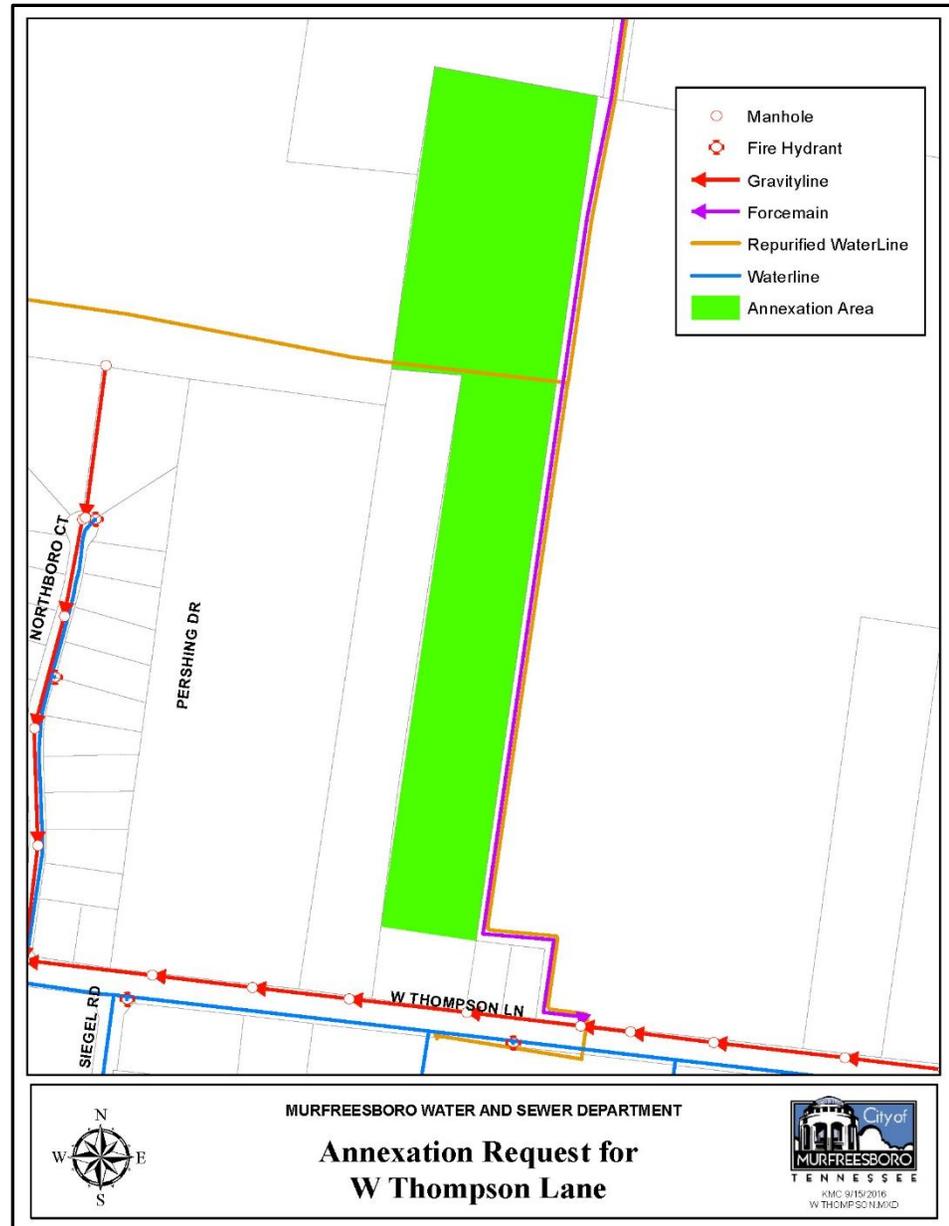
The study area currently has access to West Thompson Lane, a major arterial, on the south. West Thompson Lane is on the City's Major Thoroughfare Plan for improvement to a five-lane curb-and-gutter roadway. In addition, the study area is bordered on the east by a proposed north-south connector between Cherry Lane and West Thompson Lane; the connector is shown on the applicant's PRD proposal. Development of the study area should comply with the Major Thoroughfare Plan for dedication of right-of-way and participation in the construction of recommended improvements. Any future public roadway facilities serving the study area must be constructed to City standards.

WATER SERVICE

Water service will be provided to the study area by either the Murfreesboro Water and Sewer Department (MWSD) or Consolidated Utility District (CUD). MWSD maintains an existing 20-inch water main along the south side of West Thompson Lane, while CUD maintains a 24-inch water main across the northern portion of the study area. The MWSD and CUD Boards and Staff will work with the applicant to determine the appropriate provider for the study area. Any new water line development must be done in accordance with MWSD's and/or CUD's development policies and procedures.

REPURIFIED WATER

Repurified water is currently available to serve the subject property, per MWSD's definition of "available." An existing 24-inch repurified water main located along the east side of the study area may be extended into the study area for irrigation. All main line extensions must be done in accordance with MWSD's development policies and procedures. The orange lines on the adjacent map represent existing repurified water lines.

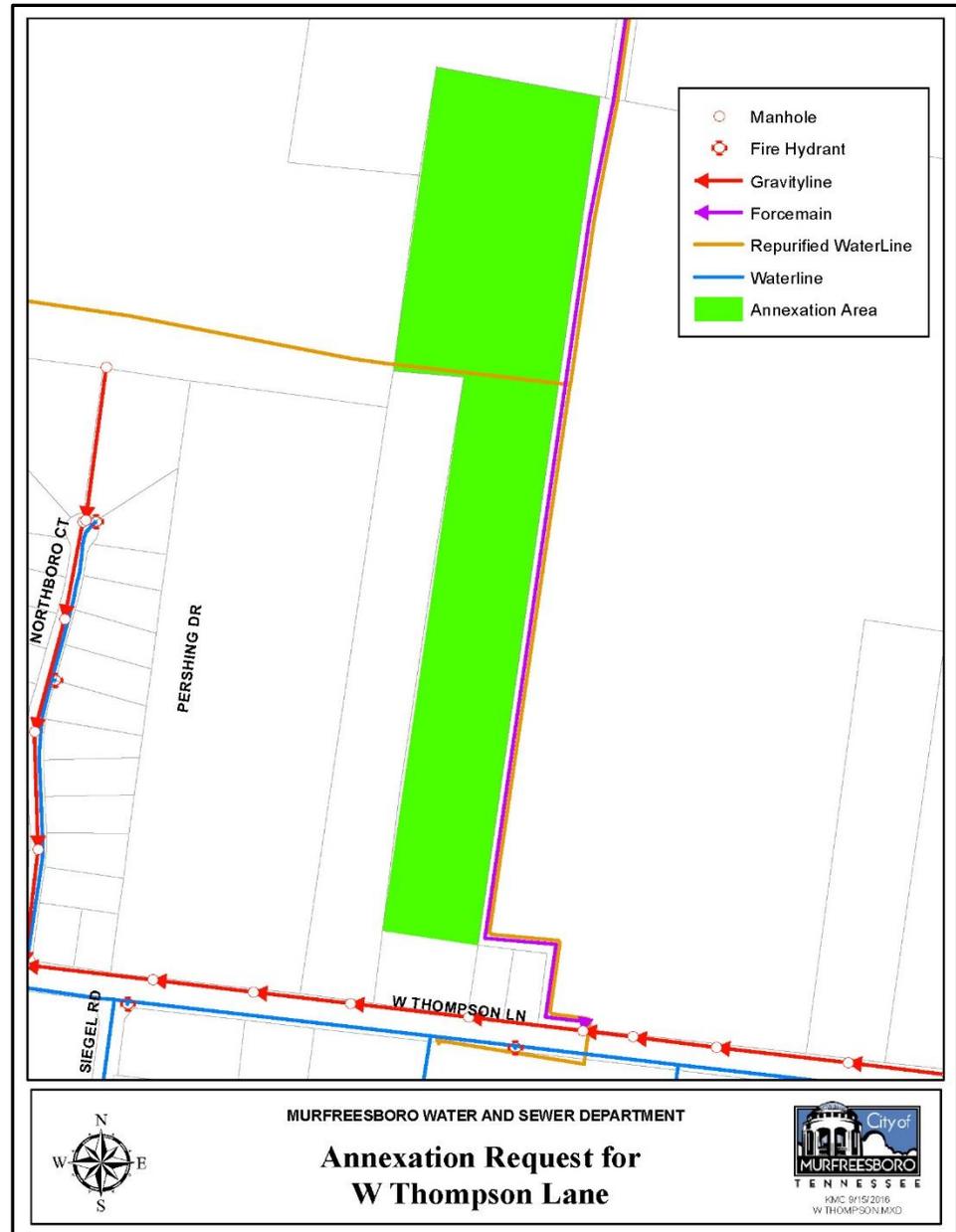


SANITARY SEWER SERVICE

Sanitary sewer is currently available to serve the subject property, per the Murfreesboro Water and Sewer Department's (MWSD) definition of "available." MWSD presently serves the existing house on the subject property. Sewer service to the remainder of the study area will be provided from an existing 18-inch sewer main located along the north side of West Thompson Lane. The applicant's design engineer must verify which portion of the property can be served by gravity and which portion will require grinder pumps; these findings must be reported to MWSD as soon as possible.

All sewer main improvements and easements needed to serve the subject property are to be installed and acquired respectively by the developer in accordance with MWSD's development policies and procedures.

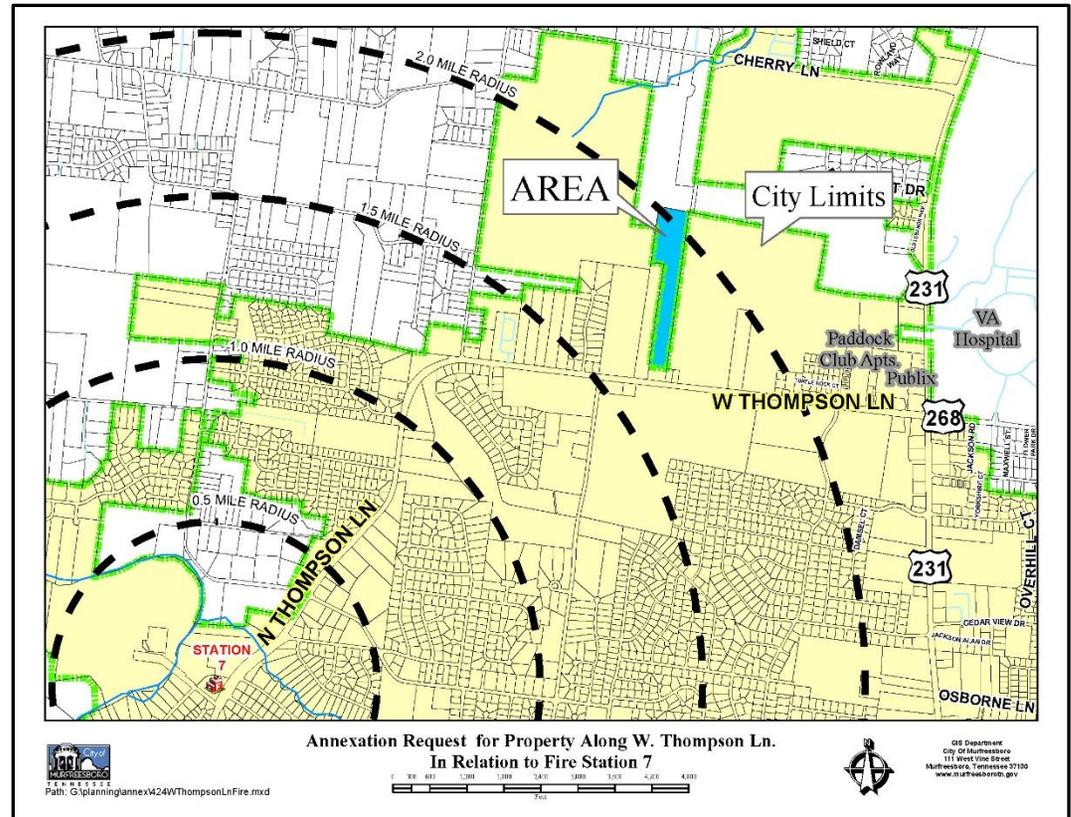
The red lines on the adjacent map represent existing sewer lines.



FIRE AND EMERGENCY SERVICE

The annexation will have no negative impact on the Murfreesboro Fire and Rescue Department (MFRD). The MFRD will provide fire protection with a full-time, professional staff as well as medical first responder service. Any development on the site must provide adequate fire flows and install water lines and fire hydrants per the Murfreesboro Water and Sewer Department (MWSD) policies and procedures.

The closest fire station to the subject tract is Fire Station #7, located at 2715 North Thompson Lane, 1.8 miles from the study area. Fire Station #6, located at 2302 Memorial Boulevard, is 2.5 miles from the study area. The MFRD can provide ISO Class Two (2) fire protection. The dashed lines on the adjacent map represent linear distance ranges from the nearest fire stations.



SOLID WASTE COLLECTION

The City will provide weekly curbside solid waste collection service immediately upon the effective date of annexation, as well as brush/debris removal every two to three weeks. The initial day of service will be Friday.

BUILDING AND CODES

The property will immediately come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro tax payers. Children who are residents of the

City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The study area is located in the Erma Siegel Elementary school zone.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

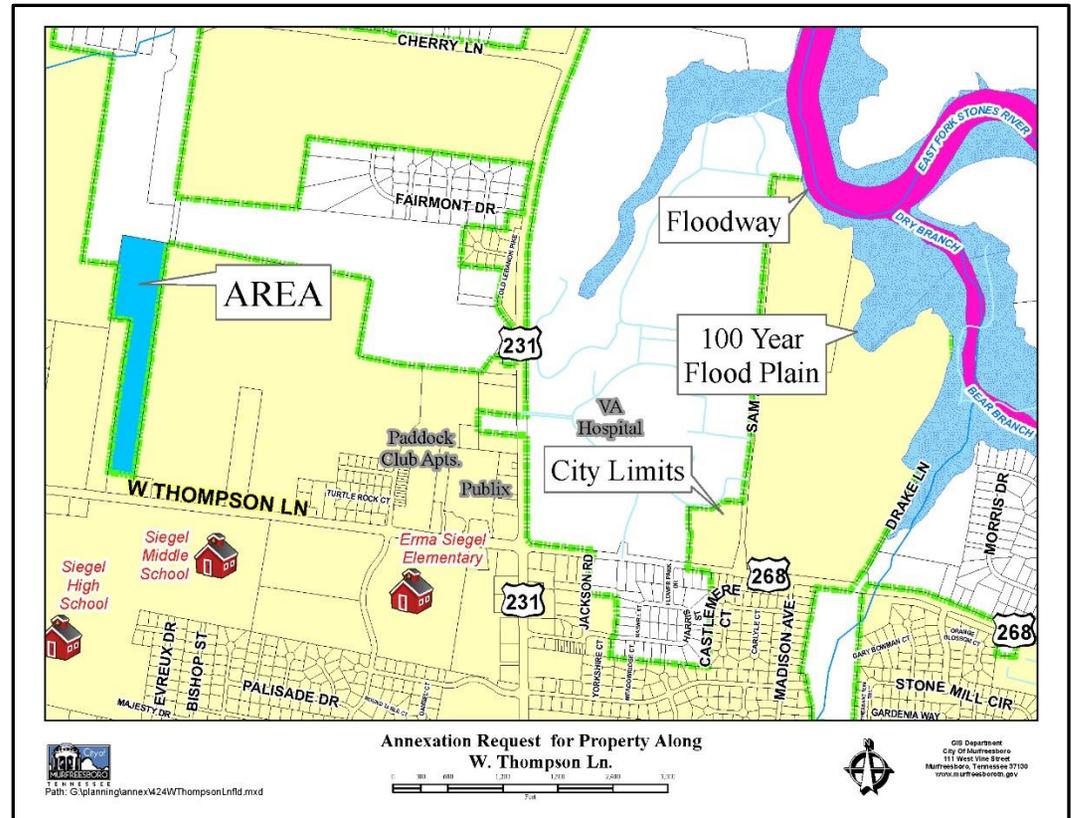
PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

FLOODWAY

The study area is not located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

The adjacent map shows the floodway boundary in yellow and the 100-year floodplain boundary in blue.

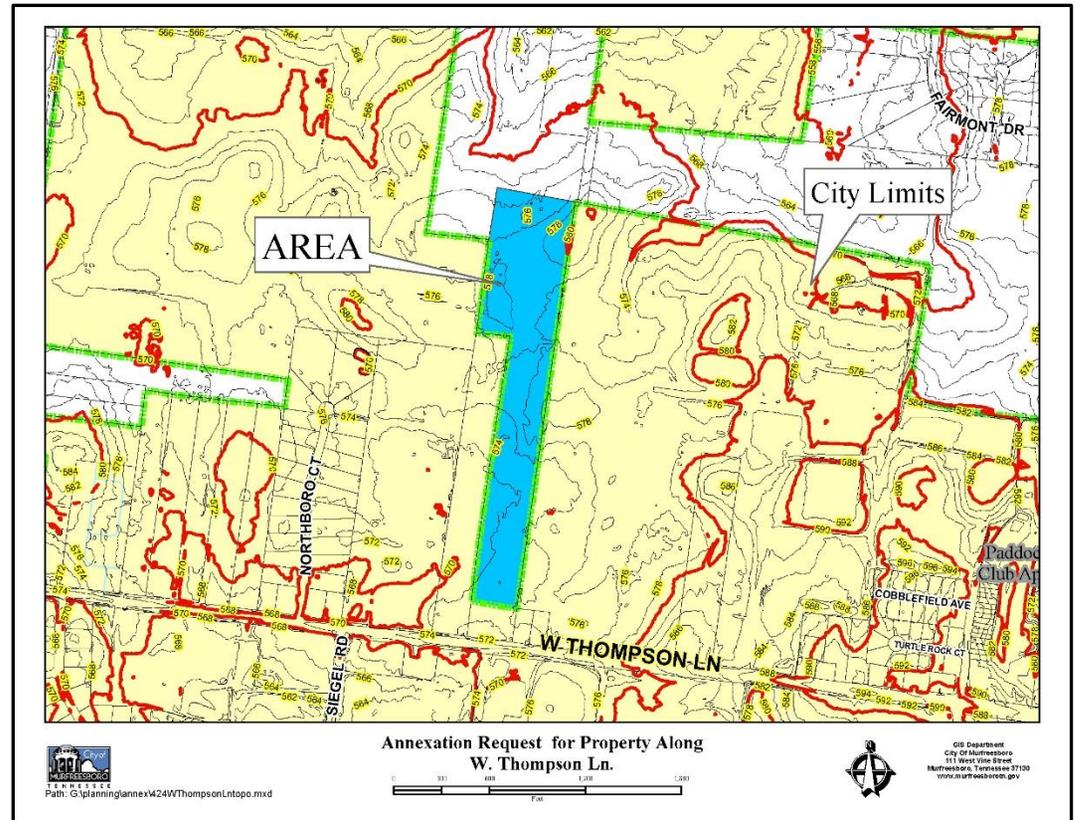


DRAINAGE

The southern half of the study area drains well to the west, while the northern portion of the study area drains to neighboring properties to the north and east. Any future development should address the Hoopers Bottom Management Plan criteria for mitigating runoff volume above that generated by low-density residential uses.

No existing public drainage facilities are included in the study area. However, the study area has access to the existing public drainage system on West Thompson Lane. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

New development on the property must meet overall City of Murfreesboro Stormwater Quality requirements including water quality and detention. Future development in the study area will be subject to the Stormwater Utility Fee upon completion of construction. Based on the proposed residential land use and considering applicable credits, this property has the potential to generate \$4,325 in Stormwater Utility Fees annually upon full development. The red lines on the adjacent map represent ten-foot contours. The black lines represent two-foot intervals.



ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

- 4.f. Zoning application [2016-445] for approximately 21.5 acres located along West Thompson Lane to be zoned PRD simultaneous with annexation, to rezone approximately 1.5 acres from RS-15 to PRD and to rezone approximately 1.1 acres from CU to PRD (Caroline Farms), Steven Dotson applicant.**

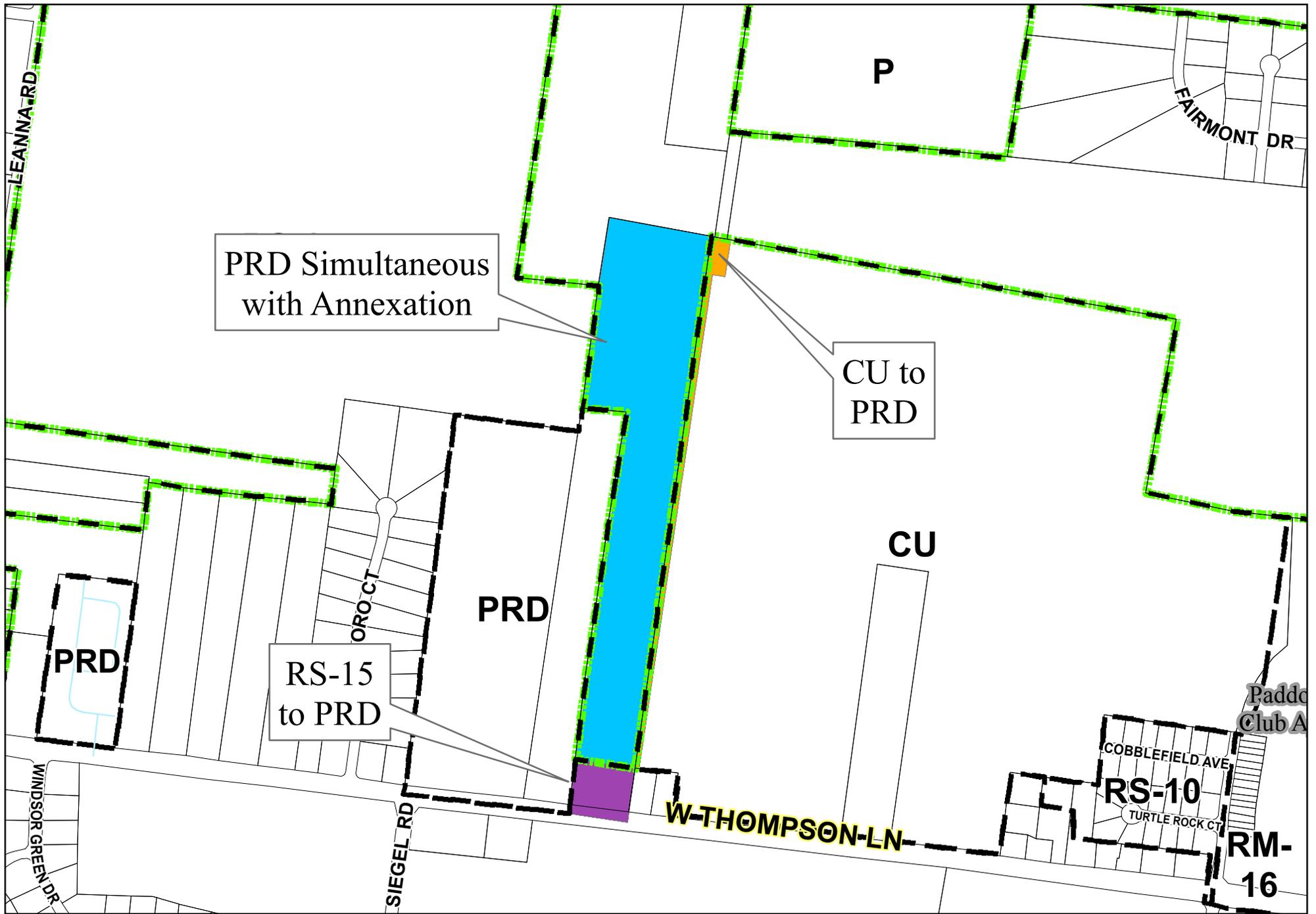
The subject property is located north of West Thompson Lane. The study area consists of property owned by Diane and Grant Kelly. Mr. Steven Dotson has a contract to purchase the property and wishes to develop it. A 1.5 acre portion of the property was annexed in 1987 by the City of Murfreesboro and is zoned RS-15 (Single-Family Residential District). The remainder of the property is being studied for annexation. An adjacent 1.1 acre portion of the MTSU property is included in this zoning application. The previous item on the agenda pertained to the annexation of this property, while this item pertains to the zoning.

The properties located to the north are in the unincorporated area of Rutherford County. The property to the east is zoned CU (College and University) and is owned by MTSU. The properties to the west are zoned PRD and is the future location of the General's Landing PRD, which is a mixture of 31 single-family, detached lots and 130 multi-family, townhomes. The properties to the south are zoned RS-15 and is the location of the Siegel Middle and High schools.

The applicant has requested that the 21.5 acre being considered for annexation be zoned PRD (Planned Residential District) simultaneous with annexation, that the 1.5 acres currently zoned RS-15 be rezoned to PRD, and that the 1.1 acres zoned CU be rezoned PRD for a total of 24.1 acres. The Caroline Farms PRD district would allow 112 single-family detached lots on 24.13 acres for a density of 4.6 dwelling units per acre. The minimum lot size will be 5,250 square feet. The minimum lot home size is 1,800 square feet with a minimum 2-car front entry garage with decorative garage doors. The homes are to have masonry exteriors (brick, stone, rock, cementitious siding). Each home will have foundation landscaping and sodded front yards. The streets will have decorative mailboxes and street lights. Four-rail fencing will run along West Thompson Lane, which will mimic the adjacent Generals Landing PRD.

