

**CITY OF MURFREESBORO
BOARD OF ZONING APPEALS**

Regular Meeting, November 21, 2016, at 1:00 p.m.
City Hall, 111 West Vine Street, Council Chambers, 1st Floor

A G E N D A

1. Call to order
2. Consideration of minutes for the regular meeting on October 26, 2016
3. New Business

Variance Requests

- a. **Application Z-16-066 by Mark Gilday of L & L Contractors representing Linda Stevens**, requesting a two (2) percent Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which allows a maximum lot coverage ratio of thirty (30) percent in the Single-Family Residential (RS-8) district, for property located at 312 North Maney Avenue.
- b. **Application Z-16-067 by Matt Taylor of SEC Inc. representing ASG Partners Limited Partnership**, making the following requests for property located in the Heavy Industrial (H-I) district located at 215 West Castle Street:
 - i. An eight (8) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a forty-two (42) foot front yard setback in the H-I district, for frontage along West Castle Street;
 - ii. A twenty-seven (27) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a forty-two (42) foot front yard setback in the H-I district, for frontage along Hickerson Drive;
 - iii. A twenty-two (22) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a forty-two (42) foot front yard setback in the H-I district, for frontage along Hillard Drive; and

iv. A thirty-seven (37) foot Variance from Section 25(E)(5) of the Murfreesboro Zoning Ordinance, which requires that an accessory structure in a commercial district comply with the minimum forty-two (42) foot front yard setback in the H-I district, for frontage along Hillard Drive.

4. Staff Reports and Other Business

5. Adjourn

Regular Meeting Minutes of the Murfreesboro Board of Zoning Appeals

October 26, 2016 – 1:00 P.M.
City Hall, Room 218

MEMBERS PRESENT

Davis Young, Chairman
Ken Halliburton, Vice-Chair
Frances Mosby
Tim Tipps
Julie King

MEMBERS ABSENT

STAFF PRESENT

Donald Anthony, *Principal Planner*
David Ives, *City Attorney*
Brenda Davis, *Recording Assistant*

Chairman Young called the meeting to order at 1:00 P.M.

Minutes from the September 28, 2016 regular meeting were approved as submitted.

Mr. Anthony provided the 2017 Board of Zoning Appeals Calendar and asked the Board Members to make changes or approve.

Ms. Mosby made a motion to approve the 2017 Board of Zoning Appeals Calendar as submitted. The motion was seconded by Ms. King and carried unanimously in favor.

New Business

Variance Requests

Application Z-16-060 by Tom and Kathy Fix, requesting a 1.7 percent Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which allows a maximum lot coverage of twenty-five (25) percent in the Single-Family Residential (RS-15) district, for property located at 2712 Hatteras Court.

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Mr. Anthony reviewed the application and the Staff comments contained in the BZA agenda package. Mr. Fix was present to answer questions.

Mr. Halliburton verified there were not setback variances and that the request was just for the footprint of the house.

Mr. Anthony agreed and said the request pertained only to the 25 percent cap.

Mr. Tom Fix and Kathy Fix came to the podium stating they have lived in the Reganwood Subdivision for the last 22 years. Mr. Fix said as both of them are moving into their retirement years, it has been their desire to build a custom home that is primarily on one level. Mr. Fix said it has been difficult in the City to find lots large enough to build a one-story house that also meets the minimum square footage required by the HOA. He said they purchased this lot in Wythrope Hall in February and have been working with James and Associates to design their custom home. Mr. Fix highlighted a few points for the BZA members to keep in mind. First, their design is fully within the setback requirements. Second, the livable square footage on the first level is 2,741 which meets the 2,700 minimum required by the HOA. He said some of the remaining square footage that is included in the land use intensity ratios are garages and covered front and back porches. He said they lose some square footage of the lot due to the lot being on the bulb of the cul-d-sac. He said both the developer, Chip Loyd and the HOA have approved their request as well as the variance request as a small 1.7 percent of the total lot square footage. Mr. Fix said most of the back property line backs up to the retention pond, so there will not be anything built behind them. Mr. Fix thanked the Board Members for listening and considering their request.

Chairman Young opened the public hearing. There being no one to speak for or against the request, Chairman Young closed the public hearing.

Ms. Mosby made a motion to approve a 1.7 percent Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which allows a maximum lot coverage of twenty-five (25) percent in the Single-Family Residential (RS-15) district, for property located at 2712 Hatteras Court. The motion was seconded by Mr. Halliburton and carried unanimously in favor.

Application Z-16-061 by Fred Francis of Fred Francis Builders LLP representing Andrew and Susanna Foster, requesting a five (5) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a minimum front yard setback of forty (40) feet in the Single-Family Residential (RS-15) district, for property located at 2207 Riverview Drive.

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Mr. Anthony reviewed the application and the Staff comments contained in the BZA agenda package. Mr. Francis was present to answer questions.

Mr. Fred Francis with Fred Francis Builders came to the podium. He said when they laid out the basement part of the home, they went on the pins that were there, adding the engineers used those same existing pins when they did some of their surveying. When they put it on a plat and started to analyze, the numbers weren't adding up. He said they went back out and resurveyed the front pins and found them to be approximately 5-feet farther forward. Mr. Francis said the lot is over 40 years old, and he was not sure how the pins got to where they were but they were already under construction when they found this.

Mr. Tipps verified the applicant was speaking of only one small corner.

Mr. Anthony agreed.

Mr. Frances also agreed it is only the right, front corner of the garage.

Chairman Young opened the public hearing. There being no one to speak for or against the request, Chairman Young closed the public hearing.

Mr. Tipps asked, as he is new to the Board, how has the BZA historically handled this type of situations like this.

Mr. Anthony said there have been a couple of times in his tenure where things were already constructed and that the Board has tended to be pretty lenient with those.

Mr. Ives agreed with Mr. Anthony, adding he has worked with the BZA for several years. He couldn't recall one of this nature where the variance was denied, especially since it is just a couple of feet inside a 40-foot setback. He said if this were a 10 or 20-foot encroachment, there might be more cause to be stiffer in considering it. He said one such as this has generally been approved.

Mr. Tipps made a motion to approve a five (5) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a minimum front yard setback of forty (40) feet in the Single-Family Residential (RS-15) district, for property located at 2207 Riverview Drive. The motion was seconded by Mr. Halliburton and unanimously approved.

Application Z-16-062 by George Huddleston, Jr., requesting a six (6) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a minimum

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rear yard setback of thirty (3) feet in the Single-Family Residential (RS-15) district, for property located at 3115 St. Johns Drive.

Mr. Anthony reviewed the application and the Staff comments contained in the BZA agenda package. Mr. Huddleston was present to answer questions.

Mr. George Huddleston came to the podium and said he has talked to the neighbors, trying to make sure everyone in the area was considered and taken care of. He said the Breckenridge HOA Architectural Review Committee has approved the request pending the Board of Zoning Appeals approval.

Chairman Young opened the public hearing. There being no one to speak for or against the request, Chairman Young closed the public hearing.

Ms. King made a motion to approve a six (6) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a minimum rear yard setback of thirty (30) feet in the Single-Family Residential (RS-15) district, for property located at 3115 St. Johns Drive. The motion was seconded by Mr. Halliburton and carried unanimously in favor.