The Major Thoroughfare Plan includes a three-lane, north-south connector road from West Thompson Lane to Cherry Lane (see attachment). The PRD plan is incorporating this element of the Major Thoroughfare Plan.

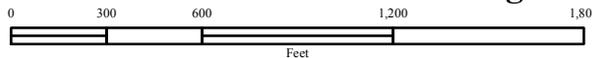
A copy of the program book has been included in the agenda materials. The applicants will be available to make a presentation regarding the proposed zoning. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



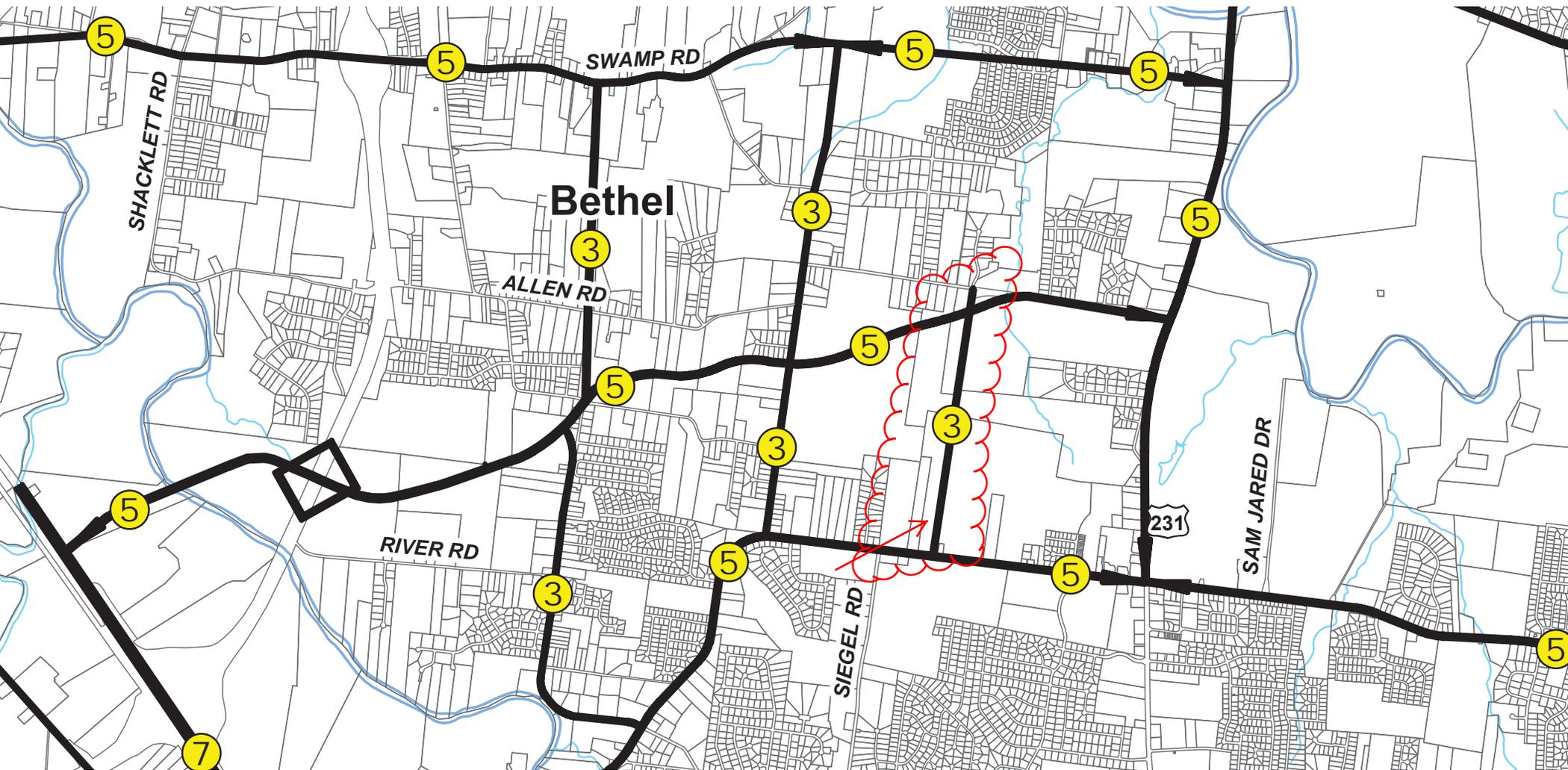
**Zoning Request for Property Along W. Thompson Ln.
PRD Simultaneous with Annexation and Rezoning RS-15 and CU to PRD**



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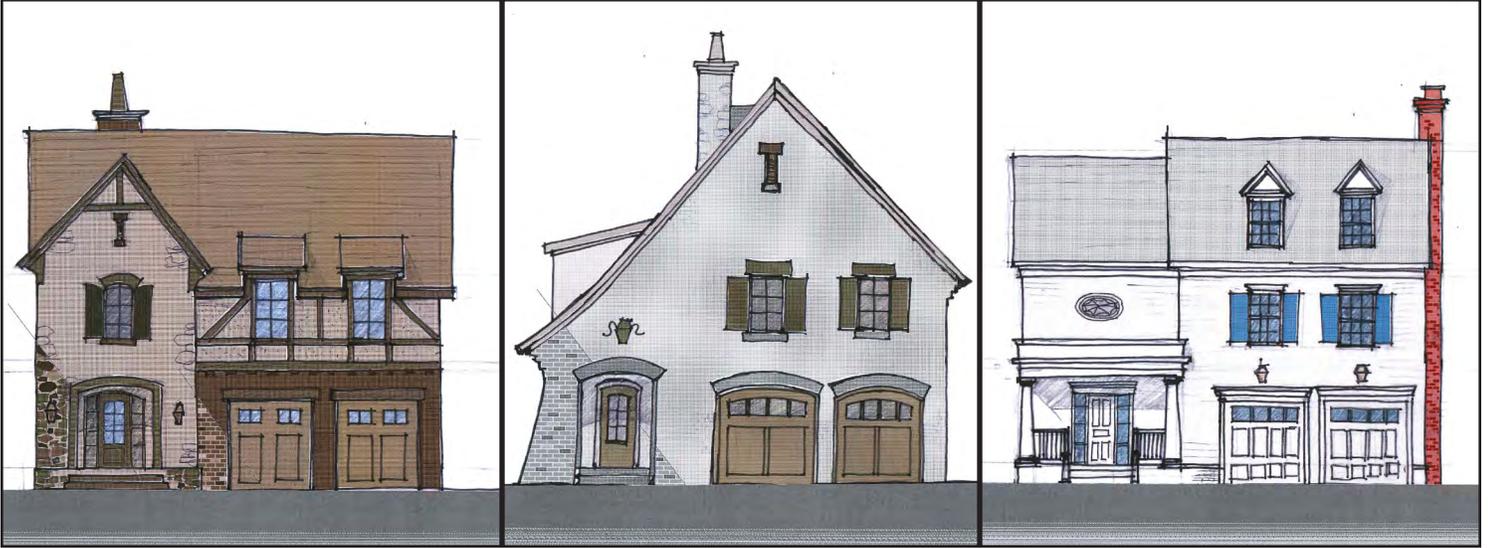


GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov



**Exerpt of Major
Thoroughfare Plan**

CAROLINE FARMS



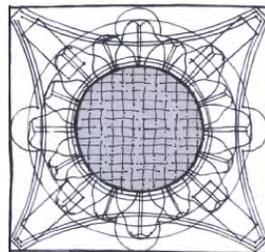
A REQUEST FOR ANNEXATION & REZONING TO A PLANNED RESIDENTIAL DEVELOPMENT (PRD)

Submitted: September 1, 2016

SEC Project # 16184

Resubmitted: September 28, 2016 for October 5, 2016 Planning Commission Public Hearing

SEC Project # 16184



SEC, Inc.

Developer
Steven Dotson

Steven Dotson
Red Realty
522 Uptown Square
Murfreesboro, Tennessee 37129
(615) 896-2733 Office
www.redrealty.com

Architect
Scott Wilson Architect, LLC

Scott Wilson
317 Main Street, Ste 202
Franklin, Tennessee 37064
(615) 377-9131
www.ScottWilsonArchitect.com

Planning . Engineering
Landscape Architecture
SEC, Inc.

Attn: Rob Molchan, P.L.A.
850 Middle Tennessee Blvd.
Murfreesboro, TN. 37129
P: 615-890-7901
www.sec-civil.com
rmolchan@sec-civil.com

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Steven Dotson respectfully requests annexation and rezoning the Kelley property at 424 West Thompson Lane from RM (Medium Density Residential - Rutherford County) and RS-15 (Single-Family Residential - City of Murfreesboro) to PRD (Planned Residential Development) to create Caroline Farms. The property is located along the north side of West Thompson Lane, across the street from Siegel High School. The site is identified as Parcel 80.00 of Tax Map 58, and is approximately 23.00 acres. An additional 1.13 acres as part of Parcel 78.00 of Tax Map 58 pertaining to lands owned by Tennessee Miller Coliseum Corporation.

The request for rezoning to PRD is to create Caroline Farms. The development will consist of 112 single-family detached lots on 24.13 acres, for a density of 4.64 dwelling units per acre. Minimum lot size will be 5,250 sf., with a typical lot size of 6,000 sf. All homes will be for purchase. The proposed homes will range in size from 1,800 sf. to 3,000+ sf. All homes will have a minimum of 2 bedrooms, and a minimum two car front entry garage with decorative garage doors. The home elevations will be constructed of masonry materials to add quality and character to the community. Each lot and home will have foundation landscaping and sodded front yards. Along the streets, decorative mailboxes, and street lights will add character and continuity to the neighborhood. The entrance will incorporate signage on both sides of the intersection at West Thompson Lane. To enhance the entrance signage, 4-rail fencing will welcome passerbys and residences along West Thompson Lane, and as you enter the front section of the neighborhood along the open spaces. The H.O.A. will maintain the common areas.



WATER & SEWER MAP

NOT TO SCALE



 MWSD REPURIFIED WATERLINE
 MWSD STORMWATER

 MWSD WATER LINE
 MWSD SEWER LINE



MURFREESBORO WATER AND SEWER DEPARTMENT

Sanitary sewer service will be provided by the Murfreesboro Water & Sewer Department. Sanitary sewer service will connect to an existing 18" gravity sewer line in the R.O.W. along the north side of West Thompson Lane. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property.



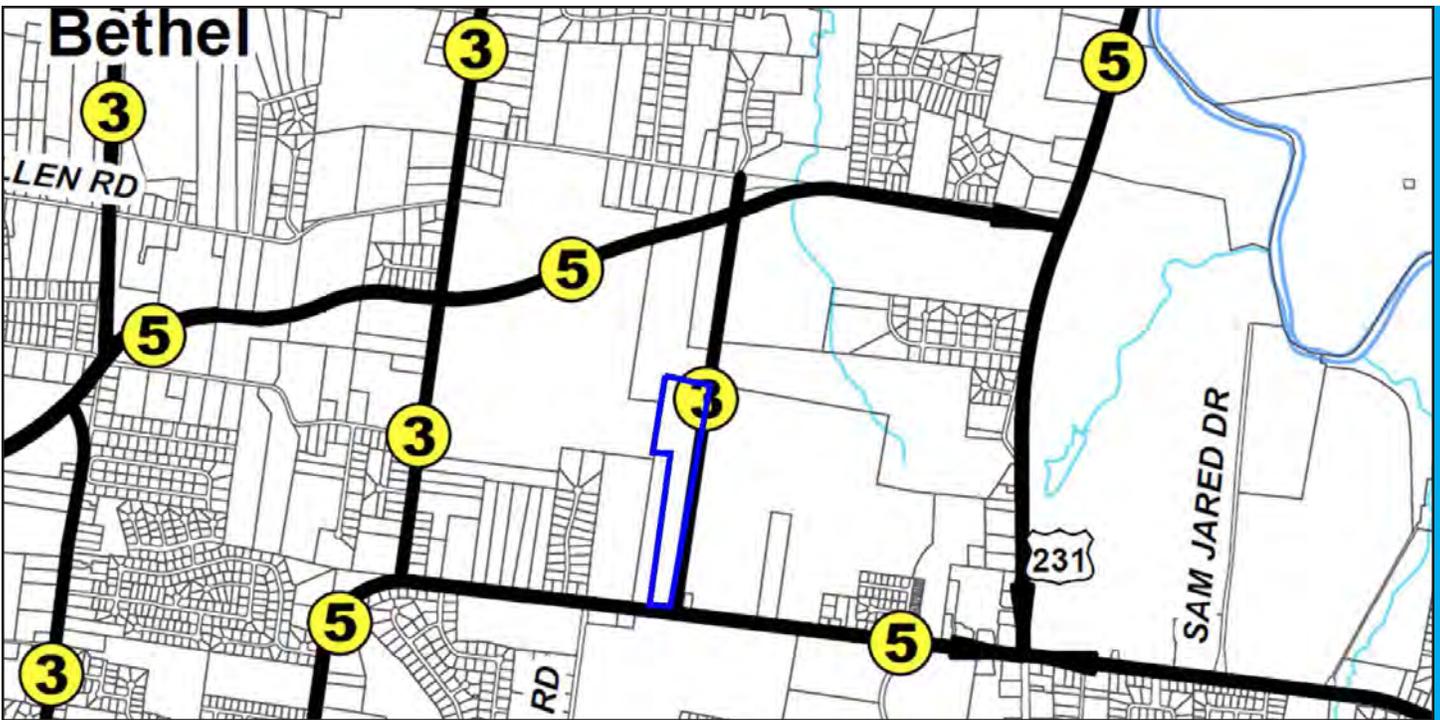
MURFREESBORO WATER AND SEWER DEPARTMENT

Water sewer service will be provided by the Murfreesboro Water & Sewer Department. There is an existing 20" water line in the R.O.W. along the south side of West Thompson Lane for service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



MURFREESBORO ELECTRIC DEPARTMENT

Murfreesboro Electric Department will be providing electrical service. All electric service will be underground. Overhead electricity is currently located along north and south sides of West Thompson Lane.



MAJOR THOROUGHFARE PLAN

NOT TO SCALE



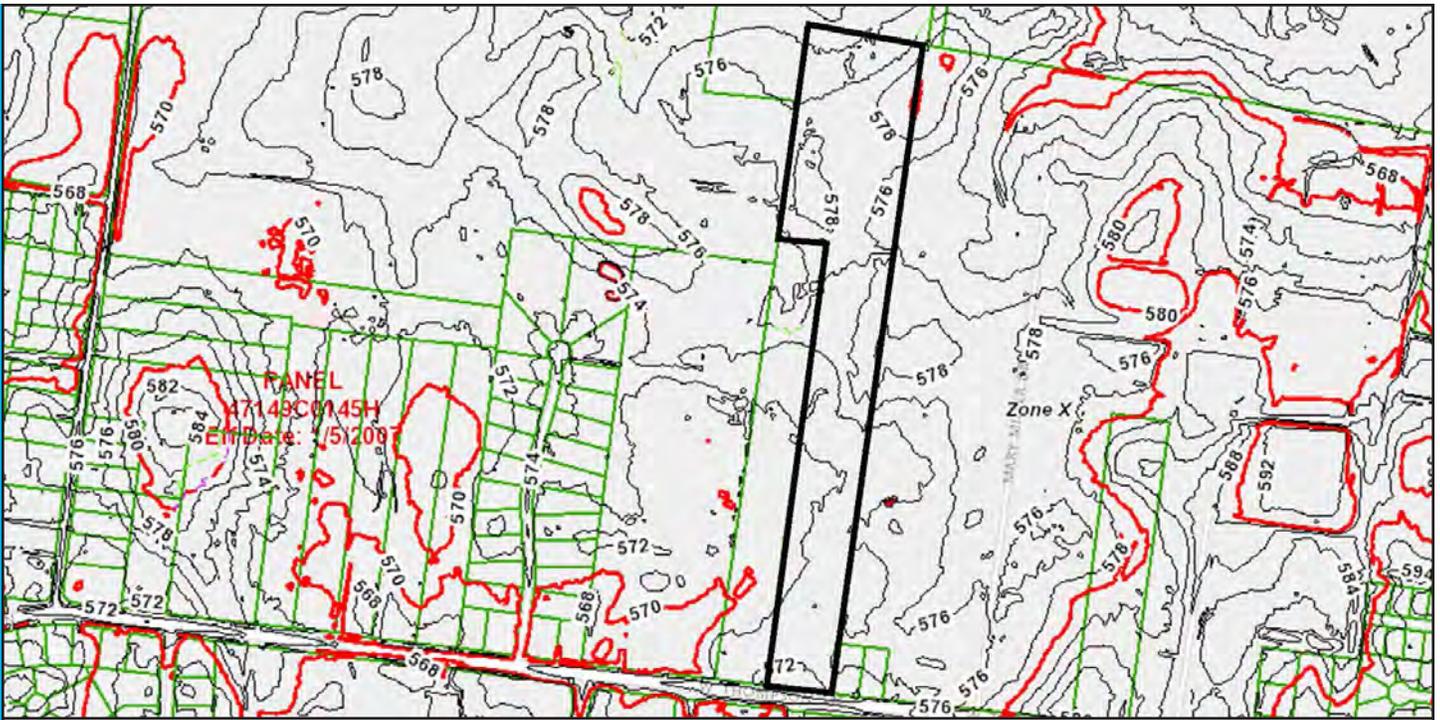
- | | |
|---|------------------------|
| Murfreesboro Urban Growth Boundary | Committed Or Existing |
| Outside Of Murfreesboro Urban Growth Boundary | 2 Lane Roadway |
| | 3 Lane Roadway |
| | 4 Lane Divided Roadway |
| | 5 Lane Roadway |
| | 6 Lane Roadway |
| | 7 Lane Roadway |



CITY OF MURFREESBORO

The property has/will have access to the existing public rights-of-way of West Thompson Lane. West Thompson Lane is on the City of Murfreesboro's Major Thoroughfare Plan, and is planned to be a 5 lane roadway. Currently the roadway is a 3 lane cross-section with dedicated bike lanes on both sides of the roadway. The property is aligned directly across the street from a private drive which is an entrance to Siegel High School. This entrance is designed with 2 travel lanes leading out to West Thompson Lane, and 1 lane leading into the high school site.

In accordance with the City of Murfreesboro's Major Thoroughfare Plan, the applicant has been working with the City of Murfreesboro and Middle Tennessee State University to allow for future connectivity between West Thompson Lane and Cherry Lane. This could also provide a new means of access to the Siegel Soccer Complex north of this site. The roadway layout for this development was designed to incorporate a proposed roadway stub leading to city property just to the northeast of this site. This stub street will cross the northwest corner of the MTSU property to align with the city owned property associated with the soccer complex. This will enhance traffic circulation in this area of the city, provide better connectivity for residents, and allow for another means of access to the Siegel Soccer Complex from West Thompson Lane. Through this collaboration, Caroline Farms will acquire roughly 1.13 acres of land from MTSU to allow for the residential lots and the proposed ROW for the future roadway connection.



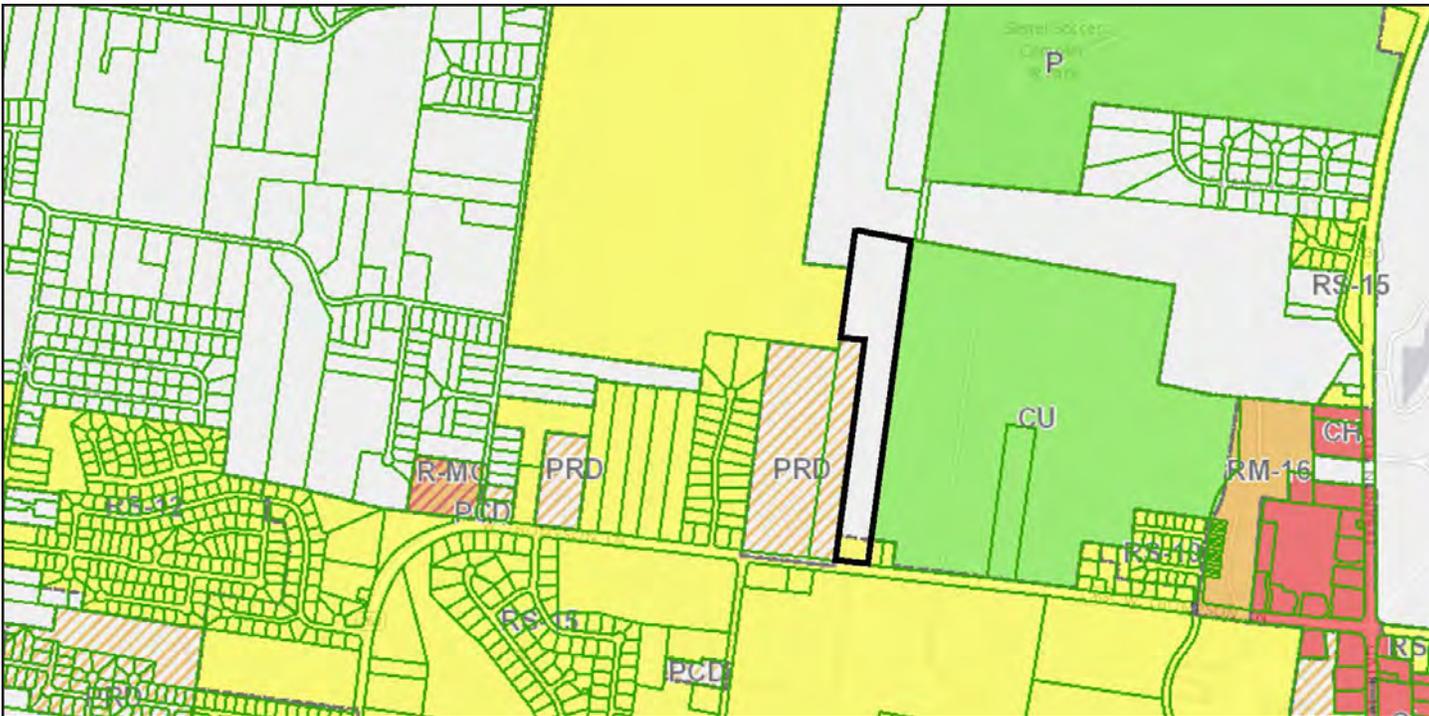
TOPOGRAPHY MAP

NOT TO SCALE



The topographic map above shows the site's topographic high point generally where the property widens near the northern end of the property. From this high point, the property drains towards the north and south. Stormwater that drains to the north, flows across existing large vacant tracts north of the site towards Cherry Lane. Stormwater that drains to the south, flows towards West Thompson Lane where it is collected in the open ditch system along the roadway. This stormwater flow west along West Thompson Lane where it empties into Hoopers Bottom.

Any drainage from this property will be coordinated with drainage plans for General's Landing to the west, as well as with MTSU property to the east.



ZONING MAP

NOT TO SCALE



Districts Color and Abbreviation Key											
■ CBD	Central Business District	■ CM-R	Commercial Medical, Residential	■ L-I	Light Industrial	■ PCD	Planned Commercial Development	■ R-MO	Residential Mobile Home	■ RG-10	Residential Single-Family
■ CF	Commercial Fringe	■ CM-RS-S	Commercial Medical, Residential Single Family	■ MU	Mixed Use	■ PID	Planned Industrial District	■ RD	Residential Duplex	■ RG-12	Residential Single-Family
■ CH	Commercial Highway	■ CP	Commercial, Planned	■ OG	General Office	■ PND	Planned Institutional Development	■ RM-12	Residential Multi-Family	■ RG-15	Residential Single-Family
■ CL	Commercial, Local	■ CU	College and University	■ OG-R	Residential General Office	■ PRD	Planned Residential Development	■ RM-16	Residential Multi-Family	■ RG-4	Residential Single-Family
■ CM	Commercial Medical	■ HI	Heavy Industrial	■ P	Park	■ PUD	Planned Unit Development	■ RM-22	Residential Multi-Family	■ RG-8	Residential Single-Family
										■ RZ	Residential Zero Lot Line

The surrounding area consists of a mixture of zoning types and uses. The land to the west of the site is the agricultural property owned by the City of Murfreesboro that is zoned RS-15. To the north, a couple of large undeveloped lots that are currently zoned RM in Rutherford County. The Siegel Soccer Complex is also located just to the northeast of the property. The Tennessee Miller Coliseum is located along the eastern edge of the project. This property is part of Middle Tennessee State University and is zoned CU in the city. To the south and across West Thompson Lane is Siegel High School and Middle School. These institutional properties are zoned RS-15.

The property to the west consists of the recently approved General's Landing development that is zoned PRD. General's Landing is proposed to have 161 dwelling units on roughly 33 acres for a gross density of 4.87 units per acre. They are proposing 31 single-family detached lots with front entry garages, and 130 single-family attached townhomes with front entry garages. The single-family detached homes range in size from 2,400 sf. - 3,400 sf., while the single family attached townhomes range in size from 1,600 sf. - 2,400 sf.



GIS - AERIAL - PHOTO LOCATIONS MAP

NOT TO SCALE



IMAGE 1

VIEW NORTHWEST ONTO THE EASTERN SECTION OF THE SITE WITH MATURE VEGETATION SCREENING IT FROM TENNESSEE MILLER COLISEUM CORPORATION.



IMAGE 2

VIEW NORTHWEST ONTO RESIDENTIAL SINGLE-FAMILY PROPERTY SITUATED ON THE SITE AND SCHEDULED TO BE REMOVED DURING THE CONSTRUCTION PHASE.



IMAGE 3

VIEW NORTHEAST ONTO CENTRAL ENTRANCE INTO THE SITE.



IMAGE 4

VIEW NORTH ONTO THE WESTERN SECTION OF THE SITE AND THE PLANNED RESIDENTIAL DEVELOPMENT ADJACENT TO IT.



GIS - AERIAL - PHOTO LOCATIONS MAP

NOT TO SCALE



IMAGE 5

VIEW EAST ALONG WEST THOMPSON LANE WITH TENNESSEE MILLER COLISEUM ON THE LEFT.



IMAGE 6

VIEW WEST ONTO WEST THOMPSON LANE WITH SIEGEL MIDDLE SCHOOL ON THE LEFT.



IMAGE 7

VIEW EAST ALONG WEST THOMPSON LANE WITH CLASSIC TURNOUT STABLES ON THE LEFT.



IMAGE 8

VIEW SOUTH ONTO SIEGEL RODD



GIS - AERIAL - PHOTO LOCATIONS MAP

NOT TO SCALE



IMAGE 9

VIEW NORTHEAST ONTO RESIDENTIAL SINGLE-FAMILY PROPERTY THAT IS ADJACENT TO TENNESSEE MILLER COLISEUM.



IMAGE 10

VIEW NORTHEAST ONTO RESIDENTIAL SINGLE-FAMILY PROPERTY ADJACENT TO THE EASTERN SECTION OF THE SITE.



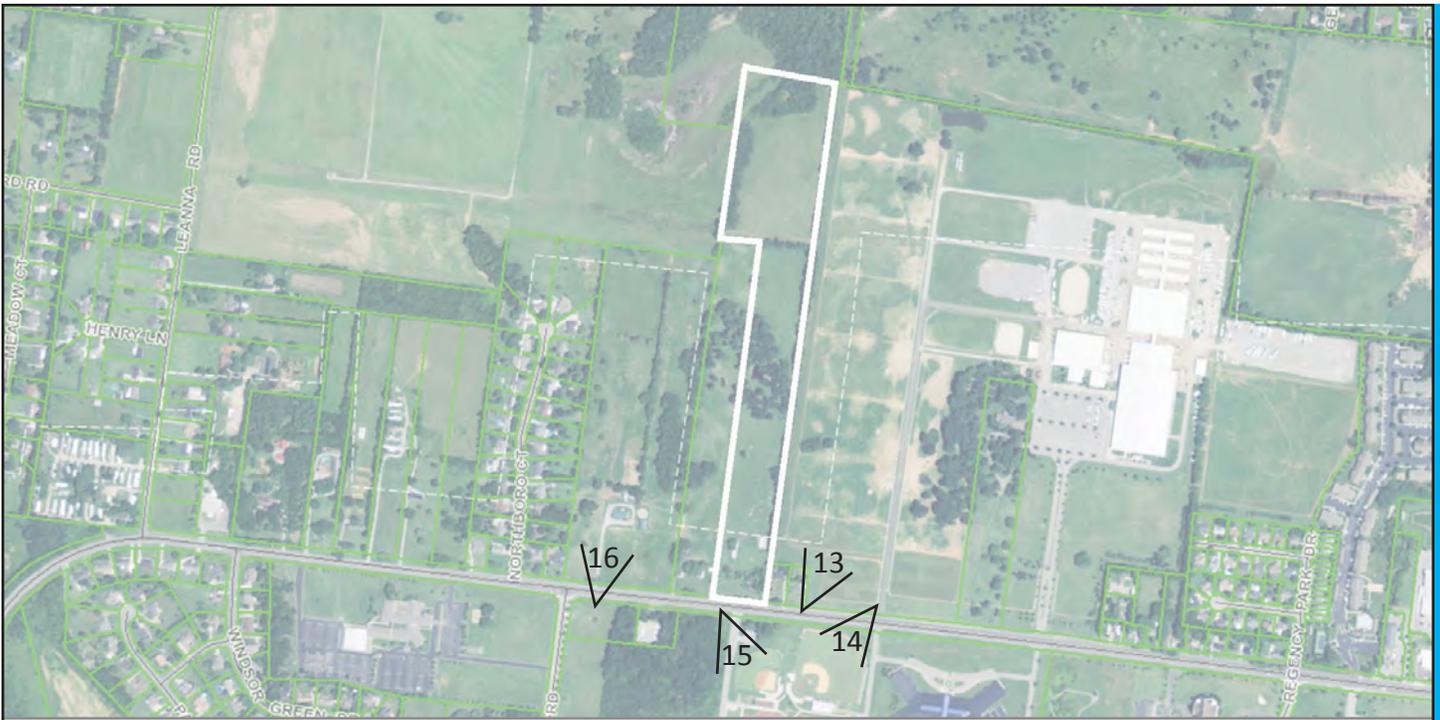
IMAGE 11

VIEW NORTHWEST ONTO PLANNED RESIDENTIAL DEVELOPMENT.



IMAGE 12

VIEW NORTHWEST ONTO RESIDENTIAL PROPERTY IN NORTHBORO SUBDIVISION THAT IS FACING WEST THOMPSON LANE.



GIS - AERIAL - PHOTO LOCATIONS MAP

NOT TO SCALE



IMAGE 13

VIEW NORTHEAST ONTO THE GRAZING GROUNDS FOR THE HORSES ON THE TENNESSEE MILLER COLISEUM PROPERTY.



IMAGE 14

VIEW SOUTHWEST, FROM THE ENTRANCE TO THE TENNESSEE MILLER COLISEUM PROPERTY, ONTO SIEGEL MIDDLE SCHOOL BASEBALL FIELDS.



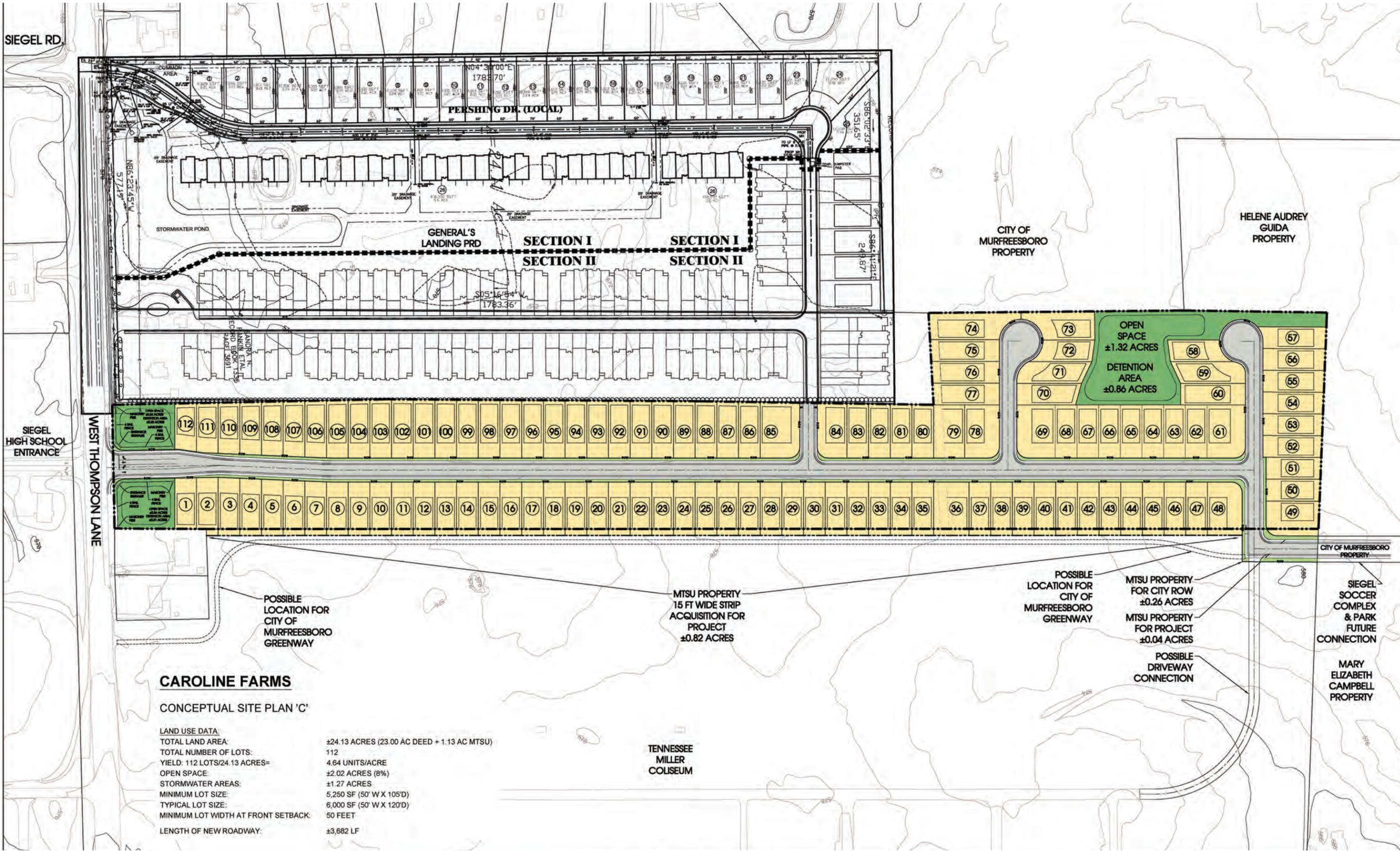
IMAGE 15

VIEW SOUTHEAST, ACROSS WEST THOMPSON LANE, ONTO SIEGEL MIDDLE SCHOOL BASEBALL FIELDS.



IMAGE 16

VIEW NORTH ONTO THE ENTRANCE INTO CLASSIC TURN-OUT STABLES.



CAROLINE FARMS

CONCEPTUAL SITE PLAN 'C'

LAND USE DATA

TOTAL LAND AREA:	±24.13 ACRES (23.00 AC DEED + 1.13 AC MTSU)
TOTAL NUMBER OF LOTS:	112
YIELD: 112 LOTS/24.13 ACRES=	4.64 UNITS/ACRE
OPEN SPACE:	±2.02 ACRES (8%)
STORMWATER AREAS:	±1.27 ACRES
MINIMUM LOT SIZE:	5,250 SF (50' W X 105'D)
TYPICAL LOT SIZE:	6,000 SF (50' W X 120'D)
MINIMUM LOT WIDTH AT FRONT SETBACK:	50 FEET
LENGTH OF NEW ROADWAY:	±3,682 LF

SCALE: 1" = 200'

	OPEN SPACE		ROADWAY
	DETENTION		LOTS

CAROLINE FARMS

CONCEPTUAL SITE PLAN 'C'

LAND USE DATA:

TOTAL LAND AREA:	±24.13 ACRES (23.00 AC DEED + 1.13 AC MTSU)
TOTAL NUMBER OF LOTS:	112
YIELD: 112 LOTS/24.13 ACRES=	4.64 UNITS/ACRE
OPEN SPACE:	±2.02 ACRES (8%)
STORMWATER AREAS:	±1.27 ACRES
MINIMUM LOT SIZE:	5,250 SF (50' W X 105'D)
TYPICAL LOT SIZE:	6,000 SF (50' W X 120'D)
MINIMUM LOT WIDTH AT FRONT SETBACK:	50 FEET
LENGTH OF NEW ROADWAY:	±3,682 LF

Proposed Caroline Farms Characteristics:

- 112 single family detached homes with 2 or more bedrooms.
- All homes will be for purchase
- The homes will range in size from 1,800 SF. to 3,000 SF.
- Minimum lot size shall be 5,250 sf.
- Typical lots size will be 6,000 sf.
- All homes will have a 2 car front entry garages
- Front entry garages will have decorative doors and have a neutral colors (not white)
- All front entry garages shall be setback a minimum of 35 feet from public R.O.W.
- Each single family lot will provide at least 4 parking spaces per lot (outside of the garage)
- Each lot will have concrete driveways wide enough for 2 vehicles, and have a minimum width of 16 feet
- Builders shall install sod & one tree in front yards, and landscaping along the front foundation
- Building elevations will consist 100% masonry material. A representation of elevation material mixtures are outlined on page 17: Architectural Characteristics.
- All building elevations and materials shall be approved by the developer
- The development will be constructed in 3 phases.
- All streets will be public rights-of-way
- All streets have been designed to comply with Murfreesboro Street Standards
- Sidewalks will be provided throughout the development to create a pedestrian friendly community
- Solid waste service will be provided by the City of Murfreesboro
- All on-site utilities will be underground.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Decorative black mailboxes will help establish community continuity
- Decorative street lights will be coordinated with MED, and will meet MED's standards for management by MED
- The common open spaces will be maintained by an H.O.A.
- Entrance off of West Thompson Lane will have new entrance signage constructed of masonry materials and anchored by landscaping
- All home owners will be required to be a member of the H.O.A.
- HOA will be managed by independent 3rd party management company
- Construction is anticipated to begin within 90-120 days after zoning is completed.

Minimum Building Setbacks:

Front: 35-feet

Side: 5-feet

Rear: 10-feet

Architecture Characteristics:

- Building heights shall not exceed 35 feet in height in compliance with RS-15 requirements.
- There will be a mixture of 1-story and 2-story homes.
- All homes will have at least 2 bedrooms.
- All the homes will have eaves.
- All homes will have a covered front porch.
- All homes will have a patio area at the rear of the home.

Building Elevation Materials:

- Front: Mixture of masonry products such as brick, stone, or cement fiber board
- Sides: Masonry products such as brick, stone, or cement fiber board
- Rear: Masonry products such as brick, stone, or cement fiber board
- Trim, Soffits, Gables and Dormers: Vinyl siding



ELEVATION A

ELEVATION B

ELEVATIONS A & B



Example of Cement Fiber Board
(different colors will be allowed)



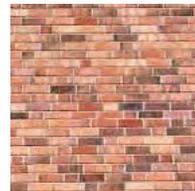
Example of the Stone Veneer
(different colors, cuts, and patterns will be allowed)



ELEVATION C

ELEVATION D

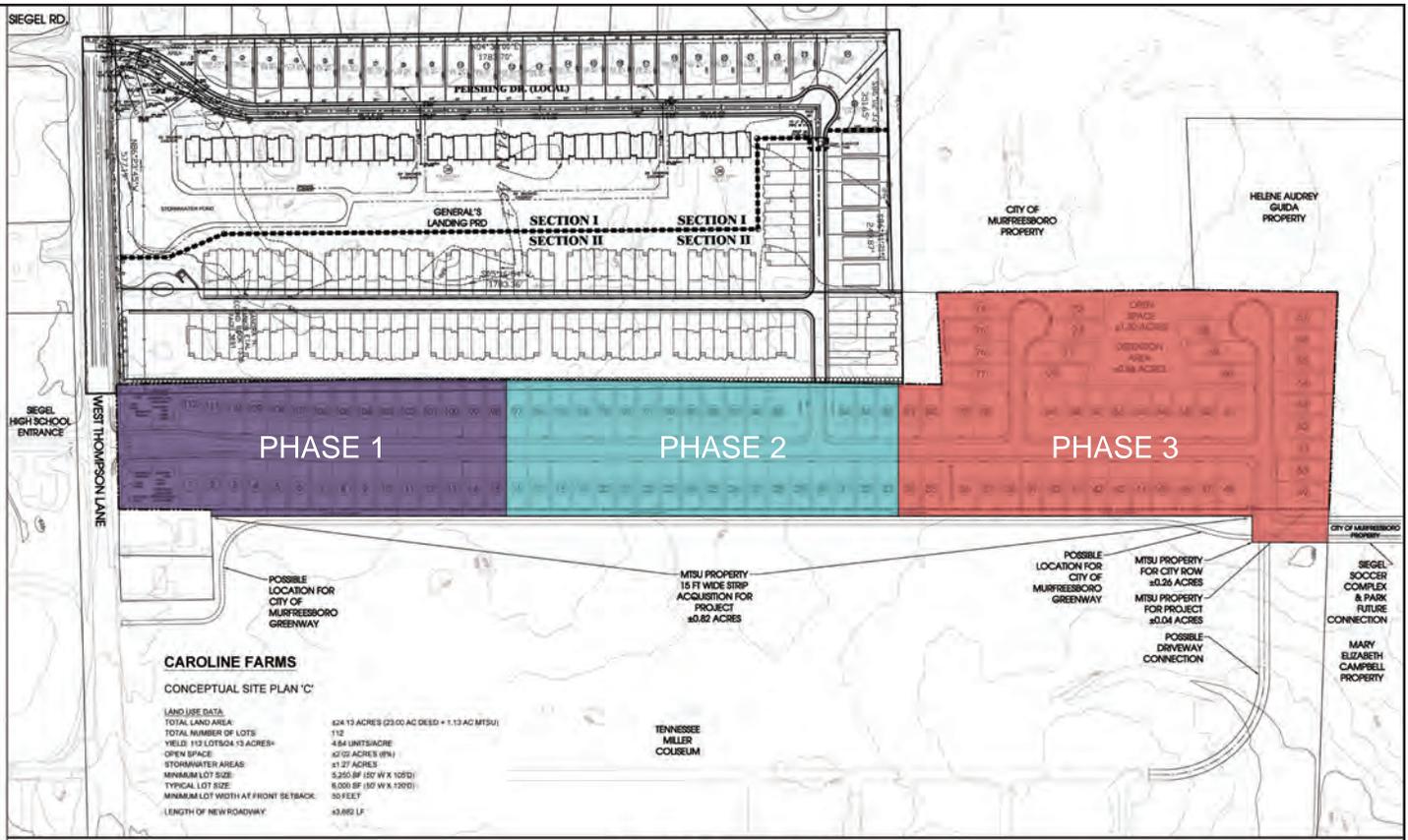
ELEVATIONS C & D



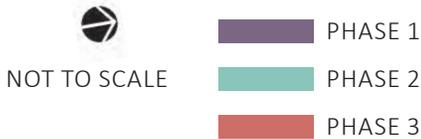
Example of Brick
(different colors will be allowed)



ELEVATION E



PHASING PLAN



	UNITS	ACRES
PHASE 1	30	6.23
PHASE 2	34	6.35
PHASE 3	48	11.6
TOTAL	112	24.18

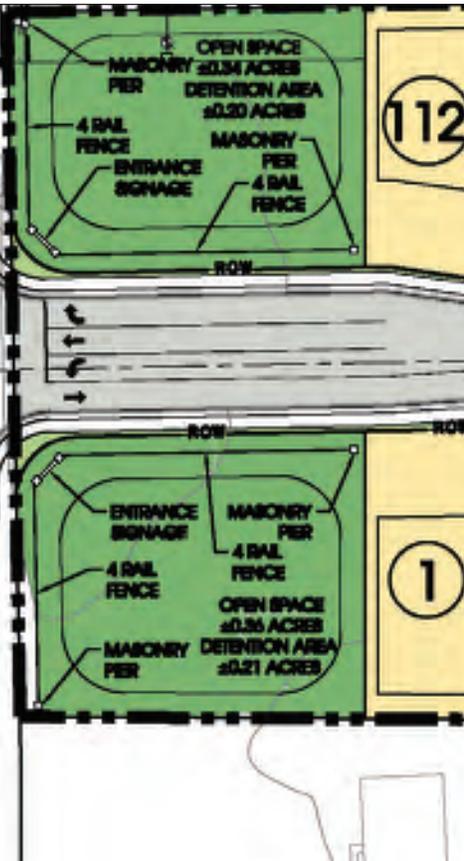
- The project is anticipated to be built in three phases.
- Construction of Phase 1 is planned to begin within 90-120 days after the completion of the rezoning process.
- The timing of the remaining phases of construction will be market driven and dependent upon the absorption of the lots in the previous phase.
- In general, following section construction will begin after the previous phase is 80%-85% sold.
- The sidewalks within each single family lot phase will be constructed by the home builders as the homes are constructed. If sidewalks are located along a common area then, the developer will construct those portions with the infrastructure work associated with that frontage.
- Each phase is anticipated to range in size from 30-50 lots.
- Phase 1 will include the entrance signage at West Thompson Lane, as well as the detention area open spaces.



With this request, the Caroline Farms will be dedicating over 8% to open spaces. These open space areas will contain the stormwater management areas as well as entrance features. The entrance will incorporate masonry signage anchored with landscaping. A four rail fence will line the open spaces at the entrance to the neighborhood. This will add to the character of the neighborhood, as well as the community traveling along West Thompson Lane. A mixture of landscape plantings will be utilized in conjunction with the fence to screen the detention areas located in the open spaces at the entrance. Sidewalks will line both sides of the street to provide pedestrian circulation through the neighborhood for residents.

The residents of Caroline Farms will be required to be members of the H.O.A. As a member of the H.O.A., the residents will be subject to restrictive covenants and be required to pay membership dues as determined by the 3rd party management company.