Application Z-16-065 by Clyde Rountree of Huddleston-Steele Engineering Inc. representing Mountain Star Properties LLC, making the following requests for property in the Highway Commercial (CH) district located along the east side of John R. Rice Boulevard:

- i. Amendment to a previously-granted Special Use Permit allowing a Self-Service Storage Facility in the CH district:
- ii. A Variance from Section 27(K)(3)(a) of the Murfreesboro Zoning Ordinance, which requires a three (3) foot minimum landscape strip adjacent to the base of a building along the building's sides; and
- iii. A Variance from Section 27(J) of the Murfreesboro Zoning Ordinance, which requires an eight (8) foot perimeter planting yard on a property with an area greater than two (2) acres and less than five (5) acres.

Mr. Anthony reviewed the application and the Staff comments contained in the BZA agenda package. Mr. Anthony provided color renderings at the meeting.

Ms. King verified there was not room to move the building forward on the side of the building fronting John Rice Boulevard.

Mr. Anthony said no because there is a broad setback there, then there are parking spaces and required parking aisles, so there is not much to work with on that side. He

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said it is a difficult lot to work with as it is the remnant of the Texas Roadhouse lot. Mr. Anthony said the lot tapers down and becomes difficult to work with.

Mr. Tipps verified the applicants revised the plans to reduce the structure from four stories to three stories, then increased the width of the building which causes this situation.

Mr. Anthony said this situation appeared on the previous plan back in July. Mr. Anthony asked the applicant at that meeting if he would be able to respect that perimeter planting yard. He said the applicant, at the time said yes. Mr. Anthony said that when the applicants went back and started revising the plans, they realized that wasn't going to work.

Mr. Tipps said he remembered having discussions about this but they went ahead and expanded the footprint in spite of that.

Mr. Anthony said they did expand the footprint but does not know if the footprint expansion affected this corner preliminary planting yard. He thinks that issue was already there.

Mr. Anthony said because the building has changed, there will need to be separate motions and that the Board would need to reapprove those approved in July if it chose to approve the project.

Mr. Enoch Jarrell with Huddleston-Steele Engineering came to the podium. He said Mr. Clyde Rountree represented this applicant back in July but is currently meeting with City Staff on another project and unable to attend today's meeting. Mr. Jarrell said he is the Civil Engineer involved with the project. Mr. Jarrell said the reason they were planning to go with the 4-story building is because they have several of these around the country. He said they found out from a construction standpoint it would be cost prohibitive to go to a 4-story building. He said the site was originally more to the north, near where lot 4 is today. They shifted the site closer to the Texas Roadhouse building because they are buying the entire property so they will have a vacant lot in the future. Mr. Jarrell said that along the front of the lot, there is 15-feet from the right-of-way to the property line that allows a 5-foot sidewalk to be built and then a 10-foot grass strip, which is providing more than the Texas Roadhouse is up front. He said the Texas Roadhouse had a 10-foot but they are putting some sidewalk in. Mr. Jarrell said the applicants are providing more green up front. He said there is just one pinch-point at the back, which was discussed before. He also pointed out they are adjacent to the interstate. He said that one pinch-point where they are asking for the variance is 100 feet from there to the off-ramp and 300 feet from there to the interstate. Mr. Jarrell said from a visibility standpoint, viewing from the interstate, you aren't going to know if it is 3-foot or 5-foot along the rear. He said they are providing more than the 8-foot

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minimum in other places to offset that. The applicant would like to have a 30-foot drive aisle around the building but they could reduce it to 27. He said that is the reason for the request, just in that one area to allow him the wider drive aisle. His alternative would be a 27-foot drive in the area, but he would like to have it 30-foot drive aisle in that area.

Ms. King asked Mr. Jarrell his response to the City's suggestion to having a smaller building.

Mr. Jarrell said the building is 35 percent of the lot. He was not sure what the maximum lot building coverage is but doesn't feel the building is too big for the lot. He said it is a bigger footprint but the same square footage as they had before; it is just 3-stories instead of 4-stories. He said there is more than 15 percent landscaping and greenspace on-site with the building being about 35 percent of the lot area.

Mr. Anthony said there is no maximum lot coverage on the CH zone. Planning staff's objection is based on the bulk of the building with the fact that the Board has already approved one landscape variance to make this project work on this site. He said Planning staff's perspective is that we reach a point where we start narrowing the landscaping down until there is not really a whole lot left.

Mr. Jarrell said he does not disagree with that if you were out front or on the sides. He said they are providing a side landscape buffer they really didn't have before. He said previously it was a shared drive and they still have that, but they are providing an 8-foot landscape strip they didn't have before on the sides. He said they really tried to enhance the sides and front, stating the rear next to the interstate is never going to be seen anyway. Mr. Jarrell said he understands the Staff's and Board's position on that and their alternative would be to narrow that drive to 27-feet in that area instead of reducing the size of the building.

Ms. King asked if there would be a landscape strip on the Texas Roadhouse side as well as the side where there is an empty lot or just on the side where there is an empty lot.

Mr. Jarrell said there will be a landscape strip on both sides of the building which they did not have before because of the shared drive.

Chairman Young opened the public hearing. There being no one to speak for or against the request, Chairman Young closed the public hearing.

Ms. King asked what type of buffer is required for this space.

Mr. Anthony said there is no buffering required because all the surrounding property is Highway Commercial so it is a perimeter landscaping strip. The perimeter landscaping strip is 8-feet all the way around the site.

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Ms. King verified no types of plantings were required.

Mr. Anthony said not anything other than what is typical and customary with perimeter landscaping yards, which are not as intense as an actual buffer like the Class A – E buffers that are in the zoning ordinance. He said those buffers are used more between incompatible uses.

Mr. Halliburton verified the applicants weren't applying to eliminate the perimeter buffering but just applying to reduce the amount of space the landscaping would be put in.

Mr. Anthony agreed, stating they are applying for a reduction from 8-feet to 5-feet in that corner.

Mr. Halliburton commented that he gets both sides of this. He gets where the City is coming from with respect to how much is too much. He said on the applicant's side for where this is going to be placed, it does not matter. Mr. Halliburton wanted to hear everybody else's opinion but he was not necessarily against this application.

Ms. King agreed with Mr. Halliburton stating in a certain set of circumstances she would be opposed to reducing that be 3-feet if it was in a different area, closer to the road, another building or another type of zoning. She said in this circumstance, she is willing to let those 3-feet go. She said she wouldn't mind a tree or something bigger be planted there.

Ms. Mosby said since it is all commercial, she doesn't have a problem with it at all.

Mr. Halliburton made a motion to approve an amendment to a previously-granted Special Use Permit allowing a Self-Service Storage Facility in the CH district. The motion was seconded by Ms. Mosby.

Mr. Tipps asked for clarification on what the amendment was for, asking if it was due to a change.

Chairman Young said the amendment was because the applicant changed something previously approved.

The motion carried unanimously in favor.

Ms. Mosby made a motion to approve a Variance from Section 27(K)(3)(a) of the Murfreesboro Zoning Ordinance, which requires a three (3) foot minimum

landscape strip adjacent to the base of the building along the building's sides. The motion was seconded by Mr. Halliburton and carried unanimously in favor.

Ms. Mosby made a motion to approve a Variance from Section 27(J) of the Murfreesboro Zoning Ordinance, which requires an eight (8) foot perimeter planting yard on a property with an area greater than two (2) acres and less than five (5) acres. The motion was seconded by Mr. Halliburton.

Mr. Tipps verified the plans he brought today they will have landscaping on three sides (front and two sides) that complies with the requirements of zoning. He wanted to clarify that this motion is only for the northeast corner that fronts the interstate.

Mr. Anthony said yes, it would be just for the corner shown in the exhibit.

Mr. Tipps verified if they make any other changes, they would have to come back.

Mr. Anthony said yes.