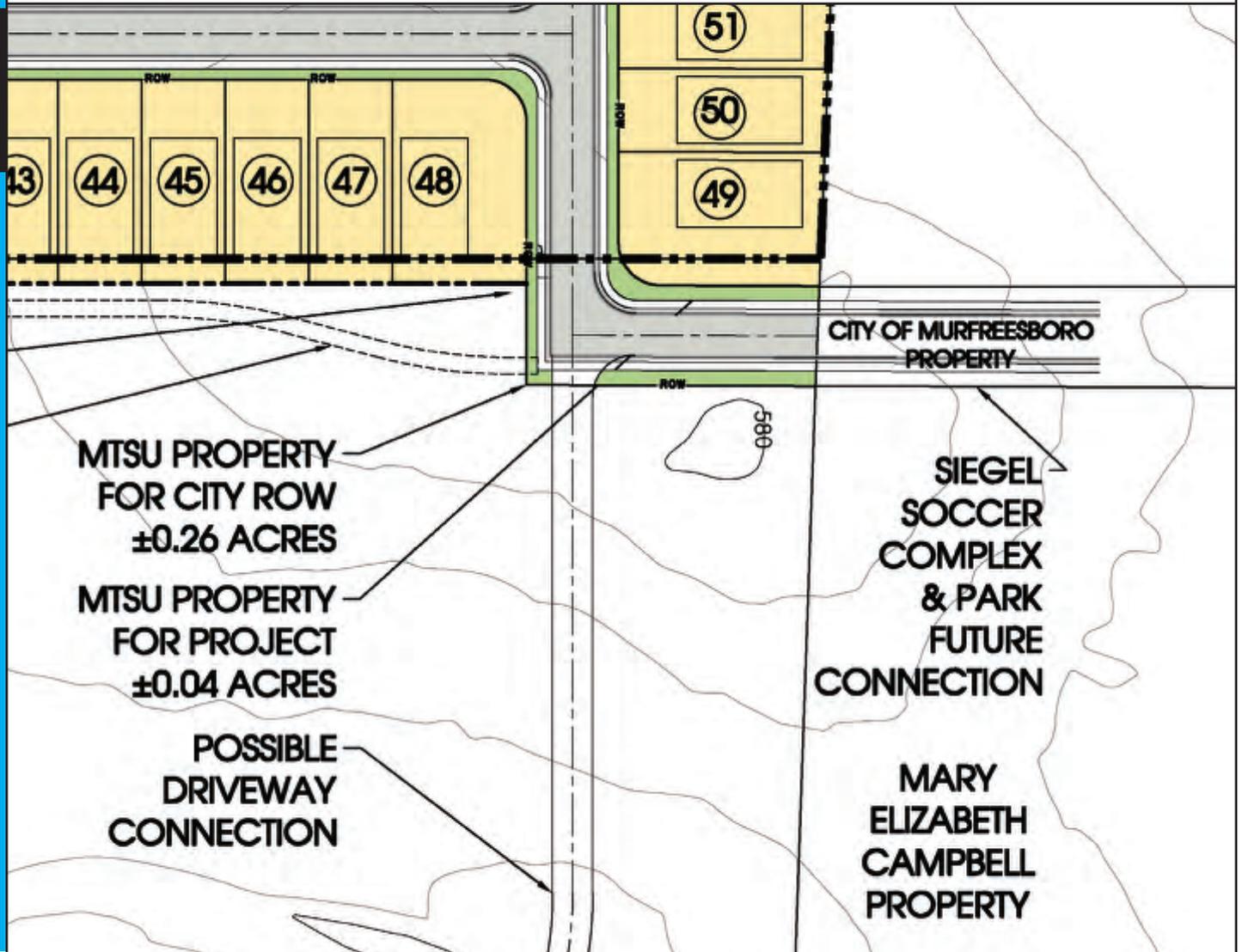
WEST THOMPSON LANE



SECTION II



MTSU PROPERTY
15 FT WIDE STRIP
ACQUISITION FOR
PROJECT
±0.82 ACRES



MTSU PROPERTY
FOR CITY ROW
±0.26 ACRES

MTSU PROPERTY
FOR PROJECT
±0.04 ACRES

POSSIBLE
DRIVEWAY
CONNECTION

CITY OF MURFREESBORO
PROPERTY

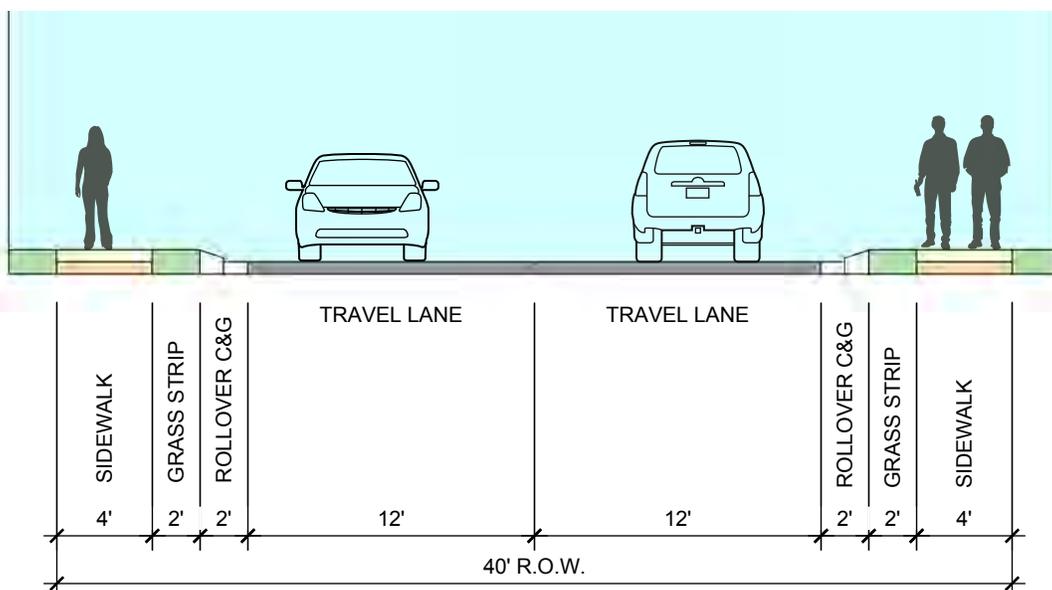
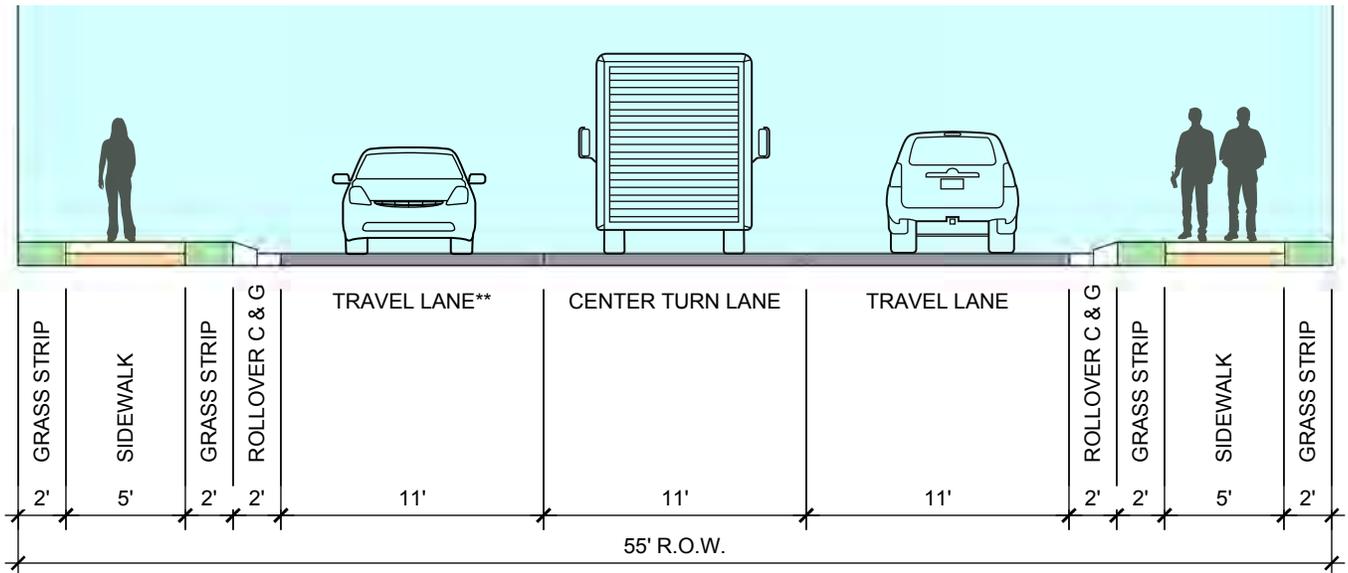
SIEGEL
SOCCER
COMPLEX
& PARK
FUTURE
CONNECTION

MARY
ELIZABETH
CAMPBELL
PROPERTY

Pursuant to the City of Murfreesboro's Major Thoroughfare Plan (MTP), the main roadway running north to south on the property is proposed to be a 3 lane roadway. Also, West Thompson Lane that Caroline Farms fronts onto is on the MTP for roadway improvements well. West Thompson Lane is a major thoroughfare where the majority of vehicular trips generated by this development will impact. It is currently built as a 3 lane cross-section with dedicated bike lanes on both sides of the road. It will be built out to the 5 lane cross-section as recommended by the Major Thoroughfare Plan. Caroline Farms will work with city engineering staff to coordinate any roadway improvements as a result of the proposed widening of West Thompson Lane.

As stated above, the primary means of ingress/egress from this site will be onto West Thompson Lane. The majority developments vehicular traffic will enter and exit the development until connections are made at two other locations. The secondary means of ingress/egress from the development will be roadway connection to General's Landing along the western boundary. The other possible means of ingress/egress will be the proposed roadway connection to Cherry Lane to the north. Once that possible roadway is established, it will allow for another means of traffic movement north to south between West Thompson Lane and Cherry Lane.

The main roadway leading through Caroline Farms will be a hybrid community collector with a 55 foot R.O.W. cross-section to allow for 3 travel lanes. The remaining streets will be local streets with a typical 40 foot R.O.W. cross-section.



1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: An exhibit is given on Page 4 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits are shown on Page 6 that shows the existing contours and drainage patterns along with an aerial photograph of the area. No portion of the property is subject to floodplains or floodways.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Pages 8-11 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 8 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	3149388
TOTAL MAXIMUM FLOOR AREA	423800
TOTAL LOT AREA	1309725
TOTAL BUILDING COVERAGE	358600
TOTAL DRIVE/ PARKING AREA	249576
TOTAL RIGHT-OF-WAY	243052
TOTAL LIVABLE SPACE	701549
TOTAL OPEN SPACE	2547736
FLOOR AREA RATIO (F.A.R.)	0.13
LIVABILITY SPACE RATIO (L.S.R.)	1.66
OPEN SPACE RATIO (O.S.R.)	6.01

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RM (county) & RS-15 (city). The surrounding areas has a mixture of residentially zoned properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in three phases. Phasing information is described on Page 18.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Page 16.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: The applicant is requesting the following exceptions with this PRD. Front Setbacks requested are 5 feet less, Side Setbacks are 7.5 feet less, and Rear Setbacks are 20 less compared to RS-15. Minimum Lot Size is 9,750 sf. less, Minimum Lot Width is 25 feet less, and Density is 1.74 units/acre greater compared to RS-15.

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District (GDO), Airport Overlay District (AOD), Battlefield Protection District (BPD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Page 5 discusses the Major Thoroughfare Plan. West Thompson Lane is planned to be upgraded to a 5-lane roadway.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Rob Molchan of SEC, Inc. developer/ applicant is Steven Dotson content info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Pages 16-17 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Entrance signage is described on Page 19.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

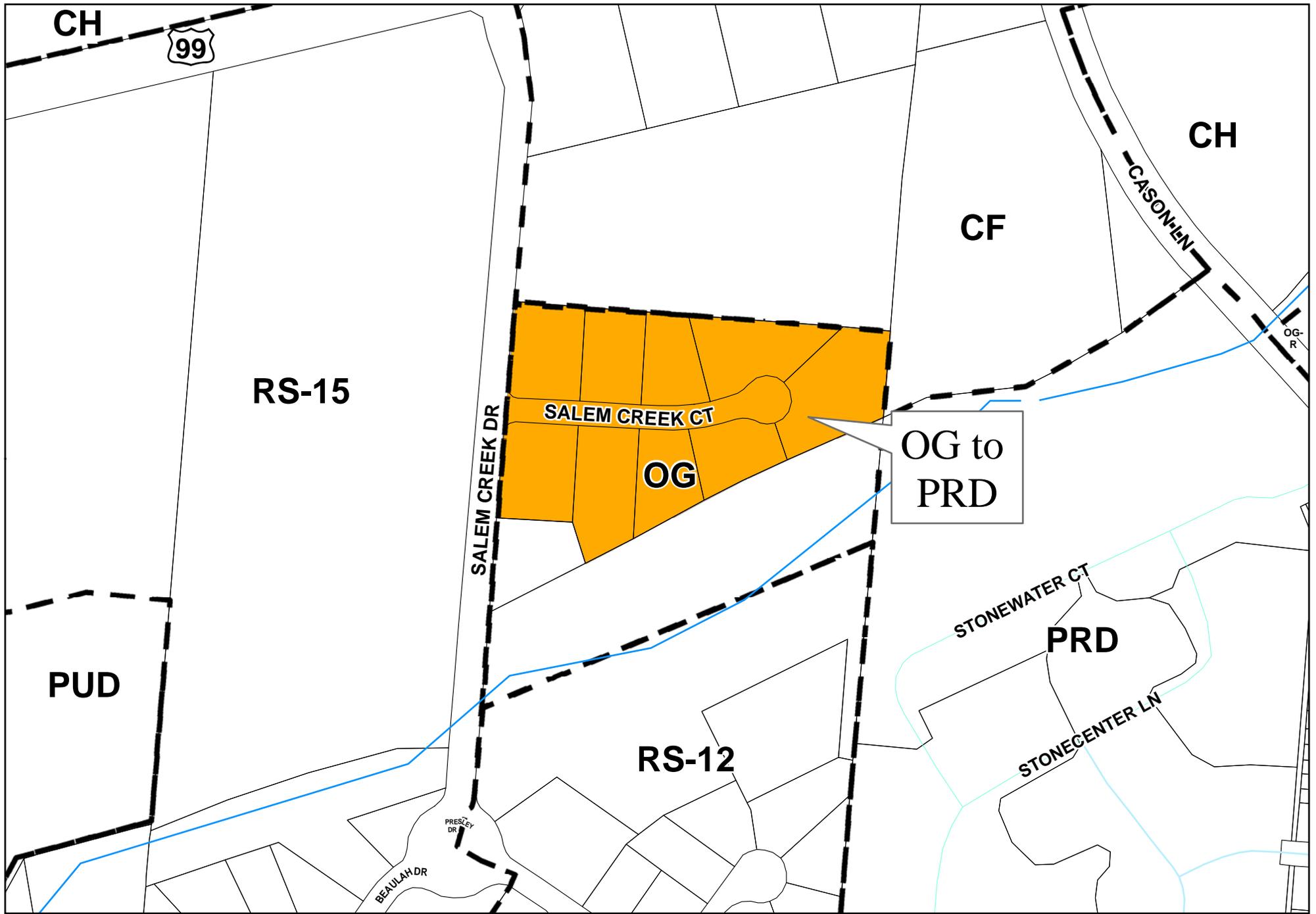
- 4.g. Zoning application [2016-452] for approximately 6.6 acres located along Salem Creek Drive to be rezoned from OG to PRD (Ashton at Salem Creek), David Alcorn applicant.**

The subject area consists of 9 lots located along Salem Creek Court and Salem Creek Drive. The properties to the north are zoned CF (Commercial Fringe District); Salem Creek Church of Crist is contiguous to this property on the north side. The properties to the east are zoned CF and PRD (Planned Residential District). The properties to the south are zoned OG (General Office District) and RS-12 (Single-Family Residential District). The property the east is zoned RS-15 and is the location of the Fellowship Methodist Church.

The proposed PRD is to allow 42 multi-family, townhouse dwelling units on 6.6 acres, for a density of 6.4 d.u./acre. The units that front along Salem Creek Drive will have rear access garages while the units located along Salem Creek Court will have front entry garages. The applicants are requesting a reduced front yard setback (25') for five units. Salem Creek and its floodplain are located on the subject area.

A neighborhood meeting has been scheduled for 6:00 PM on October 4th at Fellowship United Methodist Church.

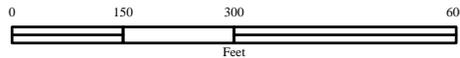
A copy of the program book has been included in the agenda materials. The applicants will be available to make a presentation regarding the proposed zoning. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Rezoning Request for Property Along Salem Creek Dr.
from OG to PRD**



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GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
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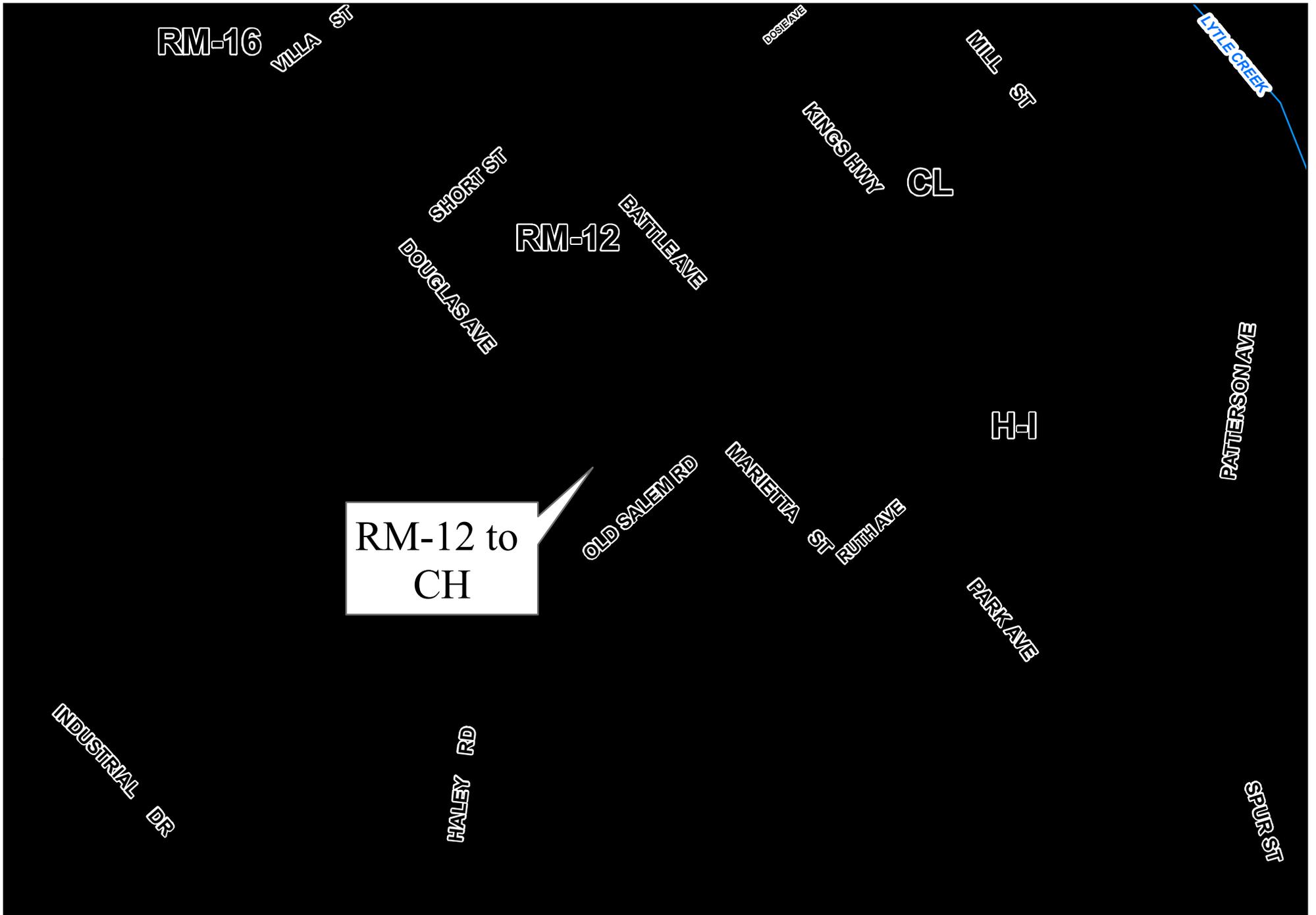
**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

4.h. Zoning application [2016-443] for approximately 0.72 acre located at 720 Old Salem Road to be rezoned from RM-12 to CH, John Rudd applicant.

The subject area consists of one parcel which is currently zoned RM-12 (Multi-family residential district). The subject area is developed with a 31,500 square foot structure which use is currently being changed from an Institutional Group Assembly (church) to a Group Shelter. The BZA granted a Special Use Permit on April 27, 2016, to allow the use as a Group Shelter. The contiguous properties to the north and east are zoned RM-12 and developed with single-family, detached houses. The property located across Old Salem Road, a substandard street, is zoned H-I (Heavy Industrial District) and is developed with various types of residential, commercial and industrial uses. The rezone request is to change this parcel to from RM-16 to CH (Commercial Highway District) to allow it to be utilized as a commercial warehouse in addition to the Group Shelter.

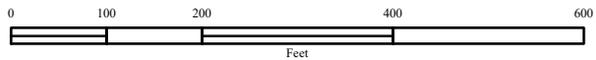
The CH district is intended to permit the development and continued maintenance of general commercial uses located in a linear fashion along highways and near transportation facilities and industrial areas. The uses permitted in this district are the most permissive in a commercial zone. A list of uses permitted has been included with the agenda materials.

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



RM-12 to
CH

**Rezoning Request for Property Along Old Salem Rd.
from RM-12 to CH**



GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

USES PERMITTED ³			USES PERMITTED ³		
	CF ^{2,14}	CH ²		CF ^{2,14}	CH ²
OTHER HOUSING					
Accessory Dwelling Unit	X ¹	X ¹	Recreation Field ¹³	X	X
Assisted-Care Living Facility ¹⁵	X	X	Senior Citizens Center	X	X
Bed-and-Breakfast Homestay	X	X	School, Public or Private, Grades K - 12 ¹³	X	X
Bed-and-Breakfast Inn	X	X	Student Center	S	S
Boarding House ¹⁵	X	X			
Emergency Shelter	X	X	AGRICULTURAL USES		
Family Crisis Shelter	S	S	Customary General Farming	X ⁶	X
Family Violence Shelter	X	X	Crop, Soil Preparation Agricultural Services	X	X
Fraternity/Sorority	S	S	Farm Labor and Management Services	X	X
Group Shelter	S	S	Fish Hatcheries and Preserves		X
Class I Home for the Aged ¹⁵	X	X			
Class II Home for the Aged ¹⁵	X	X	COMMERCIAL		
Class III Home for the Aged ¹⁵	X	X	Amusements, Commercial Indoor	X	X
Hotel		X	Amusements, Commercial Outdoor excluding Motorized		X
Motel		X	Animal Grooming Facility	X	X
Transitional Home			Antique Mall	X	X
INSTITUTIONS			Antique Shop <3,000 sq. ft.	X	X
Adult Day Care Center	X	X	Apothecaries (pharmaceuticals only)	X	X
Adult Day Care Home	X	X	Art or Photo Studio or Gallery	X	X
Airport, Heliport		S	Automotive Repair ¹²		X
Cemetery, Mausoleum		S	Bakery, Retail	X	X
Church ¹³	X	X	Bank, Branch Office	X	X
College, University			Bank, Drive-Up Electronic Teller	X	X
Day-Care Center	X	X	Bank, Main Office		X
Family Day-Care Home	X	X	Barber or Beauty Shop	X	X
Group Day-Care Home	X	X	Beer, Packaged	X	X
Hospital			Boat Rental, Sales, or Repair		X
Lodge, Club, Country Club ¹³	X	X	Book or Card Shop	X	X
Mental Health Facility		X	Business School	X	X
Morgue		X	Business and Communication Service	X	X
Museum	X	X	Campground, Travel-Trailer Park		X
Nursing Home	S	S	Carnivals		S
Nursery School	S	S	Catering Establishment	X	X
Park	X	X	Clothing Store	X	X
Philanthropic Institution	X	X	Coffee, Food, or Beverage Kiosk	X	X
Pet Cemetery	S	S	Commercial Center	X	X
Public Building ¹³	X	X			

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

USES PERMITTED ³			USES PERMITTED ³		
	CF ^{2,14}	CH ²		CF ^{2,14}	CH ²
Convenience Sales and Service, maximum 5,000 sq. ft. floor area	X	X	Offices	X	X
Delicatessen	X	X	Optical Dispensaries	X	X
Department or Discount Store	X	X	Pawn Shop		X
Drive-In Theater		X	Personal Service Establishment	X	X
Dry Cleaning	X	X	Pet Funeral Home	X	X
Dry Cleaning Pick-Up Station	X	X	Pet Shops	X	X
Financial Service	X	X	Pharmacies	X	X
Fireworks Retailer		S	Photo Finishing	X	X
Fireworks Seasonal Retailer		S	Photo Finishing Pick-Up Station	X	X
Flower or Plant Store	X	X	Radio, TV, or Recording Studio		X
Funeral Home		X	Radio and Television Transmission Towers	S	S
Garage, Parking		X	Reducing and Weight Control Service	X	X
Garden and Lawn Supplies	S	X	Restaurant and Carry-Out Restaurant	X	X
Gas--Liquified Petroleum, Bottled and Bulk		X	Restaurant, Drive-In		X
Gas Station	X	X	Restaurant, Specialty	X	X
General Service and Repair Shop		X	Restaurant, Specialty -Limited	X	X
Glass--Auto, Plate, and Window		X	Retail Shop, other than enumerated elsewhere	X	X
Glass--Stained and Leaded	X	X	Salvage and Surplus Merchandise		X
Greenhouse or Nursery		X	Sheet Metal Shop		X
Group Assembly, <250 persons	X	X	Shopping Center, Community		X
Group Assembly, >250 persons	S	S	Shopping Center, Neighborhood	X	X
Health Club	X	X	Shopping Center, Regional		X
Ice Retail	X	X	Specialty Shop	X	X
Interior Decorator	X	X	Tavern		X
Iron Work		X	Taxidermy Studio		S
Janitorial Service	X	X	Telephone or Telegraph Facility	S	S
Karate, Instruction	X	X	Towing ¹²		X
Kennels		X	Veterinary Office	X	X
Keys, Locksmith	X	X	Veterinary Clinic	X	X
Laboratories, Medical	X	X	Veterinary Hospital		X
Laboratories, Testing	X	X	Vehicle Sales		X
Laundries, Self-Service	X	X	Vehicle Wash		X
Lawn, Tree, and Garden Service		X	Video Rental	X	X
Liquor Store	X	X	Warehousing, Transporting		X
Lumber, Building Material		X	Wholesaling		X
Motor Vehicle Sales		X	Wrecker Service ¹²		X
Motor Vehicle Service ¹²		X	Wrecker Service Storage Yard ¹²		X
Music or Dancing Academy	X	X			

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

August 26, 2016

Mr. Gary Whitaker
Planning Director
City of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37130

Re: Rezoning Request
Described as Tax Map #00800, Parcel #102C, consisting of 1 acre located at 720 Old Salem
Road in Murfreesboro, TN.

Dear Mr. Whitaker:

On behalf of our client, John Rudd., we hereby request the rezoning of the property located at Tax
Map #00800, Parcels #102C consisting of 1 acre, currently zoned RM-12, to the new zoning of CH
as depicted in the exhibit provided. If the zoning is approved we will be seeking a Special Use
Permit for the existing Stepping Stones Ministry currently operating on the site. Thank you for
considering our request.