The motion was unanimously approved.

Special Use Permit Requests

Application Z-16-063 by Wayne Moore of Boy Scout Troop 197, requesting a Special Use Permit to allow a Temporary Vendor (outdoor sales of Christmas trees) establishment on property in the Highway Commercial (CH) district located at 1807 Memorial Boulevard.

Mr. Anthony reviewed the application and the Staff comments contained in the BZ agenda package. If the Board approves the request, Staff recommends the following conditions:

- 1) The applicant shall submit a \$500 deposit to the City of Murfreesboro prior to opening for business.
- 2) The site shall pass an electrical safety inspection prior to opening for business. The applicant shall purchase an electrical permit from the Building and Codes Department in order to obtain this inspection.
- 3) All temporary structures shall meet the minimum building setback requirements for the CH zoning district.

Mr. Moore was present to answer questions.

Chairman Young opened the public hearing. There being no one to speak for or against the request, Chairman Young closed the public hearing.

Ms. King made a motion to approve a Special Use Permit to allow a Temporary Vendor (outdoor sales of Christmas trees) establishment on property in the Highway Commercial (CH) district located at 1807 Memorial Boulevard with the following conditions:

- 1) The applicant shall submit a \$500 deposit to the City of Murfreesboro prior to opening for business.**
- 2) The site shall pass an electrical safety inspection prior to opening for business. The applicant shall purchase an electrical permit from the Building and Codes Department in order to obtain this inspection.**
- 3) All temporary structures shall meet the minimum building setback requirements for the CH zoning district.**

The motion was seconded by Mr. Halliburton and carried unanimously in favor.

Application Z-16-064 by Wayne Moore of Boy Scout Troop 197, requesting a Special Use Permit to allow a Temporary Vendor (outdoor sales of Christmas trees) establishment at an institutional group assembly use (church) on property in the Single-Family Residential (RS-15) district located at 2511 New Salem Highway.

Mr. Anthony reviewed the application and the Staff comments contained in the BZ agenda package. If the Board approves the request, Staff recommends the following conditions:

- 1) The applicant shall either submit a \$500 deposit to the City of Murfreesboro prior to opening for business or provide a written statement from Fellowship Church indicating that the church will take responsibility for clean-up of the site.
- 2) The site shall pass an electrical safety inspection prior to opening for business. The applicant shall purchase an electrical permit from the Building and Codes Department in order to obtain this inspection.
- 3) All temporary structures shall meet the minimum building setback requirements for the RS-15 zoning district.

Mr. Moore was present to answer questions.

Chairman Young opened the public hearing. There being no one to speak for or against the request, Chairman Young closed the public hearing.

Ms. Mosby made a motion to approve a Special Use Permit to allow a Temporary Vendor (outdoor sales of Christmas trees) establishment at an institutional group assembly use (church) on property in the Single-Family Residential (RS-15) district located at 2511 New Salem Highway with the following conditions:

- 1) The applicant shall either submit a \$500 deposit to the City of Murfreesboro prior to opening for business or provide a written statement from Fellowship Church indicating that the church will take responsibility for clean-up of the site.**

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- 2) **The site shall pass an electrical safety inspection prior to opening for business. The applicant shall purchase an electrical permit from the Building and Codes Department in order to obtain this inspection.**
- 3) **All temporary structures shall meet the minimum building setback requirements for the RS-15 zoning district.**

The motion was seconded by Mr. Tipps and carried unanimously in favor.

Staff Reports and Other Business

Mr. Anthony distributed an update on Board members' continuing education hours, which are required by state law. He said that if anyone has not yet obtained all of their hours for the year, there are two more opportunities in the Legal Department for Webinars. He said there are also recorded Webinars available if any Board members need more hours to meet the state requirement.

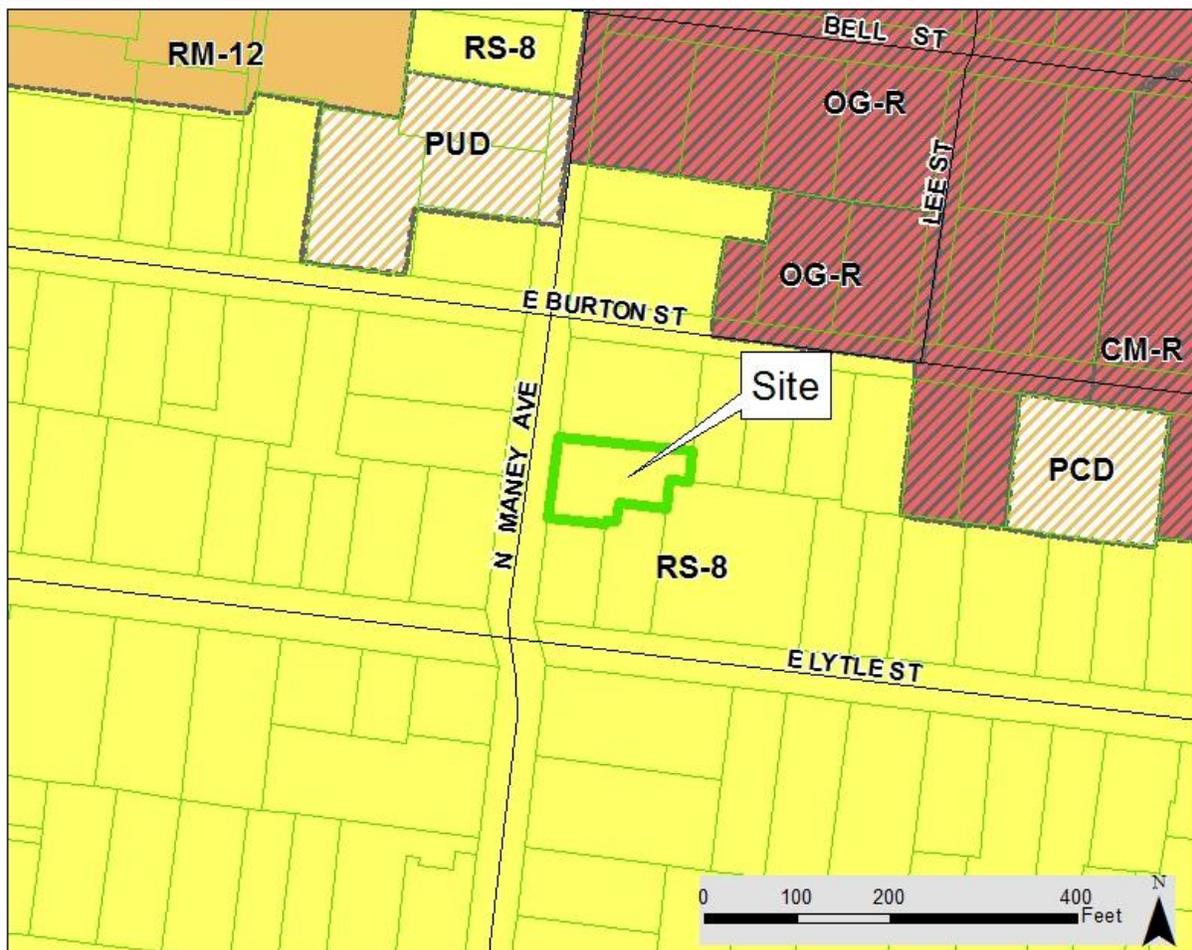
The meeting adjourned at 1:40 P.M.