Sincerely,



Clyde Rountree, RLA

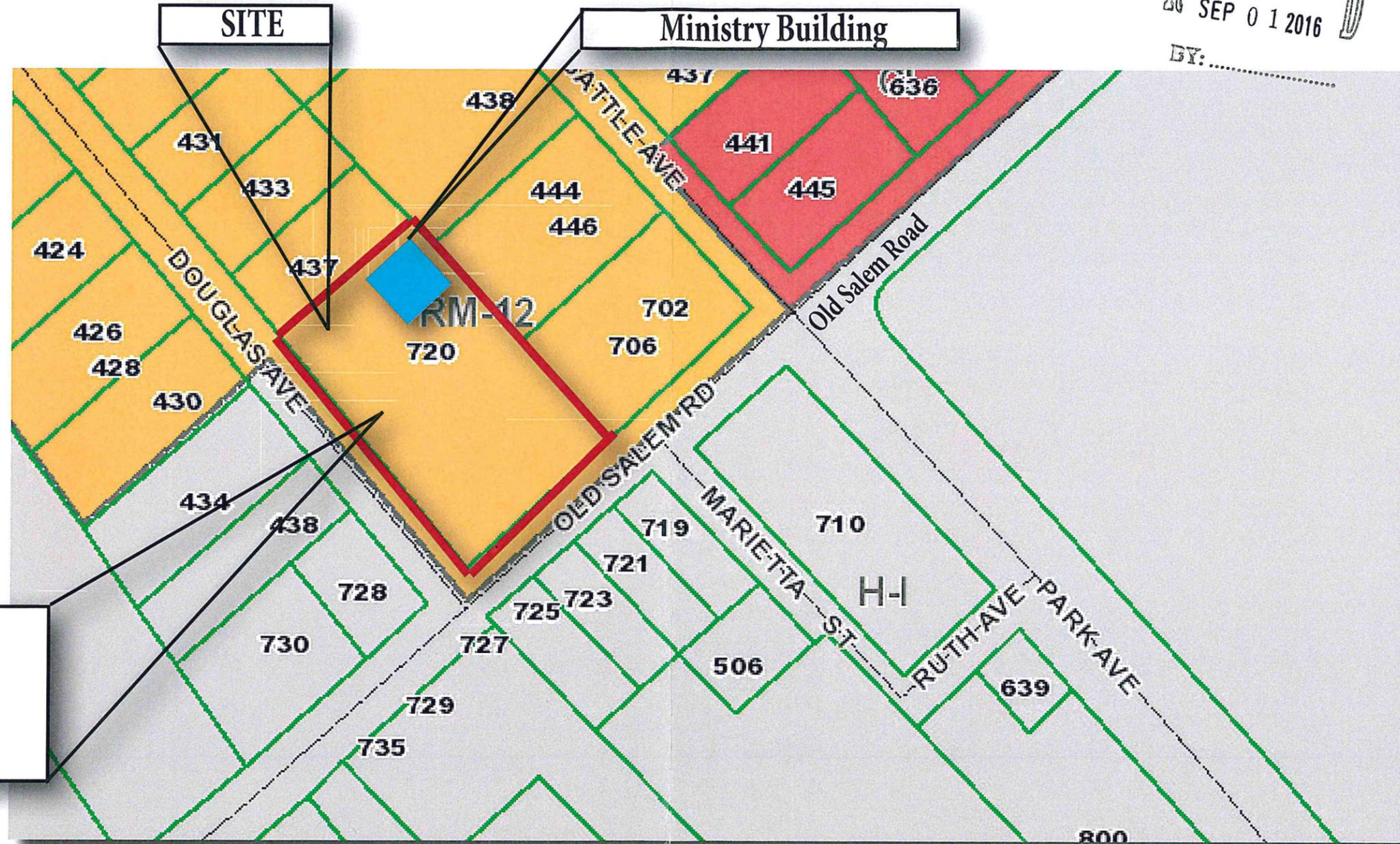
HUDDLESTON-STEELE ENGINEERING, INC.

RECEIVED
SEP 01 2016
BY:.....

Rudd Zoning Exhibit

RECEIVED
SEP 01 2016

BY:



Site Acreage: 1 AC.
Current zoning is RS-12
Requested zoning is CH

RECEIVED
SEP 01 2016

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

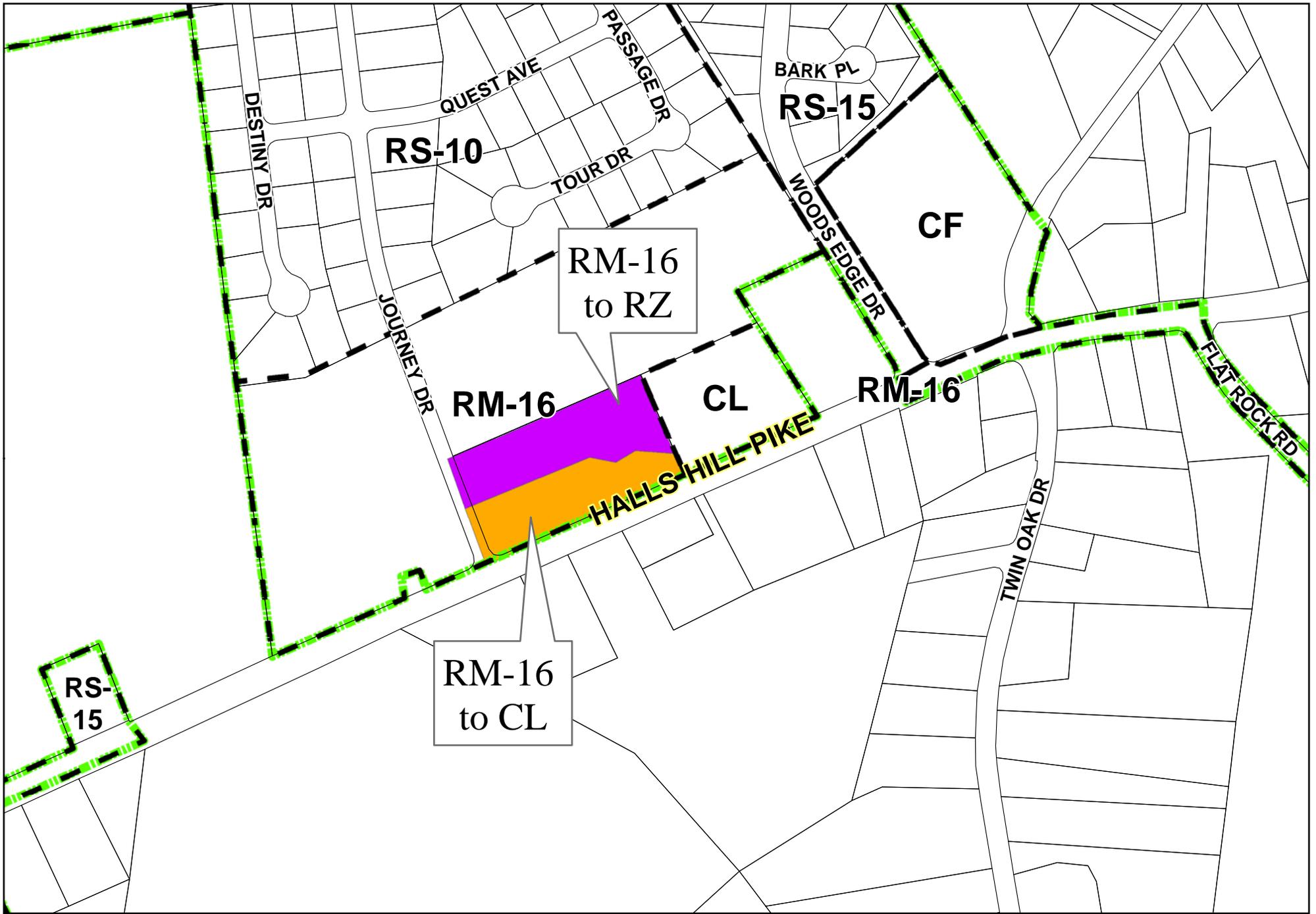
- 4.i. Zoning application [2016-449] for approximately 3.1 acres located along Halls Hill Pike & Journey Drive to be rezoned from RM-16 to RZ (1.8 acres) & CL (1.3 acres), Swanson Development applicant.**

The subject property is located at the northeast corner of the intersection of Halls Hill Pike and Journey Drive. It was annexed and zoned RM-16 (Residential Multi-Family 16) in 2003. Even though it was subsequently cleared and graded, it has remained vacant since that time. The applicant, acting as the developer and representing the property owner, has requested that the southern 1.3 acres along Halls Hill Pike be rezoned to CL (Commercial Local District) and the northern 1.8 acres be rezoned to RZ (Zero-Lot Line Residential District).

To the east of the subject property is an existing commercial development, also zoned CL, that includes self-storage, a car wash, and a multi-tenant commercial building. To the west across Journey Drive as well as directly to the north is The Grove apartment complex, which is zoned RM-16. Further to the north is the Providence Pointe single-family residential subdivision, which is zoned RS-10 (Single-Family Residential 10 District). All of the above parcels are located in the City. The properties to the south across Halls Hill Pike are located in the unincorporated County and are comprised of a variety of uses, including several single-family residences, a gas station/convenience market, a night club, and a lodge.

No development plan has been officially submitted at this time. However, the developer has indicated that he envisions the property developing with a new cul-de-sac public street constructed off of Journey Drive off of which future RZ lots would gain their primary access. He envisions the future commercial development on the proposed CL-zoned property gaining its primary access from Halls Hill Pike but also having secondary access to the proposed cul-de-sac.

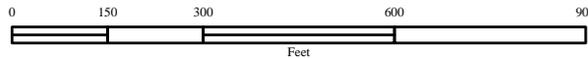
The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Rezoning Request for Property Along Halls Hill Pk. from
RM-16 to RZ and CL**

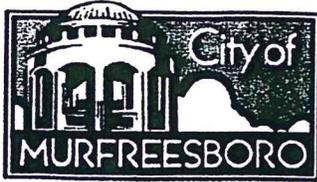


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GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

REZONING APPLICATION FORM



T E N N E S S E E

Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

REZONING APPLICATION FORM
\$600.00 per application

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey; and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: CLYDE ROUNTREE w/ HUNDRETHMESTREUB ELLG
 Address: 2115 NW BROAD STREET City/State/Zip: MURFREESBORO, TN, 37129
 Phone: 615. 893. 4084 E-mail address: rountree.associates@yahoo.com

PROPERTY OWNER: SWANSON DEVELOPMENT
 Street Address or property description: CORNER OF HALL HILL AND LINDSEY DR.
 and/or Tax map #: 0204 Group: _____ Parcel (s): 090
 Existing zoning classification: RM-16
 Proposed zoning classification: R2 / CL Acreage: 1.9 AC / 1.3 AC

Contact name & phone number for publication and notifications to the public (if different from the applicant): CLYDE ROUNTREE 615.509.5930
 E-mail: rountree.associates@yahoo.com

APPLICANT'S SIGNATURE (required): [Signature]
 DATE: 9-6-16

***** For Office Use Only *****

Date received: _____ MPC YR.: _____ MPC #: 2016-449
 Amount paid: 600 Receipt #: 364038

Revised 1/2010

August 26, 2016

Mr. Gary Whitaker
Planning Director
City of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37130

Re: Rezoning Request

Described as Tax Map #0204, Parcel #090, consisting of 3.1 ac. located along Halls Hill Pike in Murfreesboro, TN.

Dear Mr. Whitaker:

On behalf of our client, Joe Swanson Jr., we hereby request the rezoning of the property located at Tax Map #0204, Parcels #090 consisting of 3.1 acres, currently zoned RM-16, to the new zoning of RZ on 1.8 acres and CL on 1.3 acres as depicted in the exhibit provided. Thank you for considering our request.

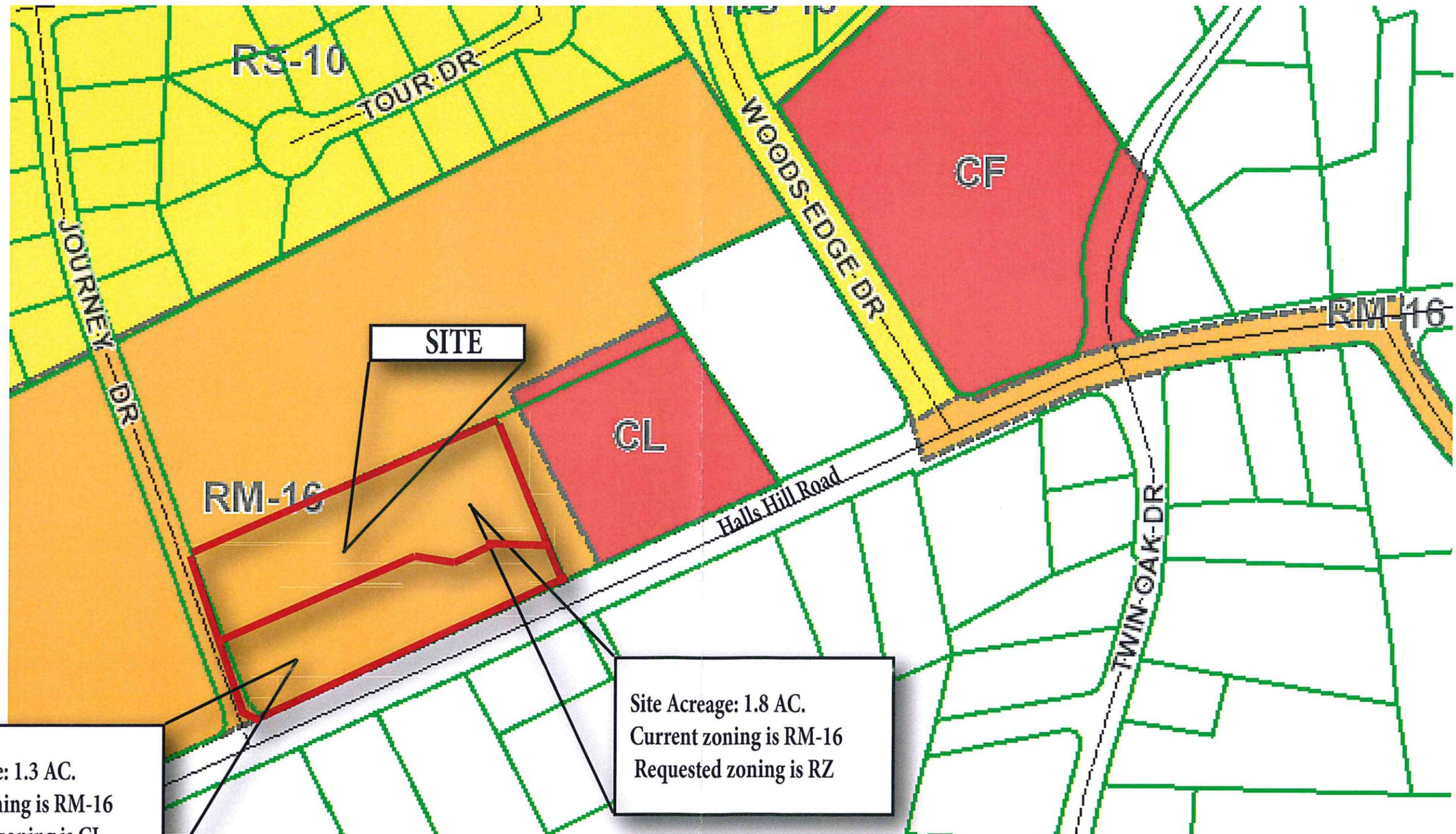
Sincerely,



Clyde Rountree, RLA

HUDDLESTON-STEELE ENGINEERING, INC.

Providence Pointe Zoning Exhibit



Site Acreage: 1.3 AC.
Current zoning is RM-16
Requested zoning is CL

Site Acreage: 1.8 AC.
Current zoning is RM-16
Requested zoning is RZ

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 5, 2016**

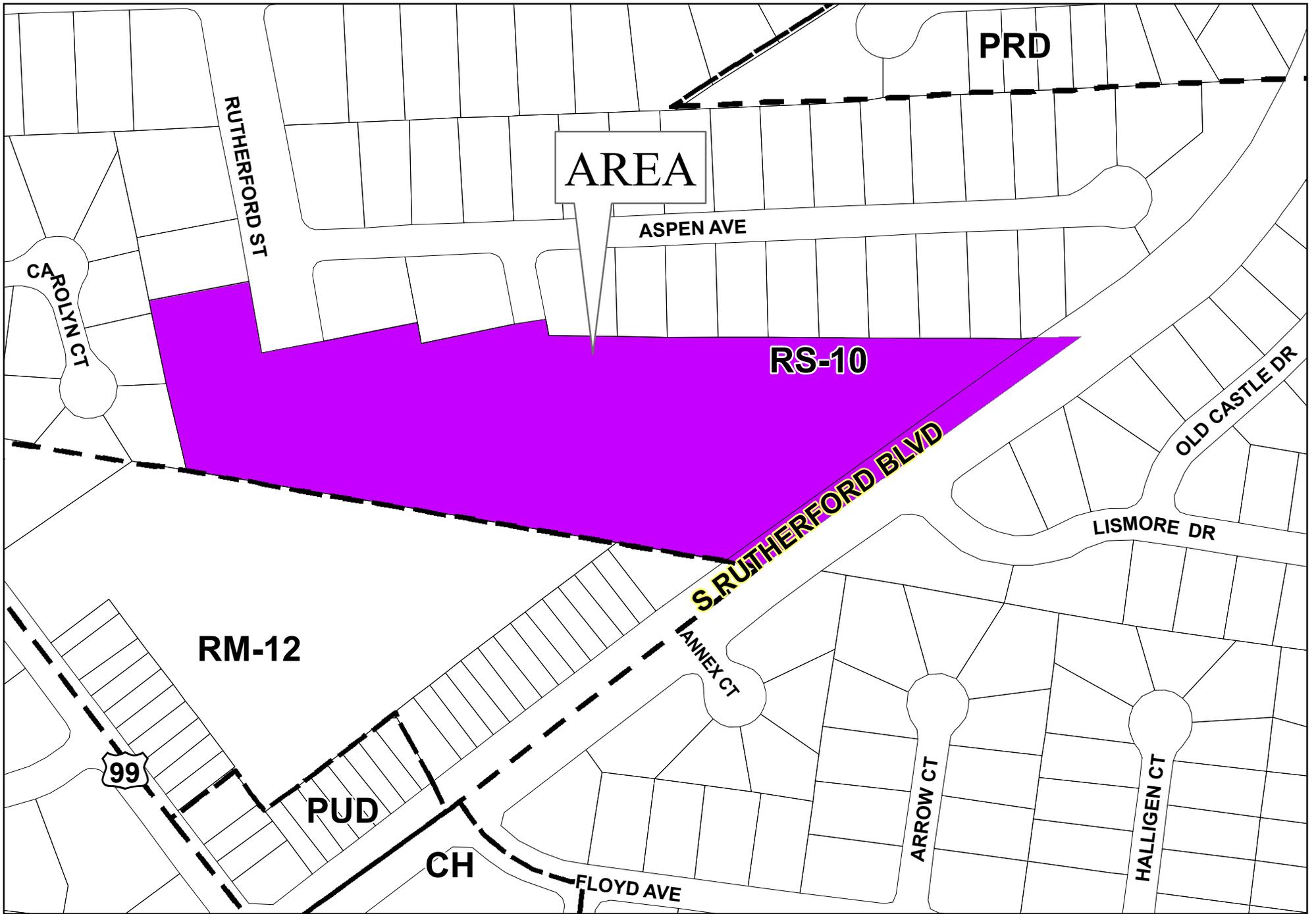
- 4.j. Zoning application [2016-451] for approximately 8 acres located along South Rutherford Boulevard to be rezoned from RS-10 to RZ, Swanson Development applicant.**

The subject property is located along the west side of South Rutherford Boulevard. It is undeveloped and zoned RS-10 (Single-Family Residential 10 District). The owner of the property has requested that the property be rezoned to RZ (Zero-Lot Line Residential District).

Directly to the north of the subject property is the Rogers Estates single-family residential subdivision, which is zoned RS-10. The Carolyn Court single-family residential subdivision, also zoned RS-10, is located directly to the west of the subject property. To the south of the subject property is The Pointe at Eastdale apartment complex, which is zoned RM-16 (Residential Multi-Family 16 District). Also to the south is the Brendleton Crossing Subdivision, which is zoned RM-16 and PUD (Planned Unit District) and developed with zero-lot line attached and detached single-family homes. Directly across South Rutherford Boulevard to the east is the Stonegate single-family residential subdivision, which is zoned RS-10.

The subject property has remained vacant for a number of years under the current RS-10 zoning. The applicant has indicated that he wishes to rezone the property to RZ in order to develop the property with single-family lots that are smaller than the current RS-10 zoning allows. Because of its shape, it is difficult to estimate the number of lots that could be developed in the proposed RZ zone versus the existing RS-10 zone. In addition, no specific development plan under the proposed RZ zoning has officially been submitted by the developer. However, he has indicated that, if the property is rezoned, he plans on moving forward expeditiously with development. With respect to access, in addition to its frontage on South Rutherford Boulevard, there are two existing streets that stub into the property from the Rogers Estates Subdivision to the north -- Rutherford Street and an unnamed stub street off of Aspen Avenue.

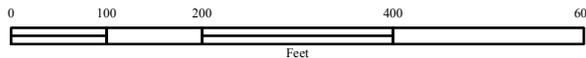
The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Rezoning Request for Property Along S. Rutherford Blvd. from
RS-10 to RZ**



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GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

REZONING APPLICATION FORM



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Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

REZONING APPLICATION FORM
\$600.00 per application

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: CLYDE ROUNTREE W HUNDESON-STERGE INC.
Address: 2115 N.W. BROAD STREET City/State/Zip: MURFREESBORO, TN, 37129
Phone: 615.893.4084 E-mail address: rountree.associates@yahoo.com

PROPERTY OWNER: DORSEY ROBINSON JR, SWANSON DEV.
Street Address or property description: SOUTH RUTHERFORD BLVD
and/or Tax map #: 06001 Group: Parcel (s): 103
Existing zoning classification: RS-10
Proposed zoning classification: RZ Acreage: 8.05 AC

Contact name & phone number for publication and notifications to the public (if different from the applicant): CLYDE ROUNTREE 615.509.5930
E-mail: rountree.associates@yahoo.com

APPLICANT'S SIGNATURE (required): [Signature]
DATE: 9-6-10

***** For Office Use Only *****

Date received: MPC YR.: MPC #: 2016-451
Amount paid: 600 Receipt #: 364039

Revised 1/2010

August 26, 2016

Mr. Gary Whitaker
Planning Director
City of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37130

Re: Rezoning Request

Described as Tax Map #06001, Parcel #103, consisting of 8.03 ac. located along South Rutherford Boulevard in Murfreesboro, TN.

Dear Mr. Whitaker:

On behalf of our client, Joe Swanson Jr., we hereby request the rezoning of the property located at Tax Map #06001, Parcels #103 consisting of 8.03 acres, currently zoned RS-10, to the new zoning of RZ as depicted in the exhibit provided. Thank you for considering our request.

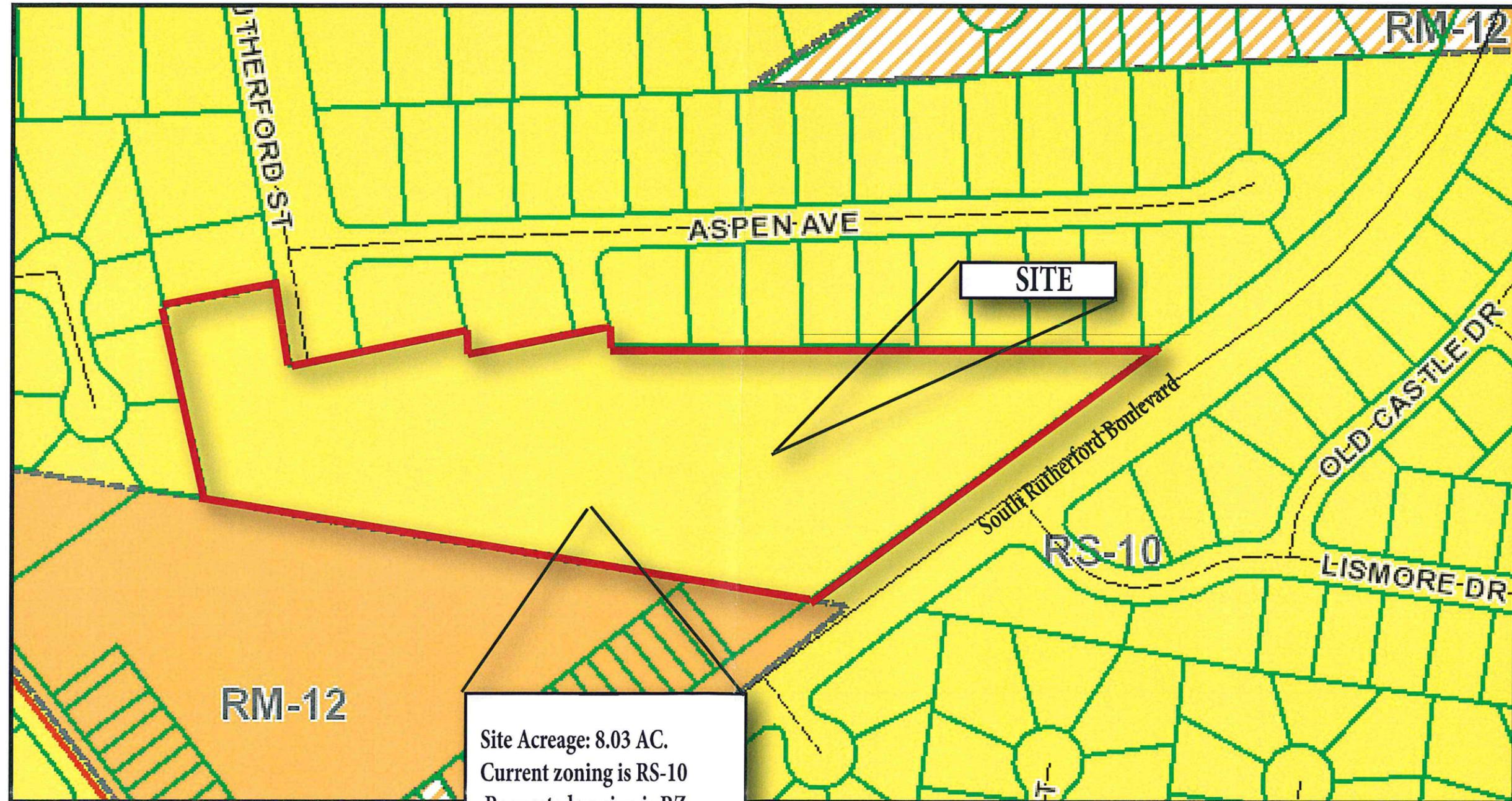
Sincerely,



Clyde Rountree, RLA

HUDDLESTON-STEELE ENGINEERING, INC.

Rutherford Crossing Zoning Exhibit



RZ Zoning is the requested zoning

Minutes of the Murfreesboro Planning Commission June 22, 2016

City Hall

1:00 p.m.