CHAIRMAN

SECRETARY

**MURFREESBORO BOARD OF ZONING APPEALS
STAFF REPORT
NOVEMBER 21, 2016**

Application: Z-16-066
Location: 312 North Maney Avenue
Applicant: Mark Gilday of L & L Contractors representing Linda Stevens
Zoning: Single-Family Residential (RS-8) District
Request: A two (2) percent Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which allows a maximum lot coverage ratio of thirty (30) percent in the Single-Family Residential (RS-8) district



Request Overview

The applicant, Mark Gilday of L & L Contractors representing Linda Stevens, wishes to construct a new 416 square foot garage behind an existing single-family house located at 312 North Maney Avenue. The property is zoned RS-8. The total area of the subject property is 10,503 square feet. Per Chart 2 of the Murfreesboro Zoning Ordinance, maximum lot coverage (defined as “the percentage of lot area occupied by the ground area of principal and accessory buildings on such lot”) in the RS-8 district is 30 percent.

The property presently includes three structures: a 1,940 square foot house; a 950 foot accessory structure (former commercial business); and a 324 square foot garage. The existing total lot coverage is 3,214 square feet or 30.6 percent.

The applicant intends to remove the existing garage and replace it with a 416 square foot garage. The proposed garage’s dimensions would be 16 feet in width and 26 feet in depth. With the addition of the proposed garage, the total lot coverage would be 3,306 square feet or 31.5 percent. The applicant seeks a Variance from the 30 percent lot coverage maximum to allow the two percent (rounded up from 1.5) overage.

Staff Comments

The existing garage is situated near the northeastern corner of the subject property behind the existing house and abuts the northern property line. Section 25 of the Zoning Ordinance requires that accessory structures be located a minimum of five feet from all side and rear property lines. A portion of the existing garage encroaches into the five-foot accessory building setback, making the existing garage a nonconforming structure. The applicant wishes to remove the 324 square foot existing garage and replace with a slightly larger 416 square foot garage. The proposed garage would be located in the same general area as the existing garage; however, as shown on the attached site layout, the proposed garage would not encroach into the accessory building setbacks. While the 92 square foot increase in garage size would increase total lot coverage from 30.6 percent to 31.5 percent, the setback encroachment would be resolved.

In the attached request letter, the applicant contends that the irregular shape of the property constitutes a *practical difficulty* and an *unusual characteristic*. The applicant also contends that the practical difficulties are *not self-created*. The applicant indicates that the proposed garage would be constructed in such a way that it would maintain the historic character of the house. Further, per the request letter, the garage would improve the appearance of the property and increase the amount of space between structures on the applicant’s property and the neighboring property to the north. If the Board approves the Variance request, the garage will be reviewed by the Historic Zoning Commission, which will determine whether the design of the structure is appropriate for the area.

The applicant will be in attendance to answer any questions that the Board may have.

Attached Exhibits

1. BZA Application
2. Applicant's Request Letter
3. Site Photographs
4. Applicant's Supporting Materials

City of Murfreesboro

BOARD OF ZONING APPEALS

HEARING REQUEST APPLICATION

Location/Street Address: 312 North Marey Ave
Tax Map: 91L Group: P Parcel: 25 Zoning District: RS-8

Applicant: Mack Gilday E-Mail: MGilday@LandContractors.com
Address: 25 S public sq Phone:
City: Murfreesboro State: TN Zip: 37130

Property Owner: Linda M Stevens
Address: 312 North Marey Ave Phone: 615-691-3033
City: Murfreesboro State: TN Zip: 37130

Request: Rear Set back Variance
Maximum Lot Coverage Variance
Zoning District: RS-8

Applicant Signature: *[Signature]* Date:

Received By: B. Davis Receipt No.: 22767
Application #: Date: 11-2-16

Murfreesboro
Board of
Zoning Appeals



T E N N E S S E E

HEARING APPLICATION
AND
GENERAL INFORMATION

Letter of Intent

Application for variances for

312 N Maney Ave, Murfreesboro TN 37130

November 1, 2016

City of Murfreesboro

Board of Zoning and Appeals

111 West Vine St

Murfreesboro, TN 37130

This letter is written to provide an explicit typewritten statement as to the nature and intent of the variances that are being requested by L&L Contractors LLC on behalf of Linda Stevens for the property located at 312 N Maney Ave. Murfreesboro, TN 37130.

Purpose of Request:

Home owner currently has a detached garage that is approx. 12'x27' that is located right on the property line that is in disrepair and is currently not able to be used as a garage that a car can be parked in. We would like to remove this existing garage and build a 16'x26' functional garage and a concrete driveway leading up to the new garage, that is currently a gravel driveway.

Our Variance Request:

Our request is for a variance for the rear setback to be reduced to a 15' setback instead of the 20' setback that the property is currently zoned for. We are also requesting a variance to increase the maximum lot coverage. The lot currently

has 42% lot coverage and we would ask for approval to have it increased to 55% lot coverage that would also include the new concrete driveway.

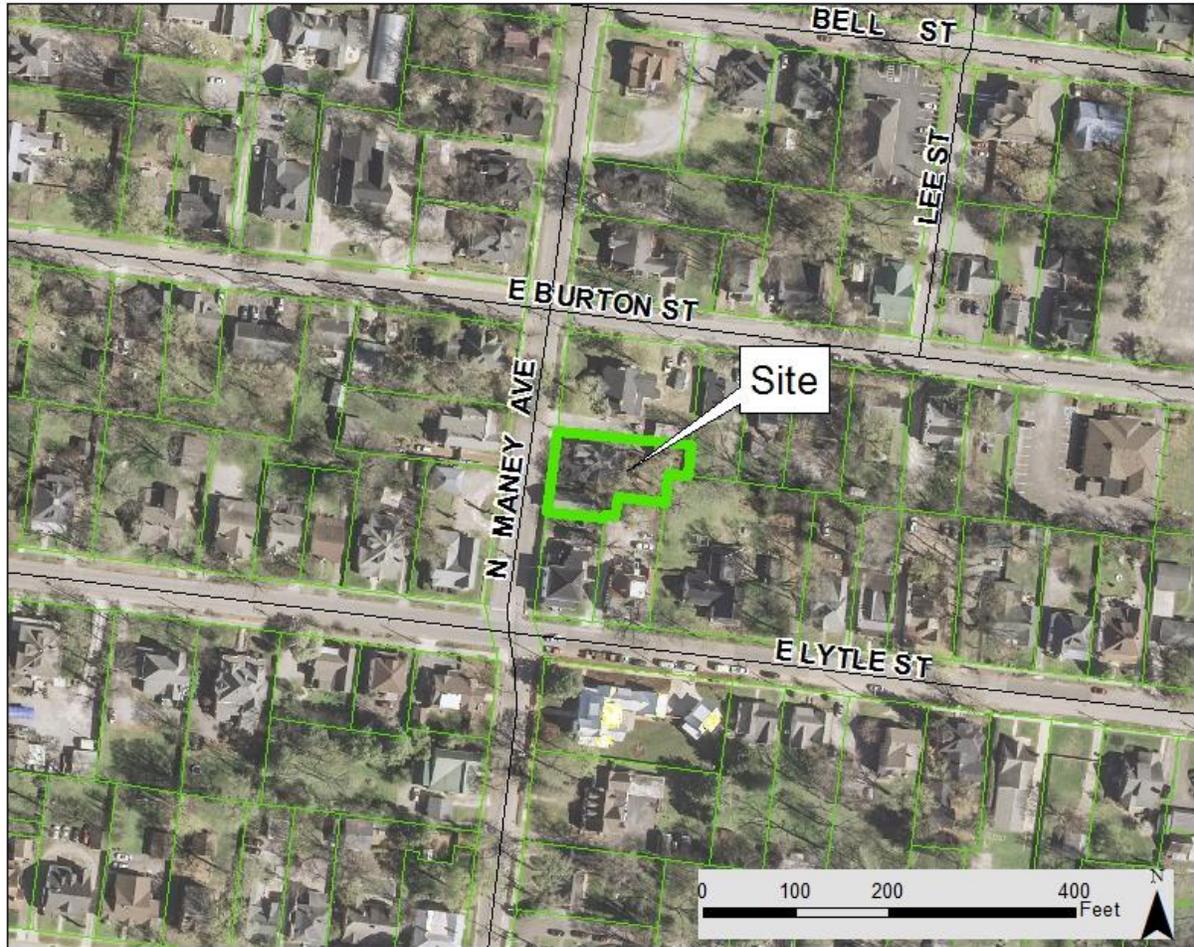
Due to the irregular shape of the property and the position of the house and hardscape features in the back yard the rear setback will be difficult to achieve due to the angle needed for the driveway to enter the new garage.

Due to the irregular shape of the property and there being 3 buildings on the lot with 2 of built directly on the property line. This lot includes the main house, historic store and a garage/shed, the building layout and the way the property was divided in the past in an irregular lot is uncommon in the surrounding areas. The lot is currently over the zoned maximum lot coverage by approx. 12% or 42% total. Our request is to be able to remove the garage/shed and to build a slightly larger garage that will maintain the historic look of the existing. The current garage/shed is built directly on the property line and we would move it 5' off the property line to meet the current setback requirements and maintain the same setback of 15' to the rear property line as the current garage. The new building would only add 94 sq. ft. of added building on the lot and would allow the building to be used by the homeowner. Our request is to also pour a new concrete driveway leading up to the new garage in place of the current gravel driveway.

The lot shape and size has not been changed since the owner purchased the property with all 3 building on the lot.

The proposed building and driveway will not encroach or infringe on any neighboring properties, nor would not impose any hardship on any neighbors, nor would it create a situation where any neighbor's quality of life, property value, or peaceful co-existence would be negatively affected. Quite the contrary, the proposed Variances will update and improve the overall look and appeal of the property and will create more space between neighbor's structures.

312 North Maney Avenue
Site Photographs



312 North Maney Avenue, aerial photograph.



312 North Maney Avenue, aerial photograph. Existing garage has blue/green roof and is visible on upper right-hand (northeast) corner of property.



312 North Maney Avenue, view of subject property taken from North Maney Avenue looking east. The garage is present on the left-hand (north) side of the photo. The northernmost wall of the existing commercial structure is visible on the right-hand (south) side of the photo.



312 North Maney Avenue, view of existing garage taken from North Maney Avenue looking to the east. The existing garage is visible in the center of the photo (beyond the white car). Note that a covered carport belonging to the neighboring property is situated approximately two feet from the applicant's existing garage.

Notes:

- 1.) Parcel numbers shown thus (00) pertain to Property Map 91L, Group P.
- 2.) Property subject to any and all findings of a current and accurate title search. No title report furnished to this surveyor prior to survey.
- 3.) Utilities not checked. In Tennessee it is a requirement of the "Underground Utility Damage Prevent Act" that anyone who engages in excavation must notify all known utility owners. Tennessee One-Call System #1-800-351-1111 or 811. Utilities that may affect this property may be subject to one or more easements. Owners should contact the appropriate utility providers to locate utilities and stake the exact location or any easements.
- 4.) This survey meets or exceeds the requirements of a Category 1 Urban and Subdivision Land Survey, as per the standard of practice. The Ratio of Precision of the undisturbed survey is greater than 1:10,000, or does not exceed 1/10 of a foot of positional error at any corner.
- 5.) Bearing system derived from deed.
- 6.) Deed References: Record Book 1343, Page 1452, R.O.R.C., TN.

Total Area
0.24 Acres
10,503 Sq. Ft.

Impervious Surface Area Calculations:

Existing Surface Area:
House 1940 S.F.
Old Stone 950 S.F.
Misc.(Sidewalk, ect.) 1170 S.F.

Total = 4,060 Sq. Ft. - 39%

Proposed Surface Area:

Garage 416 S.F.
Concrete Drive 1250 S.F.
Total = 1666 Sq. Ft. - 16%

Total Impervious Surface Area:

5726 Sq.Ft. - 55%

Jim McAleer--Surveyor
6395 Highway 109 North
Lebanon, Tennessee 37087
615-513-5302



"This property is not located in a FEMA-FIRM Special Flood Hazard Area as shown on Map 47149D0266H, effective date January 2, 2007."



(1)
Herold Shackelford
DB. 293, Pg. 316

(2)
Evelyn B. Shackelford
DB. 321, Pg. 134

(22)
Nabil W. Wokid
DB. 312, Pg. 335

(23)
Red Sills, Etux
DB. 630, Pg. 727

(24)
Frederick E. Amy Centile
RB. 171, Pg. 2558

- Legend**
- IPF = Iron Pin Found
 - IPS = Iron Pin Set
 - Mon(F) = Marker Found
 - OHL = Overhead Line
 - PP = Power Pole
 - MH = Manhole
 - MBSL = Minimum Building Setback Line

Site Plan

of
312 North Maney Avenue
Murfreesboro, Rutherford County, Tennessee 37130
Property Map 91L, Group P, Parcel 25
for
Linda M. Stevens

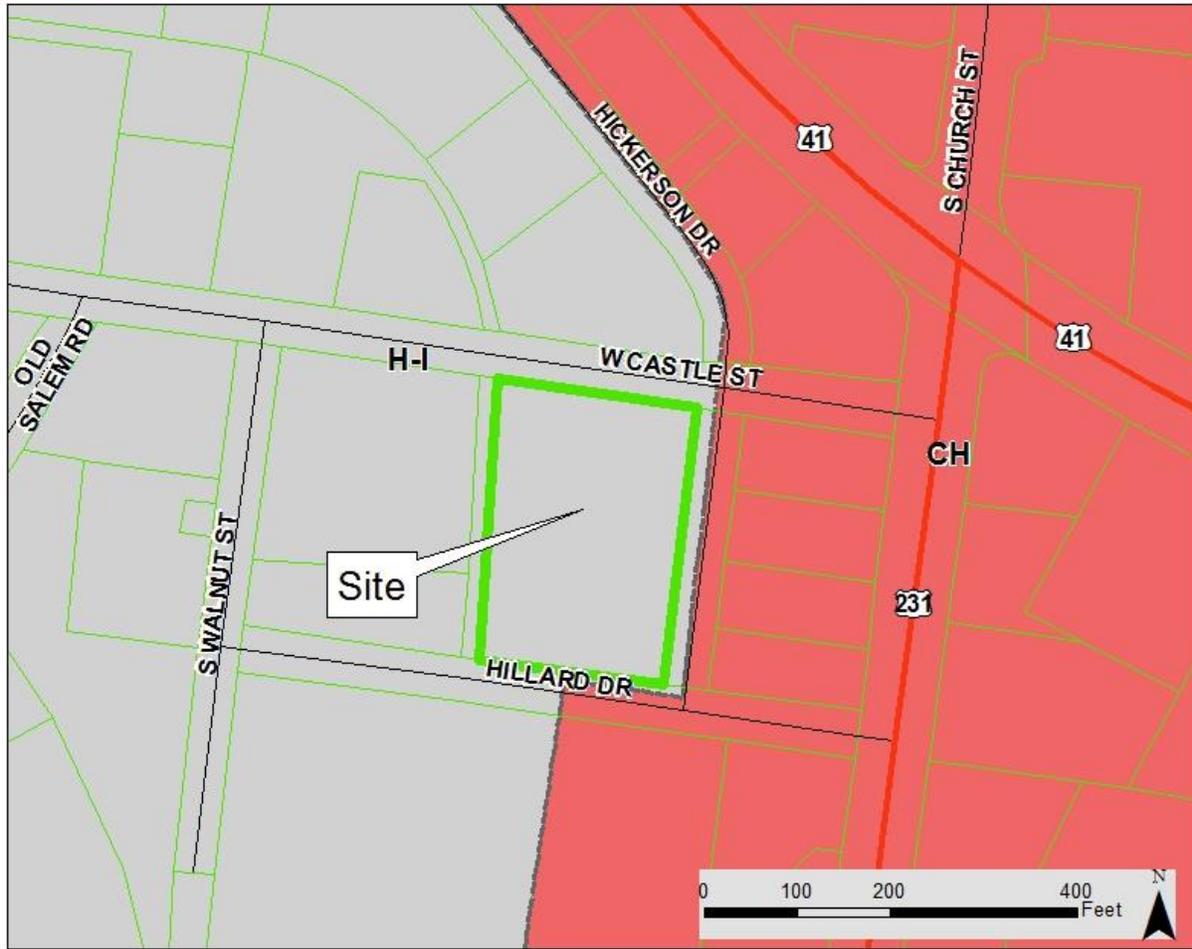
Scale: 1" = 20'