MEMBERS PRESENT

Bob Lamb, Chairman
Doug Young, Vice Chairman
Kathy Jones
Eddie Smotherman
Kirt Wade
Tom Clark

STAFF PRESENT

Gary Whitaker, Planning Director
Matthew Blomeley, Principal Planner
Margaret Ann Green, Principal Planner
Joe Ornelas, Planner
Carolyn Jaco, Recording Assistant
David Ives, Assistant City Attorney
Ram Balachandran, Traffic Engineer

Chairman Bob Lamb called the meeting to order after determining a quorum. The minutes of the May 4, 2016, May 18, 2016 & June 8, 2016, Planning Commission meetings were approved as submitted.

Old Business

Discussion of 2035 Comprehensive Plan Chapter 4 Land Use and Character and 4.3 Future Land Use Map with presentation from representatives of KKC (Kendig Keast Collaborative). Mr. Aaron Tulley came forward to provide an update on the 2035 Comprehensive Plan by providing the following information:

- A new City land use map had been provided during a developers meeting on Monday, June 20th. approximately 30 from the development community had attended.
- A Task Force meeting had been conducted on June 21st.
- July 20th – discussed a draft for Chapter 8: Implementation Strategies and Inter Government Coordination Plan during a joint workshop with City Council and Planning Commissioners.
- An executive summary draft would be presented sometime in early August. It will be a condensed version of the 2035 Comprehensive Plan, of thirty page slim line publication for the public's consumption.

Minutes of the Murfreesboro Planning Commission June 22, 2016

- Continue to work with Neel Shaffer during the next few months to provide a traffic analysis that would accommodate the 2040 Major Transportation Plan. This will assist in summarizing Chapter: 3 – Mobility.
- To date they have completed
 - A. Chapter 1: Planning Context
 - B. Chapter 2: Growth Capacity & Infrastructure
 - C. Chapter 4: Land Use & Character
 - D. Chapter 5: Housing & Neighborhoods
 - E. Chapter 6: Parks, Recreation & Open Space
 - F. Chapter 7: Economic Development
- They would be proposing to provide the completion of Chapter 8: Implementation Strategies & Inter Government in the near future.

Chairman Bob Lamb thanked Mr. Aaron Tuley for providing everyone an update on the Murfreesboro 2035 Comprehensive Plan.

Consent Agenda

Chairman Bob Lamb read the following items to be considered for approval.

Muirwood Section 5 [2016-1018] preliminary plat for 25 lots on 6.6 acres served as an outside the City sewer customer and zoned RM located along Oak Drive, TN Contractors Inc, developer.

Blackman Meadows Section 9 [2016-1020] preliminary plat for 13 lots on 4.6 acres zoned RS-12 located along Burrows Ave., Riverspring Group LLC developer.

Sheffield Park Section 4 [2016-1021] preliminary plat for 31 lots on 13.2 acres zoned PRD located along Kybald Court, Beazer Homes Corp developer.

Cason Square Lot 27 [2016-2062] final plat for 1 lot on 0.99 acres zoned CH located

Minutes of the Murfreesboro Planning Commission June 22, 2016

along Rideout Lane, Cason Square LLC developer.

Stratford Hall Section 5, Phase 3 [2016-2063] final plat for 10 lots on 2.5 acres zoned PRD located along Charleston Boulevard, Benefield Parks developer.

First National Bank [2016-3095] site plan for 5,413 ft² financial institution on 1.14 acres zoned CH located along Memorial Boulevard, First National Bank developer.

Sledge Craft [2016-3096] site plan for 20,284 ft² addition on 5.8 acres zoned H-I located at 1133 Samsonite Boulevard, Sledge Craft Inc. developer.

Westlawn Amenity Center [2016-3101] site plan for 1,800 ft² building on 2.3 acres zoned PUD located along Shores Road and Westlawn Boulevard, DR Horton Inc. developer.

Discount Tire Company [2016-3094] site plan for 7,373 ft² building on 1.23 acres zoned H-I located at 802 Old Fort Parkway, Discount Tire Co. developer.

Adams Place Memory Care addition [2016-3090] site plan for 13,874 ft² memory care addition to 22.5 acres zoned PUD & RS-15 located at 1925 & 1927 Memorial Boulevard, NHC developer.

Mandatory Referral [2016-706] for the abandonment of variable width drainage easement located within the Henley Station Phase 2 development along Willowoak Trail, Joseph Haddix applicant.

Mr. Doug Young made a motion to approve the consent agenda, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.

Gateway Design Overlay

Vintage at the Avenue [2016-3086 & 2016-6007] final design & site plan review for 203 unit multi-family development on 5.5 acres zoned PRD & GDO-1 located along Conference Center Boulevard, Greshampark Drive, and Avenue Way, TDK Development Co. developer. Ms. Margaret Ann Green began by describing the final design review for a new 203-unit multi-family development located along Conference Center Boulevard, Greshampark Drive and Avenue Way. The use is permitted within the proposed

Minutes of the Murfreesboro Planning Commission June 22, 2016

PRD, that had passed 3rd and final reading during City Council meeting on May 12, 2016. The PRD allows 203 units with a density of 37 dwelling units/acre. The property is also located within the GDO-1 district. The plan proposes two separate buildings fronting along Conference Center Boulevard (Building 2) and Greshampark Drive (Building 1). Building 1 is four stories and Building 2 would be five stories (approximately 70' tall) with a rooftop deck.

The PRD allows a reduction in the minimum number of parking spaces. The Zoning Ordinance requires 378 regular, off-street parking spaces and the PRD was approved with 334 spaces. Also, the Zoning Ordinance does not allow access to one parking space through one other parking space in multi-family residential uses. The applicant is providing parking spaces in front of the garage doors which are available to the resident who rents the garage. The parking calculations refer to these type spaces as "tandem" parking spaces and they are including "tandem spaces" in the minimum number being provided.

All sides of the proposed structures would be facing right of way. The signage for this development would have to be addressed before any permits are issued

Mr. Matt Taylor was present to represent the applicant. Mr. Taylor made known this development is consistent with their approved Planned Residential Development. Mr. Tylor provided the following:

- Building materials and color elevations
- Building #2 being five stories facing both Conference Center & Greshampark. The building would include a roof garden, pool and onsite dog park.
- Building #1 being four stories facing Greshampark and Avenue Way. The building would have a roof garden, plaza and sitting area.

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Mr. Tom Clark made a motion to approve subject to all staff comments, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Springfield Luxury Apartments [2016-3087 & 2016-6008] final design & site plan review for 270 unit multi-family complex on 17.5 acres zoned PRD and GDO-1 located at 3726 Manson Pike, Bonavic Development developer. Ms. Margaret Ann Green began by describing the final design review for a 270-unit apartment complex located along Manson Pike. The proposed use is permitted within the PRD and GDO districts. The proposed buildings are a range of two and three story structures, some with garages on the first floor. Also proposed are stand alone garage spaces.

The PRD allowed a reduction in the minimum number of parking spaces. The Zoning Ordinance requires 570 regular, off-street parking spaces and the PRD was approved with 538 spaces. Also, the Zoning Ordinance does not allow access to one parking space through one other parking space in multi-family residential uses. The applicant is providing parking spaces in front of the garage doors which are available to the resident who rents the garage. The parking calculations refer to these type spaces as “tandem” parking spaces and they are including “tandem spaces” in the minimum number being provided.

Ms. Green made known the existing home on this site would remain on the property and the trees on the property are not to be damaged but to be preserved. Mr. Brad Barbee with the Urban Environmental Department had studied the area with the applicant’s landscape plan. Any questions regarding the trees should be addressed with Mr. Brad Barbee. Continuing, Ms. Green made known this site plan is consistent with the approved Planned Residential Development program book.

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Mr. Ryan Collins and Mr. Bill Huddleston were in attendance to represent the applicant. Mr. Collins came forward making known the site had been centered around the existing Springfield mansion. In addition, they have preserved approximately 2-acres of property around the mansion. The architecture of the development had been created to be part of a similar style as the mansion. This includes similar materials such as brick, painted brick, and cementitious siding that would be painted with a variety of traditional color scheme. There would be lots of details added to the buildings with trim and masonry on the buildings to make them appear as a home. Each building would be three story flats to have the appearance as being its own unit. Continuing, Mr. Collins explained the site would include a generous amount of open space for the residents with a dog park, pools, fireplaces, etc.

Mr. Eddie Smotherman wanted to know if the fence had been addressed that is to be located beside the existing single family homes. Ms. Green answered yes, there would be adding a eight foot fence to be placed beside the single family homes.

Mr. Eddie Smotherman made a motion to approve subject to all staff comments, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.

Andy's Frozen Custard [2016-3093 & 6009] initial design review for 1,167 ft² specialty restaurant on 0.76 acres zoned CH & GDO-1 located along North Thompson Lane, Ranchers Custard Co. LLC developer. Ms. Margaret Ann Green began by describing the initial design review for a new 1,167 square foot Andy's Frozen Custard located west of North Thompson Lane. The proposed use "specialty restaurant" is permitted by right within the CH and GDO-1 districts. The proposed building is a one-story structure (approximately 23 feet).

Ms. Green explained to the Planning Commissioners why they had not received any color renderings. She made known the applicant's color renderings for this site had not been submitted until their agenda packet had been sent out.

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Continuing, this site plan has been reviewed by the Design Review Committee. The applicant has created an aesthetic fifties diner style appearance for this site. The DRC made known the applicant would have to meet the Gateway Design Guidelines as being the following:

- A masonry base should be in the front and around the entire building
- The flat roof should include a cornice
- The front of the building should have more interest
- The applicant should continue working on signage. All questions should be directed to Ms. Amelia Kerr, Sign Administrator, regarding the GDO requirements.
- Steel columns/poles should be wrapped

Mr. Mike Deedman and Mr. Tim Easteed were in attendance to represent the applicant. Mr. Deedman explained that ninety-nine percent of Andy's Custard customers were from the drive thru. However, there would be three, walk up windows in the front of the restaurant. For the site, they have provided a bypass lane, beside the drive thru lane. Chairman Bob Lamb wanted to know if they had a material board. Mr. Deedman answered, no.

The Planning Commission discussed the building design and determined the information provided, had not meet GDO standards. The Planning Commission made known there was not enough information as submitted with this initial site plan. The Planning Commission asked the developer to continue working with City staff on the site plan to make certain it would meet all Gateway Design Overlay requirements. Before the applicant returns for site plan approval the following concerns should be addressed:

- Provide additional treatments to the canopy
- Add a base to the building
- The roofline should be improved

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- Provide a material sample board and photos to portray the proposed building and color pallet.

Mr. Doug Young made a motion to defer, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Slim Chickens Subdivision [2016-2055] final plat for 2 lots on 4.9 acres zoned CH & GDO-1 located along North Thompson Lane, R & B Partnership developer. Ms. Margaret Ann Green began describing the final plat review for the Slim Chickens commercial subdivision located along North Thompson Lane. The property is zoned GDO-1 and CH. The purpose of this plat is to resubdivide an existing lot in order to create two (2) lots. If approved this would create Lot 2 and Lot 3. Lot 3 would be a .75-acre lot, which could meet the GDO lot standards.

Mr. Bill Huddleston was in attendance to represent the applicant.

Mr. Doug Young made a motion to approve subject to all staff comments, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

North Church Section 1 Lot 2 [2016-2065] final plat for 1 lot on 11.5 acres zoned MU & GDO-1 located along Robert Rose Drive, North Church LLC developer. Ms. Margaret Ann Green began by describing the final plat review for North Church Section 1 Lot 2, commercial subdivision located along Robert Rose Drive. The property is zoned GDO-1 and MU. The purpose of this plat is to create and resubdivide an existing lot into two (2) lots. If approved this plat would create the lot for Henley Station Phase 2. This would be a separate lot of record for Henley Station and would create one additional lot. Before the final plat is signed the Planning Director would have to make certain that all staff comments have been addressed.

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The applicants design team were in attendance to represent the applicant.

Ms. Kathy Jones made a motion to approve subject to all staff comments, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.

Plats and Plans

Stones River Mall [2016-3099] site plan for 47,000 ft² movie theater on 35.2 acres zoned CH & PSO located at 1720 Old Fort Parkway, Sterling Organization developer. Ms. Margaret Ann Green began describing the site plan review for a 47,000 square foot movie theater to be located within the Stone River Mall development. The property is zoned CH and PSO and the proposed use is permitted within the CH district. The theater is proposed to have 1,018 seats and will also serve lunch/dinner for patrons inside the theaters with an accessory restaurant/bar with patio seating. Staff has advised the applicant to review the proposed sign package to see if it conforms to the PSO district, with the potential of a future PSO if needed. The site has access to Stones River Mall Boulevard, Mall Circle Drive and Old Fort Parkway through existing private drives. The existing Books A Million and food court would be demolished to accommodate the movie theater. The proposed Carmike Cinemas would be physically separated from the mall but would be connected with a pedestrian plaza. The site plans include a hardscape plan for the areas around the building.

The proposed building is one story (48') and is mostly EIFS with a brick base. The building is designed with EIFS, CMU split-face panels, and metallic finish EIFS. The roof is flat, with various roof planes to add interest and is capped with prefinished copings. The Planning Commission should review the building to determine if the façade facing Old Fort Parkway (Highway 96) meets the requirement that it contains architectural elements as would lead a reasonable person to perceive it as the front of the structure.

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Ms. Green made known the applicant had provided revisions for this site plan to address staff comments. Staff is very pleased with these changes.

Mr. Josh Gulick, Mr. Dustin Hicks & Mr. Mark Owens were in attendance to represent the applicant. Mr. Gulick came forward making known this would be a great location for the movie theater and very excited to be in Murfreesboro. Mr. Dustin Hicks came forward to explain the design of the building and the reason for the orientation to attract customers coming to the mall and for the customers coming to the theater. This orientation would help Carmike Theater and Stones River Mall tie in together so both becomes more pedestrian friendly. Mr. Mark Owens came forward to explain the rear of the building facing Old Fort Parkway. They have made revisions to the rear by including brick, EFIS, metallic EFIS material and dark spandrel glass to create a faux store front.

Ms. Green made known the applicant would continue working with Ms. Amelia Kerr, Sign Administrator, for their signage. This site plan would be reviewed under the (PSO) Planned Sign Overlay requirements.

Mr. Doug Young wanted to know how many theaters would be at this location, in which Mr. Owens answered, nine. Mr. Gary Whitaker made known the applicant had balanced the parking for this site with the mall parking lot; therefore, the parking has exceeded the parking requirements. Chairman Lamb wanted to know if there were adequate outdoor lighting when the mall closes at 10:00 p.m. Mr. Dustin Hicks made known they are not expecting a lot of vehicles to be parking on the other side of the mall. Chairman Lamb requested for Staff to make certain the lighting would be safe for customers if they park at a distance from the theater. Chairman Lamb wanted to know when would this project start. Mr. Hicks made known Books A Million would be demolished this fall and construction would begin January

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2017. Carmike Theater would like to open sometime during the fall of September or October 2017. The construction should take up to nine or ten months.

Mr. Doug Young made a motion to approve subject to staff comments, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Cedar Retreat Section 1 [2016-1019] master plan & preliminary plat for 28 lots on 10.7 acres zoned PRD located along Florence Road, Donald Henley Construction, developer. *Chairman Bob Lamb made known he would be refraining from all discussion and vote regarding this master plan & preliminary plat.*

Mr. Matthew Blomeley began by describing the preliminary plat review for 28 lots on 10.7 acres zoned PRD. The purpose of this plat is to create a 28 lot subdivision. This item also includes the master plan for the subdivision. These lots are a part of the Cedar Retreat subdivision and have a minimum lot size of 12,000 square feet. Each of the proposed lots have meet the minimum lot size. Both the master plan and preliminary plat are generally consistent with the approved PRD zoning.

Mr. Matt Taylor was in attendance to represent the applicant.

Mr. Eddie Smotherman made a motion to approve subject to all staff comments, seconded by Ms. Kathy Jones. There was one abstention made by Chairman Bob Lamb. The motion passed.

Kingdom Crest Section 1 [2015-1047] master plan & preliminary plat for 58 lots on 11.7 acres zoned RZ located along Jack Byrnes Drive & Charity Lane, Swanson Development developer. Mr. Matthew Blomeley began by describing the master plan and preliminary plat review for 58 lots on 11.69 acres zoned RZ. (The master plan refers to the Kingdom Crest Subdivision only and not the remainder of the development tract.) The

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purpose of this preliminary plat is to create a 58 lot subdivision. The property is directly across the street from Overall Creek Elementary School. These lots have a minimum lot size of 3,000 square-feet. These would be single family detached homes on individual lot of record.

Mr. Blomeley made known Lots 25-30 backs up to Otter Trail. The rear of these lots back up from Otter Elementary School. Staff had tasked the Engineer to provide a screen along the back of these lots. The screening would provide privacy for the lots from the school and school traffic. The Engineer had provided a 3-foot berm, fence, and evergreen landscaping. Continuing, Mr. Blomeley stated these lots had a conflict with Consolidated Utility District. Before final approval all issues would be required to be resolved by CUD and the Urban Environmental Department before any permits are issued.

In addition, Mr. Blomeley explained the area of homes along Jack Byrnes Drive and Otter Trail facing the main streets with an alley; Staff has requested, for restrictions to be placed on these homes with garages are to be use for vehicle use only. Prior to any building permits being issued, these homes would be required to show they have meet all parking requirements.

Mr. Joe Swanson and Mr. Steve Steele were in attendance to represent the applicant.

Mr. Doug Young made a motion to approve subject to all staff comments, seconded by Mr. Tom Clark. There was one abstention made by Chairman Bob Lamb. The motion passed.

Three Rivers Mini Storage [2016-3073] site plan for 91,725 ft² self-storage facility on 7.3 acres zoned CF located along Cason Lane, Scott Wyckoff developer. Mr. Matthew Blomeley began describing the site plan review for a self-service storage facility consisting of 11 structures totaling approximately 91,725 square feet located along the west side of Cason Lane, south of New Salem Highway. The property is zoned CF and a special use permit was

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granted for this use by the Board of Zoning Appeals in late 2015. The proposed site plan is consistent with the approved special use permit. The site has access to Cason Lane via a shared driveway located along the site's northern boundary. The proposed structures are one story (24') with stone, EIFS, and metal exteriors.

Before final approval, Staff had requested for the applicant to address the following concerns:

- All buildings that would back up to Cason Lane should have a façade to appear as a front. Staff requests these buildings mimic the design of the building that is on page A4.1 of the applicant's site plan.

Mr. Matt Taylor and Mr. Scott Wyckoff were in attendance to represent the applicant.

Ms. Kathy Jones made a motion to approve subject to all staff comments, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.

Country Meadows Lots 35 & 36 [2016-3092] site plan for 2 four-family dwellings (CHANGES HAVE BEEN MADE TO COMBINE THE TWO QUADRAPLEX INTO A 1 EIGHT-UNIT BUILDING) on 0.73 acres zoned RM-12 located along Hastings Street, Mac Morales developer. Ms. Matthew Blomeley began explaining the applicant had originally submitted a site plan for the construction of two new quadraplexes on existing lots along the east side of Hastings Street. Since then, the applicant has changed the original design to combine the two quadraplexes into a 1, eight-unit building. This change would require the applicant to resubdivide the plat, to remove the lot lines to join the two lots into one lot of record. The applicant has provided revised plans that shows the changes for the 1, eight unit building.

Before final approval for this site plan, staff has requested the following concerns be addressed:

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- Provide color architecture elevations that would be reviewed and approved by staff before any permits are issued
- Submit a resubdivide plat for review and to be recorded to accomplish this request
- Continue working with staff to address all comments prior to issuing any permits

Mr. Bill Huddleston was present to represent the applicant.

Mr. Tom Clark made a motion to approve subject to all staff comments, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

M.T. Elite [2016-3097] site plan for 8,000 ft² building on 0.69 acres zoned L-I located along Southpointe Court, Jerry Manning developer. Mr. Matthew Blomeley began by describing the site plan review for the construction of a commercial building that is proposed to be used for baseball instruction. Inside of the building there would be batting cages and a pitching mound and lessons would be provided to clients. In addition, according to the developer, the facility would be available for baseball-themed birthday parties and gatherings. The property is zoned L-I and the proposed use is permitted by right.

Before final approval the applicant must provide color architectural elevations to be reviewed and approved by staff before any permits are issued.

Mr. Bill Huddleston was present to represent the applicant.

Ms. Kathy Jones made a motion to approve subject to all staff comments, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.

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New Business

Zoning application [2016-422] for approximately 150.5 acres located along Joe B Jackson Parkway to amend the PID (Parkway Place), Joe Swanson, Jr. applicant. Ms. Margaret Ann Green began describing the subject area consists of three (3) parcels and is located along the southern side of Joe B. Jackson Parkway, and north of Elam Road. The largest of these three parcels went before the Planning Commission on March 5, 2008, to consider rezoning the property from RS-15 to LI. The Planning Commission recommended the applicant revisit the plan for this property and prepare a planned development if he still desired a zoning change. The applicant has submitted a pattern book and called it Parkway Place. The county subdivision Magnolia Trace is to the south and Aurora Place Condominiums are to the north. Industrial Developments are located to the west along Joe B. Jackson Parkway, including Amazon distribution warehouse. Interstate 24 and an interchange is less than one roadway mile to the west.

By zoning this property PID, the applicant was able to address some questions and concerns the Planning Commission had with the request to rezone most of the area to LI. First, the location of the connector road which runs along Region 3 was located along the westernmost property line to stay as far from the houses in Magnolia Trace as possible. Secondly, the plan, which would become the zoning for the property, requires an undisturbed buffer along the northern and eastern property lines in Region 1 which varies in width from 25 feet to 125 feet. There were concerns that leaving this area zoned RS-15 was inadequate because it didn't mandate the preservation and maintenance of a buffer and RS-15 zoning allows the development of single-family houses. Lastly, there were some concerns from the residents and staff that the L-I zone permitted some uses that just weren't compatible with the area. By utilizing the PID, the list of permitted uses can be hand-picked to ensure that they are

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appropriate for this location. The PID package has divided the study area into regions. Each region allows a different array of uses varying in type and intensity.

In 2012, Pinnacle Financial Partners made an application to amend the PID to relocate the main road accessing the east side of the property instead of the west side. The change was needed because the location for Richard Reeves Drive (a signalized intersection) was needed to align with the access into the Interstate Warehouse facility on the north side of Joe B Jackson Parkway. The alignment of this street as it enters the subject property makes it almost impossible to achieve the alignment of the PID zoning plan. Additionally, a commitment was made to add 6-foot high earthen berm in addition to the Type E buffer.

The property has since been sold and the current owners have more defined plans for some parts of the property. The site is still divided into regions, and the proposed buffers are remaining a part of the plan. The site layout, building design, and uses permitted have changed. As such, a revised program was presented for the Planning Commission's review.

Mr. Matt Taylor and Mr. Joe Swanson, Jr., were in attendance to represent the applicant. Mr. Taylor came forward to describe the outline of specifics from the applicant's submitted program book.

Mr. Joe Swanson, Jr. stated a neighborhood meeting had been conducted with approximately 20 people in attendance. Mr. Gary Whitaker made known during the neighborhood meeting specifics had been addressed. One of the main concerns that had been addressed, was for the applicant to construct an eight-foot masonry wall, that would separate this property from the existing residential area. Mr. Swanson explained the concept for this plan would allow, what is known, as an incubator industry. This type zone would provide a starting industry to expand

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or graduate to larger building onto the same site. A list of permitted uses had been included with the applicant's program book.

Mr. Doug Young made a motion to schedule a public hearing on July 13, 2016, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Zoning application [2016-425] for approximately 13.5 acres located along Brinkley Road to be rezoned from CF to PRD (Wilkerson Downs), Robert E. Frances & Jeffrey Gill applicant. Ms. Margaret Ann Green began by describing the subject area consists of a portion of property located along the eastern side of Brinkley Road, and south of Manson Pike. The properties to the east are zoned RS-12 (Single-Family Residential) and is the developed Wilkerson Trace single-family subdivision. The properties to the north are zoned CF (Commercial Fringe District). Brinkley Road runs along the western boundary of the property. Just across Brinkley Road are properties zoned CF (proposed self-storage facility) and RS-15 (undeveloped).

The proposed PRD is to allow 110 multi-family dwelling units on 13.5 acres, for a density of 8.1 d.u./acre. The rear of the units are proposed to face Brinkley Road, so it will need to be appropriately bermed, landscaped and fenced. Alternatively, the units could be designed to front onto Brinkley Road. It appears the applicants are requesting a reduced buffer between the proposed multi-family and the existing commercial zone district. A copy of the program book had been included with the agenda materials.

Mr. Clyde Rountree, Mr. Steve Steele and Mr. Dan Bobo were present to represent the applicant. Mr. Rountree came forward to explain the details of the plan from the applicant's program book. This proposal would allow two story units that would include hardy board material with either a one car garage or a two car garage. This development would have a large green open space. Last, the construction would occur in two phases.

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Mr. Doug Young requested for a neighborhood meeting be conducted before they held a public hearing. Mr. Clyde Rountree agreed he would schedule a neighborhood meeting.

Mr. Doug Young made a motion to schedule a public hearing on July 13, 2016, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Zoning application [2016-426] for approximately 4.5 acres located along Cason Lane, Parkwood Drive, and Eldin Creek Drive to amend the Three Rivers PRD, Highpoint Limited LLC applicant. Ms. Margaret Ann Green began by describing the subject area consists of 13 parcels which are a part of the Three Rivers PRD. These properties are located along Cason Lane, Parkwook Drive and Eldin Creek Drive and back up to Rivers Edge section one, which is zoned RS-10.

The proposed PRD amendment is to allow 44 dwelling units on 4.5 acres for a density of 9.8 d.u./acre. The current PRD requires individual lots to be sold for development. The proposed amendment would allow the property to develop as multi-family residential and the units to be sold under a horizontal property regime. The units would be a minimum of 1,200 square feet. A copy of the program book had been included in the agenda materials.

Mr. Matt Taylor was in attendance to represent the applicant. Mr. Taylor came forward to explain the details of the plan from the applicant's program book. He made known the development would be increased up to 11 units from the original plan.

Chairman Bob Lamb requested for the dumpsters be relocated from its current location before the public hearing. Mr. Matt Taylor stated he would make revisions.

Ms. Kathy Jones made a motion to schedule a public hearing for July 13, 2016, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.

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Zoning application [2016-427] for approximately 0.97 acres located along North Rutherford Boulevard and Old Lascassas Road to be rezoned from CF to CH, Eric Lowman applicant. Ms. Margaret Ann Green began by describing the subject property located along North Rutherford Boulevard and Old Lascassas Road. The properties to the north and east are zoned CH and is the location of the Kroger grocery store and McDonalds. The property to the west is zoned CF and is a Burger King. The property to the south, across North Rutherford Boulevard is zoned PCD, however the City Council has recently approved a request to rezone it to CF.

The subject property was zoned interim RS-15 when it was annexed in 1986. Six year later the CF district was created and this intersection was rezoned to CF. In 2003, an application was made to zone the adjacent properties to PCD to allow Kroger. After the Kroger was constructed, it was rezoned to CH. This parcel and the adjacent Burger King parcel were under a different ownership and they were not included in the zoning change to PCD or CH.

The applicant wishes to purchase the property to develop it with an automated car wash. The proposed use is not permitted within the CF district. As such, the applicant has requested a zone change to CH. The Planning Commission may wish to include the adjacent parcel as additional study area.

Chairman Lamb requested to study the additional area to keep the area consistent. Ms. Green stated this rezoning request would be advertised with the additional study area.

Mr. Doug Young made a motion to schedule a public hearing for July 13, 2016, and to include the additional study area, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

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Zoning application [2016-428] for approximately 44 acres located along Armstrong Valley Road to be rezoned from RS-15 to RS-8, Cornerstone Development applicant.

Mr. Matthew Blomeley began by describing the subject property located along the east side of Armstrong Valley Road. It consists of 44 undeveloped acres and is currently zoned RS-15 (Single-Family Residential District 15). It was annexed in 2008 and zoned PRD (Planned Residential District) simultaneous with annexation. The PRD permitted the development of an active adult community called Three Oaks at Armstrong Valley consisting of 165 residential condominiums on 53 acres. This development never moved forward. In 2011, at the request of the property owner, the property was rezoned to RS-15. Approximately nine (9) acres of the 53 acres were subsequently sold to an adjacent property owner.

The applicant had a contract on the remaining 44 acres. He is the developer of the Westwind single-family residential subdivision, which is located directly to the east of the subject property. Westwind is zoned RS-8 (Single-Family Residential District 8), and the applicant had requested that the subject property be rezoned to RS-8 to match the zoning for Westwind. He envisions the 44 acres to be incorporated into the Westwind development. The RS-8 zone requires a minimum lot size of 8,000 square-feet. Staff calculates that the approximate maximum number of lots that could be created on 44 acres in the RS-8 zone is 179, but the actual lot count would likely be less than this number. The subject property is just outside the boundaries of the *Salem Pike Land Use Plan* study area.

As mentioned previously, the subject property is bordered on its east side by the Westwind tract, which is zoned RS-8. Directly to the north are three single-family residential estate lots in the unincorporated County. Further to the north is the Sheffield Park subdivision, which is zoned PRD and consists of 8,000, 10,000, 12,000, and 15,000 square-foot single-family residential lots. The undeveloped southern half of the Weston Park PUD (Planned Unit

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District) is also to the north of the subject property. It is zoned for a variety of small-lot single-family attached and detached dwellings, as well as a “retail village.” To the south of the subject property are several estate lots in the unincorporated County as well as some undeveloped tracts. To the west across Armstrong Valley Road is undeveloped agricultural land located in the unincorporated County.

Mr. Matt Taylor was in attendance to represent the applicant.

Mr. Tom Clark made a motion to schedule a public hearing for July 13, 2016, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Annexation Plan of Services and annexation petition [2016-508] for approximately 13.4 acres located along Veterans Parkway east of Cason Lane, Ardavan Afrakhteh applicant. Mr. Matthew Blomeley began by describing the subject property located along the north side of Veterans Parkway just east of the intersection of Veterans Parkway and Cason Lane. Veterans Parkway was recently reconstructed in front of the subject property and, according to the Engineering Department, the construction is substantially complete. The subject parcel totals 9.9 acres. There is an existing single-family residence on the subject property as well as an outbuilding. The property owner has requested annexation in order for future development on the property to benefit from City services, including sanitary sewer.

The subject property is contiguous with the existing City Limits to the north and west. It is within the City’s urban growth boundary. In addition, the property owner has petitioned the City for the annexation. Staff is preparing an annexation feasibility study and plan of services, which will be ready for the Planning Commission’s review prior to the public hearing. In addition to the requested parcel, the right-of-way of Veterans Parkway in front of the subject parcel as well as the right-of-way in front of the two developments to the west has been included. The entire study area, including the Veterans Parkway right-of-way, totals

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approximately 13.4 acres. The zoning application to have the requested property zoned RM-12 (Multi-Family Residential District 12) simultaneous with annexation.

Mr. Matt Taylor was in attendance to represent the applicant.

Ms. Kathy Jones made a motion to schedule a public hearing on August 3, 2016, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.

Zoning application [2016-421] for approximately 9.9 acres located along Veterans Parkway east of Cason Lane to be zoned RM-12 simultaneous with annexation, Green Trails, LLC applicant. Mr. Matthew Blomeley began by describing the subject property located along the north side of Veterans Parkway just east of the intersection of Veterans Parkway and Cason Lane. Veterans Parkway was recently reconstructed in front of the subject property and, according to the Engineering Department, the construction is substantially complete. The subject parcel totals approximately 9.9 acres. There is an existing single-family residence on the subject property as well as an outbuilding. The property owner has requested annexation in order for future development on the property to benefit from City services, including sanitary sewer.

A request has been made to zone the property RM-12 (Multi-Family Residential District 12) simultaneous with annexation. The RM-12 zone permits multi-family residential uses at a maximum of twelve (12) dwelling units per acre. At 9.9 acres, the property has the potential to yield approximately 118 dwelling units. (It should be noted, though, that density bonuses for additional units could be granted based on amenities provided.) The applicant has a contract on the subject property. He wishes to construct a residential condominium development on the subject property. Mr. Matt Taylor, who represents the applicant had submitted a conceptual site plan and conceptual architectural elevations for the proposed buildings. This had been included in the Agenda packet. However, it should be noted that,

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because the proposed zoning is not a planned development, the development plan and elevations submitted are for informational purposes only and are not binding.

The subject property is bordered on its west side by a self-storage development that is zoned PCD (Planned Commercial District). Further to the west and to the north is the Three Rivers PRD (Planned Residential District). The southern portion of the Three Rivers subdivision is comprised of small single-family residential lots. To the south, across Veterans Parkway, is agricultural land located in the unincorporated County. Directly to the east of the subject property are two large single-family residential parcels in the unincorporated County as well as the Barfield Meadows single-family residential subdivision, which is also located in the unincorporated County. It should be noted that the subject property is located just outside of the boundaries of the Salem Pike Land Use Plan.

Mr. Matt Taylor was in attendance to represent the applicant. Mr. Doug Young wanted to clarify if these units were townhomes and not apartments. Mr. Taylor answered they would be individually owned townhomes. The materials would be primarily masonry with carriage style doors.

Mr. Doug Young made to motion to schedule a public hearing on August 3, 2016, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Annexation Plan of Services and annexation petition [2016-509] for approximately 28.3 acres located along New Salem Highway, James Rowland applicant. WITHDRAWN

Zoning application [2016-424] for approximately 22.5 acres located along New Salem Highway to be zoned RM-16 simultaneous with annexation and for approximately 0.9 acres to be rezoned from RS-15 to RM-16, James Rowland applicant.

WITHDRAWN

Minutes of the Murfreesboro Planning Commission June 22, 2016

Zoning application [2016-423] for approximately 1.5 acres located along East Main Street and Jupiter Place to be rezoned from RS-15 to RM-16, East Main Quarters Partnership developer. Mr. Matthew Blomeley began by describing the subject property located at the southwest corner of East Main Street and Jupiter Place. It is currently zoned RS-15 (Single-Family Residential District 15) and is developed with one (1) single-family residence, which is located toward the south end of the property. Directly to the west of the subject property is the East Main Quarters apartment complex, which is nearing completion. The East Main Quarters development is zoned RM-16 (Multi-Family Residential District 16). While the northwestern most 0.75 acres of the East Main Quarters property was rezoned to RM-16 in 2015, the majority of that property has been zoned RM-16 (and its precursor RML) since at least the 1980s. East Main Quarters consists of 63, 4-bedroom units on 5.66 acres. The developers of East Main Quarters have a contract on the subject property. They wish to purchase the property and develop a second phase of the apartment complex. To this end, they have requested a rezoning of the subject property from RS-15 to RM-16. The RM-16 zone allows a maximum of sixteen (16) dwelling units per acre (which can be increased if density bonuses are granted for amenities provided). At approximately 1.5 acres, the subject property would yield approximately 24 additional dwelling units.

As mentioned previously, the property is bordered on its west side by RM-16 zoning. Further to the west are two parcels located at the southeast corner of East Main Street and South Baird Lane that were rezoned CF (Commercial Fringe District) last year but have not yet been redeveloped with commercial uses. West of Baird along the south side of Main are several older apartment complexes zoned RM-16. There are single-family residential lots zoned RS-15 to the south of the subject property. There are also large single-family residential lots zoned RS-15 located to the east across Jupiter Place and to the north across East Main Street.

Minutes of the Murfreesboro Planning Commission June 22, 2016

The applicants and their team had hosted a neighborhood meeting on June 20, 2016, in which approximately 7 people had attended.

Mr. Clyde Rountree and Mr. John Elliott were in attendance to represent the applicant.

Ms. Kathy Jones made a motion to schedule a public hearing on August 3, 2016, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.

Staff Reports and Other Business

Mr. Eddie Smotherman requested for Staff to provide information from the last 8 years, regarding how much property had been rezoned to multi-family. Mr. Gary Whitaker stated he would have staff prepare this information on multi-family zone before the August 3, 2016, meeting. The study would not include the Mixed Use (MU) zone.

Hear report from the Planning Director regarding base of building design standard.

Mr. Gary Whitaker distributed material with photos to the Planning Commission and Staff to address the subject of Architectural Standards in The Gateway. He made known from the Zoning Ordinance, Commercial design specifics provide the following:

1. Buildings shall not be designed to have long uninterrupted facades. Variations in the roof line or the wall plane shall be used to break up the mass of the building.
2. Buildings shall have a defined base and cap.
3. All facades visible from public access ways shall be similar to the primary façade in material and design.
4. Roof forms shall be appropriate to the buildings' design and scale.

The information provided by Mr. Whitaker assisted the Planning Commission on how to view future buildings that are being constructed in the Gateway Design Overlay area.

No Action Taken

**Minutes of the
Murfreesboro Planning Commission
June 22, 2016**

There being no further business the meeting adjourned at 3:30 p.m.

Chairman

Secretary

GW:cj

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 17, 2016

1:00 P.M.

ROOM 218

MEMBERS PRESENT

Bob Lamb, Chairman
Doug Young, Vice Chairman
Eddie Smotherman
Kirt Wade
Tom Clark
Kathy Jones

STAFF PRESENT

Margaret Ann Green, Principal Planner
Matthew Blomeley, Principal Planner
Joe Ornelas, Planner
Carolyn Jaco, Recording Assistant
David Ives, Assistant City Attorney
Katie Noel, Project Engineer
Jay Bradley, Project Engineer
Cey Chase, Interim Engineer
Amelia Kerr, Sign Administrator
Brad Barbee, Landscape Site Plan Inspector

Chairman Bob Lamb called the meeting to order after determining there was a quorum. The minutes from the July 13, 2016, Planning Commission meeting were approved as submitted.

Consent Agenda

Ms. Margaret Ann Green began reading the following items to be considered for approval.

Retreat at Marymont Springs Section 3 [2015-1055] amended preliminary plat for 29 lots on 7 acres zoned PUD located along Maryweather Lane, New South Developers, LLC developer.

G.T. Brawner Lot 2 and 3 [2016-1031] preliminary plat for 2 lots on 0.35 acres zoned RM-12 located along North Academy Street and East Oak Street, Mac Morales, developer.

Liberty Valley Section 5 [2016-1032] preliminary plat for 17 lots on 7.1 acres zoned RS-10 located along General Marshall Court and Dunkirk Lane, Howard Wall developer.

Liberty Valley Section 6 [2016-1033] preliminary plat for 15 lots on 7.28 acres zoned RS-10 and RS-15 located along Britannia Drive, Howard Wall developer.

Seward Crossing Section 3 [2016-1034] preliminary plat for 37 lots on 10.41 acres zoned PRD located along Nancy Seward Drive, Amnon Shreibman developer.

Autumn Wood Apartments Lot 1 [2016-2078] final plat for 1 lot on 17.15 acres zoned RM-16 and CH located along Saint Andrews Drive, Autumn Wood Partnership developer.

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G.T. Brawner Resubdivision of Lot 2[2016-2081] final plat for 2 lots on 0.35 acres zoned RM-12 located along North Academy Street and East Oak Street, Mac Morales developer.

Riverwatch Lots 2-7 [2016-2082] final plat for 6 lots on 39 acres zoned RS-15, RM-16, and CH located along Warrior Drive, HRP Residential developer.

Salem Academy Daycare Lots 1 and 2 [2016-2084] final plat for 2 lots on 4.88 acres zoned OG located along Saint Andrews Drive, Decker Investments, LLC developer.

Westlawn Lot 101 [2016-2091] final plat for 1 lot on 1.76 acres zoned PUD located along Westlawn Boulevard, REO Funding Solutions developer.

Fred H. Farrer Limited Partnership [2016-3085] site plan for parking lot addition on 4.96 acres zoned CH located at 1119 Brinkley Avenue, Hire Construction developer.

Standard Distribution [2016-3123] site plan amendment for 228,000 square-foot industrial building on 26.4 acres zoned L-I located along Joe B Jackson Parkway, Tippman Group developer.

Vice Chairman Doug Young made a motion to approve the consent agenda, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.

Gateway Design Overlay

Title Boxing [2016-3109 & 2016-6010] final design & site plan review for 9,000 ft² commercial center located on 0.7 acres zoned CH & GDO-1 located along Conference Center Boulevard, Silohill Lane, and Greshampark Drive Kyndon Oakes UFC developer.

Ms. Margaret Ann Green began by describing the final design and site plan review for a new 9,000 square foot health club and office located along Greshampark Drive, Conference Center Boulevard and Silohill Lane. This lot was created by the developers of the Hilton Garden Inn. During review of the plat to create this lot, the Planning Commission and staff were concerned with the creation of a small lot that would have difficulty meeting standards. The plat had been created by the developer with the knowledge that it would not be a good candidate for variances in the future. The proposed use “commercial center” is permitted by right within the CH and GDO-1 districts. The proposed building is a two story structure (35’ feet) structure that is mostly brick with some EIFS accents.

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The Planning Commission conditioned approval of initial design review upon the height of the stone beneath the front window being increased to at least 3’.

Mr. Scotty Bernick and Mr. Rob McKelvey were in attendance to represent the applicant. Mr. Bernick stated they were in agreement with all staff comments and available for any questions.

Mr. Doug Young asked what would be the time frame to start on this building, in which Mr. McKelvey answered, as soon as possible.

Mr. Tom Clark made a motion to approve subject to all staff comments, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Mazda [2016-3119 & 2016-6011] final design & site plan review for 24,796 ft² automobile dealership on 4 acres zoned CH & GDO-1 located along Fortress Boulevard and John R Rice Boulevard, Nelson Mazda developer. Ms. Margaret Ann Green began by describing the final design and site plan review for a new 24,796 square foot Mazda dealership located along Fortress Boulevard and John R Rice Boulevard. The proposed use “vehicle sales” is permitted within the CH and GDO-1 districts. The proposed building is a two-story (28’3”) structure that includes brick, EIFS siding and metal accents. The amount of brick has been increased since the Planning Commission review during the applicant’s initial design review. Ms. Green made known the pre-cast stone had been eliminated from the building.

Continuing, Ms. Green made known staff had discussions with the applicant’s design team to address the following:

- The overhead door located at the car wash area should be properly screened due to the area being viewed along Fortress Boulevard.
- The overhead door located at the service reception area should be properly screened due to area being viewed along John Rice Boulevard.
- Would the overhead doors be left opened year-round?

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Mr. Matt Taylor, Mr. Rob Molchan, Mr. Preston Quirk and Mr. Chad Custer were in attendance to represent the applicant. Mr. Taylor came forward making known they have worked with staff to improve the Fortress Boulevard entrance, the striping and signage. The two areas with decorative overhead doors could be enhanced with additional landscaping. Continuing, Mr. Taylor explained the service areas would be controlled. The car wash area would not be open for the public. Mr. Rob Molchan stated the landscaping being viewed from Fortress Boulevard and John R Rice Boulevard would be kept at a low height for visibility. This would prevent any conflicts with landscaping on this site. Ms. Green commented these improvements would soften the view but it would not screen the view.

Mr. Preston Quirk presented the revised material board making known the improvements have been addressed with brick material to break up the appearance of the building.

Chairman Lamb wanted clarity on how the eighteen wheelers would be delivering vehicles to this site. Mr. Taylor explained the large trucks would come into the site from the second entrance off of John R Rice Boulevard then exit onto Fortress Boulevard. No large trucks would be allowed to load or unload from the street.

The Planning Commission agreed with the changes that had been made with the brick materials. Mr. Doug Young made known he was thankful and welcomed the Mazda team for coming to Murfreesboro. He commented, "these are good vehicles, he had one for years and years". Mr. Chad Custer made known Mazda has been on the radar for quite some time and they are ready to get started.

Mr. Doug Young made a motion to approve subject to all staff comments, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.

Twin B Farm, LP Subdivision, Lots 8 and 9 [2016-2077] final plat for 2 lots on 5.13 acres zoned CH and GDO-1 located along John R Rice Boulevard, Clarissa D. Smith developer.

Ms. Margaret Ann Green began by describing the final plat review for Twin B Farms Lots 8 and

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9, commercial subdivision located along John R Rice Boulevard and Fortress Boulevard. The property is zoned CH and GDO-1. The purpose of this plat is to create a 2 lot subdivision. This final plat will create Lot 9 for the proposed Mazda automobile dealership. Mr. Doug Young wanted to know what was being considered for Lot 8. Ms. Green made known the GM Dealership was considering in purchasing the property.

Mr. Matt Taylor was in attendance to represent the applicant.

Ms. Kathy Jones made a motion to approve subject to all staff comments, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.

Trustpoint Hospital [2016-2089] final plat for 1 lots on 13.05 acres zoned RS-15, L-I, and GDO-2 located along Wilkinson Pike and Van Cleve Lane, Polaris Hospital Holdings, LLC developer. Ms. Margaret Ann Green began by describing the final plat review for the Trustpoint Hospital subdivision located along Wilkinson Pike and Van Cleve Lane. The property is currently zoned RS-15, L-I, and GDO-2; however, a rezoning to CM and GDO-2 is pending. The purpose of this plat is to combine properties to become one lot of record. The property would be for the future expansion of Trustpoint Hospital.

Mr. Mat Taylor was in attendance to represent the applicant.

Ms. Kathy Jones made a motion to approve subject to all staff comments, seconded by Mr. Kirt Wade. The motion carried by unanimous vote in favor.

Plats and Plans

Shelton Square Master Plan [2016-1030] master plan for 740 lots on 245.51 acres zoned PRD located along Blackman Road, Bob Parks Realty, LLC developer.

Ms. Kathy Jones announced she would be abstaining from all discussion and vote in regards to this preliminary plat.

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Ms. Margaret Ann Green began by describing the master plan review for 740 lots on 245.51 acres zoned PRD (Shelton Springs PRD). The purpose of this plat is to create a 740 lot subdivision. The PRD allows a maximum of 771 dwelling units; however, the master plan is only for 740 lots.

Ms. Green explained staff had requested for the master plan to show the amenity areas and the required 10% of open space. Also, this plat would provide information for areas such as a pool, cabana, playground, recreation areas, etc. Continuing, Ms. Green made known the City of Murfreesboro had recently purchased property being near Shelton Square for a future city park. Staff had tasked for the applicant's Engineer to connect the 740 future homes to the new park. Mr. Matt Taylor, with SEC, included a 10-foot wide, multi-use purpose path, along Blackman Road, to the first entrance into the subdivision. Staff has requested for the multi-use purpose path be extended further, to the second entrance into the subdivision. Staff would like for area to also have access to the park.

Mr. Matt Taylor was in attendance to represent the applicant. Mr. Taylor commented, the master plan was in agreement with the approved Planned Residential Development. Continuing, Mr. Taylor made aware after completing the survey for this property, some lots had to be eliminated so they could address sinkholes on the property. In addition, the applicant had changed the name of the development to utilize the existing large quarry. The stormwater from this subdivision would be channeled to the existing large quarry. Currently, the applicant for this property is working with the joining property owners regarding the details for the stormwater channeled to the quarry.

Mr. Doug Young complimented Mr. Taylor for incorporating the multi-use purpose path on the master plan for this subdivision. Mr. Taylor made known due to the restrictions of the land, it had prevented the multi path being extended to the second entrance for this subdivision. There may be other options to consider in providing the multi-use purpose path placed in another area of the development. Mr. Young commented this is a large subdivision and he would like to make certain there would be connectivity available with sidewalks, trails, etc. Mr. Eddie Smotherman agreed,

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“make this a pedestrian friendly neighborhood”. Mr. Taylor responded, they are committed in working with staff on the design of this master plan.

Mr. Kirt Wade made a motion to approve subject to all staff comments, seconded by Mr. Eddie Smotherman. There was one abstention made by Ms. Kathy Jones. The motion passed.

Leanna Pines Mobile Home Park [2016-3124] site plan for 6 additional mobile homes on an existing 6.4-acre mobile home park zoned R-MO located along West Thompson Lane and Leanna Road, Leanna Pines Mobile Home Park LLC developer. Mr. Matthew Blomeley began by describing the site plan review for the addition of six (6) mobile homes to an existing mobile home park. The property is zoned R-MO and the proposed use is permitted by right. Mr. Blomeley made known land was available and the density was available for the mobile home park.

Mr. Blomeley explained the applicant would be required to address the following conditions before final approval:

- Along the adjacent property line there is a Type C buffer. The Urban Environmental Department has requested for this buffer be properly installed.
- There is an encroachment along the green space area that should be 25 feet wide along the perimeter property line. The encroachments should be removed from the site plan
- The existing driveway into this site is greater than 150 feet in length. With this site plan, the applicant is proposing an additional 75 feet to the driveway. Therefore, the City Fire and Rescue Department requests for this site plan to include a turnaround that would be reviewed and approved by the Fire and Rescue Department.

Mr. Bill Huddleston was in attendance to represent the applicant.

Mr. Doug Young wanted to know how many mobile homes were currently in the park, in which Mr. Blomeley answered 38 to 40.

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Mr. Doug Young made a motion to approve subject to all staff comments, seconded by Mr. Tom Clark. There was one no vote made by Mr. Eddie Smotherman. The motion passed.

Request to move a house [2016-3127] from 1818 6th Avenue North in Nashville to 311 South Highland Avenue, Charles Ferguson applicant. Mr. Matthew Blomeley began by describing Public Chapter 246 of 2007 requires that certain conditions be met before a house can be moved onto a lot in the Murfreesboro City limits, and in this situation it mandates Planning Commission approval. The applicant, Mr. Charles Ferguson, would like to move a structure that is currently located at 1818 6th Avenue North in Nashville onto property he owns at 311 South Highland Avenue, which is located on the east side of South Highland Avenue, between East Sevier Street and East State Street. 311 South Highland Avenue is zoned RS-4 (Residential Single-Family) and is also located in the CCO (City Core Overlay District).

The existing structure is the front unit in an existing quadplex. Photographs of the existing structure from Google Streetview have been made available. The applicant proposes to remove the front unit and relocate it as a single-family home on the property at 311 South Highland Avenue. He proposes to build a front porch as well as two separate building additions -- a 6x24 addition on the front and a 14x20 addition on the south side. A floor plan has been provided. According to the Property Assessor's website, the lot is 53x70. The minimum building setbacks in the RS-4 zone are as follows: front = 25', sides = 5', and rear = 20'. However, the CCO overlay district allows for reduced front setbacks -- 17' in this instance. With the reduced front setback, the proposed structure should be able to fit within the building envelope. State law requires that the Planning Commission consider the following requirements before rendering a decision:

1) The age of the house to be moved must be within 10 years of the average age of the existing structures within the developed area. (State law says that a "developed area" means an area generally referred to as a subdivision as indicated on a plat filed in the Register of Deeds Office. For the purposes of this request, since there is no subdivision plat associated with this property, Staff has identified the "developed area" as 19 adjacent single-family residential lots.)