Revised 10/31/16
October 30, 2016

Job No. 070-16

**MURFREESBORO BOARD OF ZONING APPEALS
STAFF REPORT
NOVEMBER 21, 2016**

- Application:** Z-16-067
- Location:** 215 West Castle Street
- Applicant:** Matt Taylor of SEC Inc. representing ASG Partners Limited Partnership
- Zoning:** Heavy Industrial (H-I) District
- Requests:**
1. An eight (8) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a forty-two (42) foot front yard setback in the H-I district, for frontage along West Castle Street;
 2. A twenty-seven (27) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a forty-two (42) foot front yard setback in the H-I district, for frontage along Hickerson Drive;
 3. A twenty-two (22) foot Variance from Chart 2 (Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios) of the Murfreesboro Zoning Ordinance, which requires a forty-two (42) foot front yard setback in the H-I district, for frontage along Hillard Drive; and
 4. A thirty-seven (37) foot Variance from Section 25(E)(5) of the Murfreesboro Zoning Ordinance, which requires that an accessory structure in a commercial district comply with the minimum forty-two (42) foot front yard setback in the H-I district, for frontage along Hillard Drive.



Request Overview

The applicant, Matt Taylor of SEC Inc. representing ASG Partners Limited Partnership, wishes to construct a new 26,950 square foot commercial structure at 215 West Castle Street. The property is zoned H-I and has street frontage along three sides: West Castle Street on the north, Hickerson Drive on the east, and Hillard Drive on the south. On the west, the subject property is bounded by CSX railroad right-of-way. Along each of the three street frontages, the minimum required front yard setback is 42 feet. Along the railroad right-of-way, the minimum required side yard setback is ten feet.

The proposed structure would encroach into the 42-foot front yard setback along all three street frontages. Thus, the applicant requests setback Variances of eight feet along West Castle Street, 27 feet along Hickerson Drive, and 22 feet along Hillard Drive. Additionally, because a dumpster would lie within the front yard setback along Hillard Drive, a 37-foot Variance from Section 27(E)(5) of the Zoning Ordinance would be necessary as well; Section 27(E)(5) requires that accessory structures in a commercial district comply with the district's standard setbacks.

Staff Comments

The subject property has a width of approximately 200 feet and a depth of approximately 300 feet. The attached site plan shows the proposed structure situated on the eastern two-thirds of the property and a driveway with access on both West Castle Street and Hillard Drive situated on the western portion of the property. The driveway would serve 55 parking spaces; an additional ten spaces would lie adjacent to the building along the West Castle Street frontage.

An existing structure with a footprint similar to the proposed structure currently occupies the subject property. The existing structure encroaches into the required front yard setbacks along all three street frontages. Staff compared aerial photographs of the existing structure to the applicant's site layout. The proposed structure does not appear to increase any of the existing setback encroachments.

Staff notes that the Historic Bottoms planning study—currently underway—is likely to include a recommendation that structures in this area be located closer than 42 feet to the street. New large-scale industrial development is not anticipated in the area surrounding the subject property in the future. Therefore, broad front setbacks may not be appropriate, especially if the area develops into a more compact and walkable neighborhood. Both the Historic Bottoms Steering Committee and the majority of citizens attending the various public events related to the study have indicated strong support for repurposing the area into an urban neighborhood. A draft version of the Historic Bottoms long-range study should be completed and presented to the Planning Commission in December 2016 or January 2017.

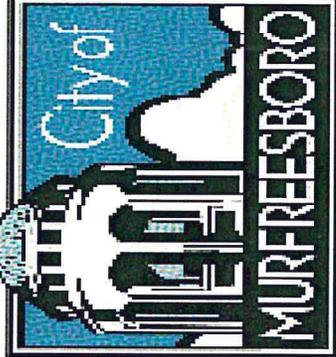
In the attached request letter, the applicant contends that having street frontage on three sides of the property poses a *practical difficulty* and constitutes an *unusual characteristic*. Further, because the property was configured prior to the applicant purchasing it, the situation was *not self-created*. Staff supports the aesthetic improvements that the project—if approved—would bring to the subject property. Ultimately, the Board must determine whether the requested Variances are warranted.

Each of the four Variance requests will require a separate vote. The applicant will be in attendance to answer any questions that the Board may have.

Attached Exhibits

1. BZA Application
2. Applicant's Request Letter
3. Site Photographs
4. Applicant's Supporting Materials

**BOARD OF ZONING APPEALS HEARING APPLICATION
AND GENERAL INFORMATION**

Murfreesboro
 Board of
 Zoning Appeals
 NOV 22 2016
 BY:

 T E N N E S S E E
 HEARING APPLICATION
 AND
 GENERAL INFORMATION

City of Murfreesboro BOARD OF ZONING APPEALS	HEARING REQUEST APPLICATION
--	--

Location/Street Address: <u>HILLARD + W. CASTLE</u>	
Tax Map: <u>102C</u>	Group: <u>E</u> Parcel: <u>8.00</u> Zoning District: <u>H-I</u>

Applicant: <u>SEC, Inc c/o Matt Tyb E-Mail: mtylor@sec-civil.com</u>	
Address: <u>850 Middle TN Blvd</u>	Phone: <u>615-890-7901</u>
City: <u>Murfreesboro</u>	State: <u>TN</u> Zip: <u>37129</u>

Property Owner: <u>ASG Partners Limited Partnership</u>	
Address: <u>5126 Miller Ln</u>	Phone: <u>615-867-6789</u>
City: <u>Christiana</u>	State: <u>TN</u> Zip: <u>37037</u>

Request: <u>Reduction in front setback on 3 sides</u>
Zoning District: <u>H-I</u>
Applicant Signature: <u>[Signature]</u> Date: <u>11/2/16</u>

Received By: <u>B. DAVIS</u>	Receipt No.: <u>22766</u>
Application #:	<u>11-2-16</u>



SITE ENGINEERING CONSULTANTS

Engineering • Surveying • Land Planning
Landscape Architecture

850 Middle Tennessee Blvd, Murfreesboro, TN 37129
www.sec-civil.com • 615-890-7901 • fax 615-895-2567

November 1, 2016

Mr. Robert Lewis
Planning & Engineering Department
City of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37133

RECEIVED
NOV 02 2016
BY:

Re: Zoning Variance Application
Outpost Armory
W. Castle Street
Murfreesboro, TN

Dear Robert,

On behalf of our client, ASG Partners Limited Partnership, we are pleased to submit a variance request for the property listed above to your office for consideration at the November 21, 2016 BOZA meeting. We held our Pre-Application Conference on August 23, 2016. In that meeting, we identified the need for variances on this site. As required within the submittal application, we have enclosed the following items for your review and consideration of this submittal.