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According to the Davidson County Property Assessor's office, the subject structure was built in 1962. Staff tasked the applicant with researching the age of the existing homes in the sample area. The average year built for the homes in the sample area is 1960. The subject structure complies with the requirement above.

2) The value of the house to be moved (after all the improvements have been made) must meet or exceed the average appraisal of the existing structures within the developed area.

Once again, the Rutherford County Property Assessor's website was used as best available information. The average valuation of all homes in the sample area is \$46,373. The valuation of the subject structure in its current state, according to the Davidson County Property Assessor's office, is \$112,100. The applicant has divided that number by 4 to get a rough valuation of the structure of \$28,025. In its current state, the subject structure does not appear to meet the minimum requirement. However, the applicant proposes to construct a new front porch as well as two additions onto the structure to increase its value. He has indicated that he intends to spend approximately \$24,000 on these additions and other miscellaneous improvements. Adding the proposed expenditures to the existing valuation of the structure equals approximately \$52,000, which exceeds the \$46,373 average valuation of the homes in the sample area. No appraisal has been provided, however, so the Planning Commission must decide whether or not the information provided is sufficient to determine compliance with State law.

3) The size of the house to be moved must not be less than 100 square-feet less than average size of the existing structures within such developed area.

According to the Rutherford County Property Assessor's website, the average house size in the sample area is 1,091 square-feet. The subject structure is only 600 square-feet, according to the applicant. In its current state, the structure does not meet the square-footage requirements. However, as previously mentioned, the applicant proposes to construct several additions, which would increase the square-footage of the structure to 1,000 square-feet -- 91 square-feet less than the average. With the additions, the structure meets the minimum requirement.

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4) The appearance of the house to be moved must be consistent with that of those existing residences as determined by the Planning Commission.

This criterion is more subjective than the other criteria. Staff has some level of discomfort with the relocation of a quadplex unit for use as a single-family residence. The quadplex was not originally constructed to appear or be used as a single-family residence. The Planning Commission should carefully evaluate the request and the modifications to the structure proposed by the applicant. It should only approve the request if it feels that the appearance of the proposed structure is consistent with that of the existing residences in the area. The applicant has not yet provided an accurate front building elevation for Staff's review but he will be providing one prior to the Planning Commission meeting and it will be distributed to the Planning Commission members. He has provided photos of a number of the homes in the sample area for the Planning Commission's reference. He proposes a front porch similar to that of many of the existing homes in the neighborhood. He also proposes additions to the front of the structure and to the south side of the structure. The existing structure has a gable in the front and the addition to the south would include a second gable at the front. Most of the homes in the sample area have siding exteriors. The applicant proposes to install vinyl siding on all four (4) sides of the house.

The Murfreesboro Building and Codes Department must conduct a substandard inspection of the structure. The Building and Codes Department needs to ensure that a substandard structure is not relocated within City limits. The applicant will be required to make the required improvements to bring the structure up to current codes. In addition, due to the age of the structure, Staff has concerns about possible lead-based paint and asbestos contamination. Staff believes that it is important that contaminated structures not be moved into the City limits. That is why, for this request (and all future requests to relocate structures that were built before 1978), Staff is recommending a condition that the applicant must provide evidence from a licensed third party testing company that there is no lead-based paint or asbestos contamination. If evidence of

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contamination is found, then appropriate abatement measures must be performed before the structure is moved into the City limits.

The Planning Commission should consider this request to move the subject structure to 311 South Highland Avenue. Per State law, the Planning Commission should determine whether or not the structure is consistent with the existing houses in the neighborhood. If the Planning Commission approves the request, Staff recommends the following conditions:

- 1) The applicant must provide evidence from a licensed third party testing company that there is no lead-based paint or asbestos contamination. If evidence of contamination is found by the licensed third party testing company, then appropriate abatement measures must be performed before the structure is moved.**
- 2) If one has not been done already, a substandard inspection must be conducted on the structure and any necessary improvements must be made to the structure to bring it up to current code (on a time table to be determined by the Building and Codes Department).**
- 3) A new front porch, constructed of masonry, must be constructed onto the front of the structure. The front porch must be completed within eight (8) months of the date of Planning Commission approval (i.e., by April 17, 2017).**
- 4) The proposed additions are needed to meet the minimum size requirement. The additions must be completed within eight (8) months of the date of Planning Commission approval (i.e., by April 17, 2017).**
- 5) The full certificate of occupancy must be obtained no later than eight (8) months from the date of Planning Commission approval (i.e., by April 17, 2017).**
- 6) Provide a cover over the front porch.**
- 7) The Planning Commission must decide whether or not the information provided by the applicant is sufficient to determine if this request is in compliance with state law in this matter.**

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Chairman Bob Lamb had questions whether or not if the residence did or did not meet the county appraisal, how would it be handled? Mr. Blomeley stated if there were any concerns with the valuation, the Planning Commission could require the applicant to provide an appraisal to show the residence is in compliance with state law.

Mr. Charles Ferguson the applicant was in attendance to answer any questions.

Ms. Kathy Jones made a motion to approve subject to all staff comments, including a statement from a required licensed appraiser. The appraisal should be provided prior to any issuance of permits. The motion was seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.

Mandatory Referrals

Mandatory Referral [2016-714] for the disposition of surplus property along Florence Road, City Legal Department applicant. Mr. David Ives began to explain the Planning Commission is being asked to consider approving the disposition of a piece of City-owned property that is zoned HI along Florence Road. The property is directly adjacent to the CSX railroad right-of-way and directly across the street from the City Solid Waste Department. A map showing the subject property had been made included with the agenda packet. The City Legal Department had prepared a memo pertaining to this request. A memo from the City Manager indicates this to be a surplus property and that the City has no need to retain the property. If approved by the Planning Commission, staff would forward a recommendation to the City Council for its consideration.

Mr. Tom Clark made a motion to approve, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.

Mandatory Referral [2016-712] to consider the abandonment of excess Samsonite Boulevard right of way, City of Murfreesboro applicant. Ms. Margaret Ann Green began by describing the property had been part of a transportation improvement proposed in the 1990s. The City proposed to improve Samsonite Boulevard from South Church Street to New Salem Highway to

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a new interstate interchange proposed for New Salem at Interstate 24 being planned by the Tennessee Department of Transportation (TDoT). The City portion of the work was initiated and ROW and easements were acquired based on the City design. The reconstruction of Samsonite Boulevard then moved to construction. During coordination with TDoT, it was decided that the New Salem Highway intersection with Samsonite Boulevard was too close to the proposed interchange. The City halted work in this area and a new intersection was proposed approximately 1,300 feet north. Samsonite Boulevard improvements were stopped at Old Salem Road and the roadway improvements were reduced from 5 to 3 lanes. Between Old Salem Road and New Salem Highway, an area of approximately 2.5 acres of ROW was no longer needed for improvements to Samsonite Boulevard. City staff had discussed this area with City Administration and while no specific future uses of the area have been identified, it was determined that the area should be studied as a Mandatory Referral item as excess ROW. It is possible that the 2.5 acres could be a viable lot having access to utilities and frontage on public roadways. By TDoT plans, the parcel does not have access to New Salem Highway.

The Planning Commission should study the matter and schedule a public hearing. Planning staff would communicate with other departments and interested utility providers to seek their input on the matter prior to the public hearing.

Mr. Doug Young made a motion to schedule a public hearing on September 7, 2016, seconded by Mr. Kirt Wade. The motion carried by unanimous vote in favor.

Mandatory Referral [2016-711] to consider the acquisition of Todd's Lake, MTSU Foundation applicant. Ms. Margaret Ann Green began by describing in 1989, MTSU Foundation acquired an approximate 21-acre water body along South Rutherford Boulevard locally known as Todd's Lake. The area has also been called Hoovers Lake. During recent discussions with City staff, MTSU Foundation proposed to donate the parcel to the City for environmental, water quality, water management, and other similar uses and benefits. The City has two other parcels on this water body totaling approximately 20 acres. MTSU Foundation

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expresses an interest in maintaining a right of access for academic purposes and pursuits. Accordingly, the City proposes to grant to MTSU, MTSU Foundation, and other current or future MTSU-related or MTSU associated academic, research, and scholarly organizations a right of access for education, study, teaching, sampling, testing, investigating, researching, visiting, conducting field trips, conducting outdoor classrooms, and other similar academic, research, and scholarly activities. The City proposed to additionally extend these access rights to the two additional City parcels located adjacent to the MTSU Foundation parcel. These rights of access are proposed subject to providing reasonable notice to the City Manager and subject to providing copies of results of any surveys, studies, reports, results, or other work products of the academic, research, or scholarly activities conducted on the properties. As a Mandatory Referral, the Planning Commission should consider the donation and related access conditions and take action of Staff's recommendation.

Ms. Kathy Jones wanted to know where would visitors park their vehicles at Todd's Lake while conducting their research, testing, classes etc. Mr. David Ives answered vehicles could park along Rutherford Boulevard, at the TVA access, or public right of way.

Mr. Eddie Smotherman wanted to know who would be responsible for the maintenance and upkeep of the lake. Mr. Ives stated there would be potential for maintenance; however, there would be information made available to the City for water quality, stormwater, etc.

Ms. Green made known access could be addressed during the time when providing a request, or notices, to the City Manager.

Mr. Doug Young made a motion to approve subject to all staff comments, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Mandatory Referral [2016-713] to consider a revocable license for ZAYO to place underground FOC facilities in public right of way, City of Murfreesboro applicant. Mr. David Ives began by describing ZAYO Group, LLC, is about to embark on a project to connect

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all Verizon cell towers in Middle Tennessee by fiber optic cable (“FOC”). ZAYO is registered as a Competitive Local Exchange Carrier (“CLEC” – ie, a telephone company) in Tennessee and as such has a legal right to place facilities in road ROWs.

Most of the FOC will be installed on MED and other utility poles pursuant to Pole Attachment Agreements, and ZAYO is executing a Master Pole Attachment License Agreement with MED. A portion, however, will be installed in conduit installed underground by ZAYO – either by trenching or by directional bore – in the ROW.

TCA Sec. 13-4-104 requires the Planning Commission to approve any “public utility” to be constructed in the City, and the ZAYO facilities will be part of a public utility. Licenses will be issued and managed by the City Engineer in conjunction with Planning, Transportation, Urban Environmental, Water & Sewer and MED.

Mr. Eddie Smotherman made a motion to approve subject to all staff comments, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.

New Business

Annexation Plan of Services and annexation petition [2016-510] for approximately 84 acres located along Old Salem Road, David Alcorn, Rucker Donnell Foundation and Linda Gilley applicants. Ms. Kathy Jones made known she would be abstaining from all discussion and vote regarding this request.

Ms. Margaret Ann Green began by describing the subject properties located along Old Salem Road and East Overall Creek Road. The study area consists of property owned by David Alcorn which is located south of East Overall Creek Road and west of Old Salem Road. There is a single-family residence located on Mr. Alcorn’s property at 5595 East Overall Creek Road. The study area also consists of property owned by the Talmadge Gilley Jr Trust located north of East Overall Creek Road and west of Old Salem Road. In addition, the study area also consists of a portion of

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property owned by the Rucker Donnell Foundation located along the south and east of Old Salem Road; a portion which is already in Murfreesboro City limits. The entire study area is 84 acres.

A written petition has been filed by the property owners requesting annexation. The Rucker Donnell Foundation property and the Linda Gilley property are located within the City's Urban Growth Boundary. The David Alcorn property is only partially located within the Urban Growth Boundary; however, our legal staff believes it is within Murfreesboro's ability to annex. If annexed, all properties are contiguous with the City limits.

Staff is preparing a plan of services, which will be ready for the Planning Commission's review prior to the public hearing. Rights-of-way of Old Salem Road and East Overall Creek Road are included in the annexation study. The Rucker Donnell foundation has also filed a request to have the property zoned CF (Commercial Fringe District) simultaneous with annexation. The properties owned by Mr. Alcorn and the Gilley Trust will come into the City with an interim zoning of RS-15.

Representatives for the applicants were in attendance during the meeting.

Mr. Doug Young made a motion to schedule a public hearing on September 7, 2016, seconded by Mr. Tom Clark. There was one abstention Ms. Kathy Jones. The motion passed.

Zoning application [2016-436] for approximately 34.1 acres located along Old Salem Road to be zoned CF simultaneous with annexation and approximately 17.6 acres to be rezoned from OG to CF, Rucker Donnell Foundation applicant. Ms. Margaret Ann Green began by describing the subject property located south of East Overall Creek Road and west of Old Salem Road. It is a part of a larger parcel owned by the Rucker Donnell Foundation. A portion of the property is within Murfreesboro City limits and is zoned CH (Commercial Highway District) and OG (General Office District). The remainder of the property is being studied for annexation. The previous item pertained to the annexation of this property, while this item pertains to the zoning.

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The applicant has requested that the 17.6 acres zoned OG be rezoned to CF (Commercial Fringe District) and the 34.1-acre balance be zoned CF simultaneous with annexation.

The property requested to be zoned CF totals 51.7 acres. The CF district permits a variety of commercial uses.

The subject property is located within the study area of the *Salem Pike Land Use Plan*. The future land use map included in the plan recommends that the Rucker Donnell property develop as “Mixed Use Limited Planned Development,” which the plan defined as “All medium (3-8 dwelling units/acre) and high-density residential (greater than 8 dwelling units/acre); institutional; offices with a maximum 30% floor area ratio; and general farming.” The plan further defines Mixed Use as “Mixing of uses for future development is preferred along Salem Pike and for areas in close proximity to the intersection of a major arterial and at least a minor arterial thoroughfare. In preferring the mixing of uses at the appropriate locations, it is the recommendation of this plan that they involve a higher level than traditional development of master planning, design integration, pedestrian scale and amenities.”

Representatives for the applicants were in attendance during the meeting.

Mr. Kirt Wade made a motion to schedule a public hearing on September 7, 2016, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.

Annexation Plan of Services and annexation petition [2016-513] for approximately 109.5 acres located along New Salem Highway, Rucker Donnell Foundation applicant. Mr. Matthew Blomeley began by describing the subject property located along the northwest side of New Salem Highway just north of Rockvale Elementary School. The property is undeveloped and totals 106.2 acres. A written petition has been filed by the property owner requesting annexation. The requested property is not located within the City’s Urban Growth Boundary, and by itself, it is not contiguous with the existing City limits. In addition to the requested property, however, Staff has also included a total of 3.3 acres of New Salem Highway right-of-way in front of and

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north of the subject property in order to make the study area contiguous with the existing City limits. The total study area, including right-of-way, is 109.5 acres.

Staff and the applicant's representative have contacted Mr. Dement, whom is the owner of the property at 6006 New Salem Highway. Mr. Dements property is directly adjacent to the requested property; therefore, staff had reached out to ascertain whether or not he had any interest in being annexed. Mr. Dement met with Staff and requested not to be included with this annexation request at this time. Staff is preparing a plan of services, which would be ready for the Planning Commission's review prior to the public hearing. The property owner has also filed a request to have the property zoned RS-10 (Single-Family Residential District 10) simultaneous with annexation.

Representatives for the applicant were in attendance during the meeting.

Ms. Kathy Jones made a motion to schedule a public hearing on September 7, 2013, seconded by Mr. Kirt Wade. The motion carried by unanimous vote in favor.

Zoning application [2016-441] for approximately 109.5 acres located along New Salem Highway to be zoned RS-10 simultaneous with annexation, Rucker Donnell Foundation applicant. Mr. Matthew Blomeley began by describing the subject property located along the northwest side of New Salem Highway just north of Rockvale Elementary School. The property is undeveloped and totals 106.2 acres. The previous item was the annexation petition and plan of services. The applicant has requested a zoning classification of RS-10 (Single-Family Residential District) simultaneous with annexation.

The RS-10 zone allows the development of single-family residential lots of a minimum of 10,000 square-feet in area. Staff estimates that a parcel of this size could yield a maximum of approximately 350 single-family residential lots. By way of comparison, if the property was annexed with a zoning classification of RS-15 (Single-Family Residential District 15) with a minimum lot size of 15,000 square-feet, Staff estimates that the maximum lot yield would be

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approximately 230. The subject property is not located within the study area of the *Salem Pike Land Use Plan*.

Directly to the south of the requested property is mostly undeveloped tract with one single-family home and to the south of it is the Rockvale Elementary School, both of which are in the unincorporated County. Directly to the north there is a vacant tract and a large single-family residential parcel as well as the Blue Ribbon Estates single-family residential subdivision, all of which are located in the unincorporated County. There are several commercial uses across New Salem Highway in the unincorporated County, including a retail center anchored by a Dollar General, as well as some single-family residential uses, including the Clearidge single-family residential subdivision. Just to the northeast, across New Salem Highway, is undeveloped land located in the City limits and zoned CH (Commercial Highway).

Representatives for the applicant were in attendance for the meeting.

Mr. Kirt Wade made a motion to schedule a public hearing on September 7, 2016, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.

Zoning application [2016-438] for approximately 1.2 acres located along East Clark Boulevard to be rezoned from RS-15 to PRD (Cottages on Clark), Blue Sky Construction

applicant. Ms. Margaret Ann Green began by describing the subject property located north of East Clark Boulevard, just east of Sinking Creek. The subject property consists of one parcel which is undeveloped. The properties to the north and east are zoned RS-15 (Single-Family Residential District) and are the location of the East Clark and Northridge Estates single-family subdivisions. The properties to the south are zoned CM-R, OG-R and RM-16. The properties zoned RM-16 are the location of a daycare center and Brookview apartments.

The applicant has a contract to purchase this property and wishes to develop it much like an existing development, Generals Run, but at a much smaller scale. The proposed Cottages on Clark consist of 10 dwelling units on 1.2 acres, for a density of 8.3 dwelling units per acre. None of the units would have attached garages; parking would be provided in the parking lot.

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The planned development zoning also allows for exceptions from the Zoning Ordinance or Subdivision Regulations. The applicants have requested exceptions be made to the side setbacks for the proposed pavilion.

The Cottages at Clark program book had been provided with the agenda materials.

Mr. Clyde Rountree and Mr. Brian Burns were in attendance to represent the applicant. Mr. Rountree came forward stating this request was an appropriate application for this location.

Mr. Kirt Wade made a motion to schedule a public hearing on September 7, 2016, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Ms. Margaret Ann Green made known to the Planning Commission, recently the City Council had placed a moratorium on all rezoning requests for a RM-12 and RM-16 within Murfreesboro. The City Council members had requested for a study to be conducted that would provide them information on the RM-12 and RM-16 zone.

Zoning application [2016-439] for approximately 1.4 acres located along N Academy Street & North Spring Street to be rezoned from RD to PRD (Academy Place), Charles Yates applicant. Mr. Matthew Blomeley began by describing the subject property located along both sides of North Academy Street, along the north side of Elm Street, and along the east side of North Spring Street. It consists of five (5) existing parcels, two of which are developed with single-family residences. All five (5) parcels are currently zoned RD (Duplex Residential District). The applicant has requested to be rezoned to PRD (Planned Residential District) for a development called Academy Place.

The property on the east side of Academy is bounded on its north side by a small apartment development zoned RM-16 (Residential Multi-Family 16 District). Further to the north is a multi-family residential development zoned RD owned and operated by the Murfreesboro Housing Authority. To the south is an existing duplex zoned RD. To the east are several single-family

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residences along Courtland Street zoned RM-12 (Residential Multi-Family 12 District). The majority of the parcels adjacent to the portion of the property on the west side of Academy are zoned RD and are developed with single-family residences.

The PRD zoning proposes the development of 22 for-sale townhome units that would be developed under a horizontal property regime. A total of five (5) units are proposed to be located on the portion of the property on the east side of North Academy Street and seventeen (17) units are proposed to be located on the west side of North Academy Street. The units would be located close to the adjacent front property lines than they would be under traditional bulk zoning. The intent is to pull the homes close to the street and locate parking to the rear of the homes in order to create a more pleasing streetscape. Staff's concerns are the proximity of the homes to the public rights-of-way may have an impact on traffic sight distance. The applicant would need to confirm there would not be obstructions in the traffic sight distance triangle, prior to the public hearing.

Each of the units would consist of three stories, three-bedrooms, and a minimum of 1,700 square-feet of living space. The exterior materials for the fronts and sides of the buildings would consist of brick, stone, or fiber-cement siding. The rears of the buildings would consist of vinyl siding. Staff still has concerns regarding the architecture, specifically the design of the front porches and the sides of the buildings adjacent to Elm Street. Staff would like to continue working with the applicant on these issues prior to the public hearing. In addition, would welcome feedback on the architecture from the Planning Commission during the work session meeting. Each unit will contain a 1-car garage on the first level as well as a two (2) parking spaces in a driveway behind the units. Guest parking is also being provided. Because the development is relying on the garages to meet minimum parking

requirements, the applicant is committing, as a part of this plan, to restricting the primary use of the garages to vehicular parking. This will not only be a zoning requirement but part of the restrictive covenants as well.

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Mr. Blomeley stated the applicant should continue working with Staff on several issues concerning the elevations. For the past few months the City of Murfreesboro has been involved with a consultant team regarding the area known as the North Highland Study area. This property that is being presented will become part of the North Highland Study area for planning and be part of the land use map. Chairman Bob Lamb commented this property would become a catalyst for the area.

Mr. Clyde Rountree and Mr. Charles Yates were in attendance to represent the applicant. Mr. Rountree came forward stating they were introducing a new project that would benefit the area. In addition, these would not be apartments, they would be a for sale product.

Ms. Jones requested the applicant provide renderings and the proposed materials to be provided before the public hearing. Mr. Doug Young requested for a neighborhood meeting be conducted before a public hearing is scheduled. Mr. Young stated, the neighbors in the area would like to be included with this proposal in their neighborhood.

Mr. Doug Young made a motion to schedule a public hearing on October 5, 2016, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Proposed amendments to the sign ordinance regarding the addition of 2 additional types of signs, signs in easements, & delete height limitations on attached signs in the CBD [2016-803], City of Murfreesboro Legal Department applicant. Mr. David Ives began by describing Murfreesboro Legal Department and the Building and Codes Department have been working in conjunction to address a proposal to the Sign Ordinance amendments. The proposed changes would amend the ordinance to allow two additional types of signs, modify the definition of an "Attached sign," modify a prohibition as to certain "Attached signs," simplify the process of allowing a sign to be placed in a utility easement, delete the current height limitation on "Attached signs" in the CBD, and eliminate certain impractical requirements.

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Mr. Ives requested for the Planning Commission to conduct a public hearing and then formulate a recommendation to City Council.

Mr. Doug Young made a motion to schedule a public hearing on September 7, 2016, seconded by Mr. Kirt Wade. The motion carried by unanimous vote favor.

Staff Reports and Other Business

Mandatory Referral (2016-715) Lots 6, 7, & 9, Wright Bros., Saint Andrews Drive Subdivision (portion of property to be known as Lot 1 Autumn Woods Apartments Subdivision). Ms. Katie Noel began by describing the request to abandon two, 10' drainage easements and to abandon a portion of a detention area easement. The existing easements and a portion of another easement that are to be abandoned, are on the final plat entitled Section II, Wright Brothers Saint Andrews Drive Subdivision.

Ms. Noel made known the applicant had provided descriptions and an exhibit for staff to review. The applicant would be dedicating a new drainage easement with the Autumn Wood Apartment plat.

If approved by the Planning Commission, the request should be forward as a recommendation to City Council.

Mr. Kirt Wade made a motion to approve subject to all staff comments; and, recommend the request to City Council, seconded by Mr. Doug Young. The motion carried by unanimous vote in favor.

Mandatory Referral (2016-716) for the abandonment of Drainage Easement for Detention Area located along Southpointe Court within Lot 23, Southpointe Business Campus subdivision. Ms. Cey Chase began by describing the request would be to abandon an existing drainage easement for a detention area located within Lot 23 of Sec. 2, Southpointe Business Campus subdivision. The property owner has made the request; in which, the City Engineer has reviewed the request and is comfortable with the abandonment of the drainage easement. The

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necessity of a new 25-foot drainage easement must be dedicated and a new drainage system must be constructed within the new 25' drainage easement.

Continuing, Ms. Chase explained before final approval, the applicant would have to provide all required documentation and be recorded for City staff. This would include a legal description and an illustration of the property. If approved by the Planning Commission, staff would forward the recommendation to City Council.

Mr. Doug Young made a motion to approve subject to all staff comments, and forward as a recommendation to City Council, seconded by Mr. Kirt Wade. The motion carried by unanimous vote in favor.

Chairman Bob Lamb inquired if the Planning Commissioners were on target for the 2016, continuing education hours. Ms. Green made known, a TAPA Conference is scheduled in Knoxville on September 21-23, 2016. She invited those who were interested in accumulating continuing education hours, let her know if interested, she would provide the information for registration.

Chairman Bob Lamb congratulated Mr. Kirt Wade for his recent election as Murfreesboro City Councilman. This is the last Planning Commission meeting for Mr. Wade. Continuing, Chairman Lamb thanked Mr. Wade for his six years of service and dedication as a Planning Commissioner and as a Historic Commissioner.

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There being no further business the meeting adjourned at 2:55 p.m.

Chairman

Secretary

GW:cj