- 6 sets of Site Plans
- BZA Application

Pursuant to Section 10 – Variances of the City of Murfreesboro, TN Zoning Ordinance in regards to the above noted project, the following information should fulfill the needed application submittal request.

(d) Procedure

- a) *Name, address, and telephone number of the applicant*
ASG Partners Limited Partnership
5926 Miller Lane
Christiana, TN 37037
- b) *Nature and extent of the applicant's interest in the property for which a variance is requested.*
The Outpost Armory is redeveloping the property for a new facility.
- c) *A plot plan showing the dimensions of the property for which a variance is requested.*
Included with this submittal are 6 copies of selected sheets from the Project.

- d) *The street address and legal description of the property for which a variance is requested.*
The proposed site is located along the west side of Hickerson Drive and south side of West Castle Street and north side of Hillard Drive. The overall property can be referenced as Map Number 102C, Group E, Parcel 08.00.
- e) *Zoning classification of the property for which a variance is requested.*
Current zoning of the property is HI (Heavy Industrial).
- f) *A statement of the exact variance sought and section of this article from which a variance is requested.*
From the front setback requirements of the HI district.
- g) *A statement of the purpose for the requested variance and the intended development of the property if the variance is granted.*
The variance requests the proposed building as submitted. The submitted plans respect the existing building setbacks except for the dumpster. The proposed building is designed to be no closer to the street than the existing building currently is located. The dumpster is approximately 15.5 feet closer but is fully enclosed with a masonry wall and is screened further with landscaping.
- h) *If a use variance is sought, a statement setting forth the reason why a variance and not a zoning amendment is appropriate and stating whether the applicant previously sought a zoning amendment for such property, and if so, the disposition of the request for such amendment.*
No use variance is requested.
- i) *Unless otherwise modified by the zoning administrator, in accordance with standards established by said board in rules published from time to time, a vicinity map showing the property, which is the site of the requested variance and all parcels of property within a five hundred – foot radius if such property is located within the city. Such vicinity map shall show any and all streets, road or alleys, and shall indicate the owner’s name and dimension of each parcel of property shown.*
A vicinity map has been included with this submittal.

(e) Standards and proof required for variances

(2) Bulk variances and other variances

- a) *Practical difficulties. The narrowness, shallowness or shape, topography or other condition of the land is such that it is extraordinarily difficult to comply with the generally applicable bulk or other regulations of the zoning classification for the property.*
It would be extraordinarily difficult to be in compliance due to the fact that the site is surrounded on three sides by public right-of-ways which requires front setbacks on all three of those sides.

The proposed building has been located in the same location as the existing building which creates design opportunities to address the street with the building as well as pedestrian and landscape features rather than have parking sited on the street.

- b) *Unusual characteristics of the subject property. The property is unusual in that it has unusual physical features compared to the other property located in the same zoning district.*
Most properties in this zoning district do not have frontage on 3 public streets.

c) *Not self-created. The condition of the property has not resulted from any deliberate action by the owner.*

The site conditions existed prior to the ASG Partners Limited Partnership owning the property.

We thank you for your consideration of this variance request, and if you have any questions, comments or need of any additional information please feel free to contact me at 615-890-7901.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matt Taylor', with a long horizontal flourish extending to the right.

Matt Taylor, P.E.
SEC, Inc.

215 West Castle Street Site Photographs



215 West Castle Street, aerial photograph.



215 West Castle Street, aerial photograph.



215 West Castle Street, view of existing structure taken from West Castle Street looking to the southeast. The CSX spur right-of-way lies to the right (west) of the gate visible in the photo.



215 West Castle Street, view of existing structure taken from the intersection of West Castle Street and Hickerson Drive looking southward. While the existing building had a curb cut along Hickerson Drive (visible in the photo), the applicant's site plan shows no curb cut in this location.



215 West Castle Street, view of existing structure taken from Hickerson Drive looking westward.



215 West Castle Street, view of existing structure taken from intersection of Hickerson Drive and Hillard Drive looking westward. The applicant intends to remove the fence visible in the photo and construct a sidewalk along the Hillard Drive frontage. The proposed dumpster enclosure would be located near the open bay door visible in the photo.

Notes:

- 1) Engineering Department Point of Contact is Cey Chase, 615-893-6441;
CChase@MurfreesboroTN.gov
- 2) Planning Department Point of Contact is Margaret Ann Green, 615-893-6441;
MGreen@MurfreesboroTN.gov

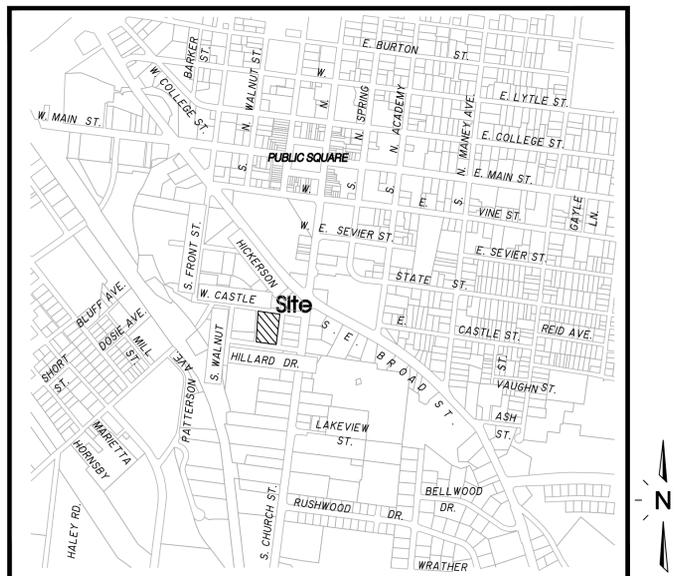
Outpost Armory

Murfreesboro, Tennessee

BZA Variance Request

Drawing Index

Sheet No.	Title
1	Cover Sheet
2	Existing Conditions
3	Vicinity Map
4	Variance Exhibit



Site Location Map
Not To Scale

Owner/Developer:

ASG Partners Limited Partnership
5926 Miller Ln.
Christiana, TN 37037

Deed Reference:

R.Bk. 1470, Pg. 3167
Map 102C, Group E, Parcel 8.00
D.Bk. 118, Pg.166

Yard Requirements:

Front: 42'
Side: 10'
Rear: 20'

Intended Use:

Commercial Indoor Amusement, Office, Retail

Land Use Data:

Zoned: Heavy Industrial (H-I)

1-Story Building

Building Ht.: 22'-6"

Total Floor Area: 26,950 Sq.Ft.

1 Lot on: 1.427± Acres

Parking Requirement:

3068 Sq.Ft. Retail x $\frac{1 \text{ Space}}{300 \text{ Sq.Ft.}}$ + 650 Sq.Ft. Office x $\frac{1 \text{ Space}}{300 \text{ Sq.Ft.}}$ + 1,802 Sq.Ft.

Amusement x $\frac{1 \text{ Space}}{100 \text{ Sq.Ft.}}$ + 71 Seats x $\frac{1}{4}$ Seats = 48 Spaces Required

Provided: 62 Regular + 3 H.C. = 65 Total Spaces Provided

Flood Map No.:

This site lies within Zone X, not in the
100 Year Floodplain, per Community Panel
47149C0260H dated January 5, 2007.

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129

PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567

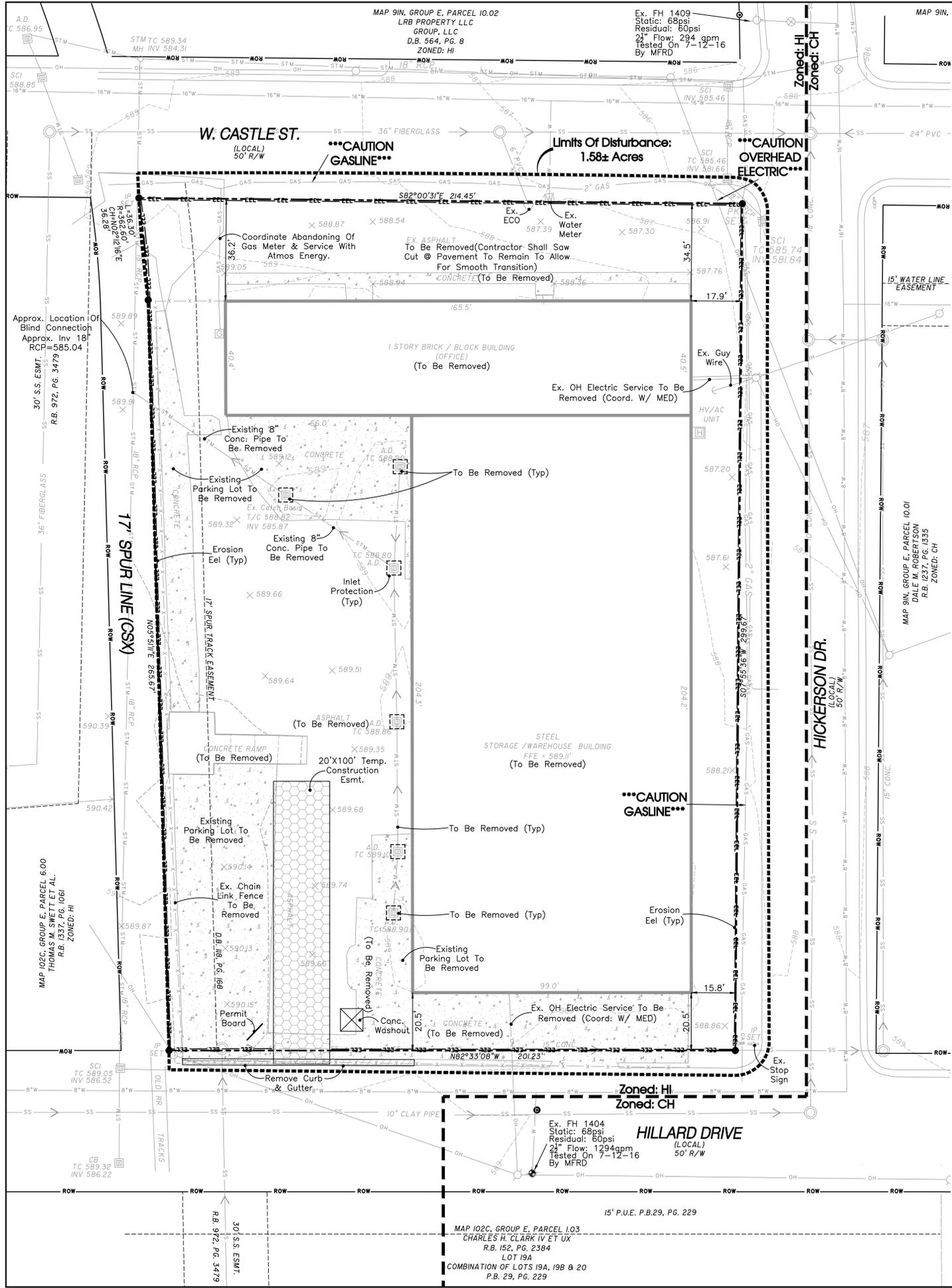
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.



By: _____ Date: _____
Matthew A. Taylor, P.E. TN. Reg. #112515

Watershed: Lytle Creek (Impaired: 5 Yr Design Storm)
Disturbed Area: 1.58± Ac.
△ Impervious Area: -0.26± Ac.

Sheet 1 of 4
Outpost Armory
BZA
S.E.C. Project #13246
Submitted: 11-02-16
Revised:



SWPPP Narrative:
 The existing site is located to the south of John Bragg Hwy and east of S. Rutherford Blvd. within Rutherford County in the City of Murfreesboro. The project site is a 1.35 Acre project and generally sheet flows from the east to the west. The site has been designed to discharge to existing stormwater pond in the north.

The existing soils on site consist of approximately 100% Dowlinton Silt Loam categorized as type D hydrologic soil group per published information by the National Resources Conservation Service. The pre-developed site has a runoff curve number of 94. The proposed improvements will increase the runoff curve number to 61.

During demolition and mobilization, the sediment and stormwater runoff will be controlled with certain Best Management Practices (BMPs). Silt fence will be installed on the downslope sides of the site. The storm inlets will be protected with silt fence inlet protection until the stone base and pavements can be installed. A stone construction entrance will be installed upon mobilization of site to limit the tracking of mud and sediment onto the adjacent pavements and roadways. Covered dumpsters will be on site for disposal of trash and other debris. Paint and other potentially hazardous chemicals will be stored inside the building or otherwise approved weatherproof container. The contractor purchasing the materials will be responsible for legally disposing of the containers and excess materials in accordance with the manufacturers' recommendations. A washout area will be provided for the concrete trucks as required.

It is the contractor's responsibility during construction to install and maintain all sedimentation and storm water pollution prevention BMPs described above and detailed within the plans at all times, which includes regular removal and disposal of accumulated debris. All erosion and sediment controls must be maintained properly until the site is stabilized. Maintenance must include inspections of all erosion and sediment controls after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair replacement, re-grading, re-seeding, re-mulching and re-netting must be performed immediately. The developer will own and maintain the site after construction has been completed.

- Construction Sequence:**
1. Stake and/or flag limits of clearing.
 2. During preconstruction meeting all erosion & sediment control facilities & procedures shall be discussed.
 3. Clear & grub, as necessary, for installation of perimeter controls.
 4. Install silt fence perimeter controls as shown on plans.
 5. Install construction entrance and concrete washout facility, if conditions are such that mud is collecting on vehicle tires, the tires must be cleaned before the vehicles enter the public roadway. The site entrance shall be maintained in a condition that will prevent the tracking or flow of mud onto the public right-of-way. All materials spilled, dropped, washed or tracked from vehicles onto the roadway must be removed promptly.
 6. Clear & grub the remaining site as necessary.

EXISTING ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
BUILDING & PAVEMENT	IMPERVIOUS AREA, CN=98	1.35
		COMPOSITE CN=98

INITIAL OUTFALLS

NUMBER	DESCRIPTION	AREA	SLOPE
1	CONSTRUCTION EXIT	---	1%
2	EX. CATCHBASIN AT N.W. CORNER	---	1-2%



PROPOSED ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
BUILDING, SIDEWALK, PAVEMENT	PAVED PARKING LOTS, ROOFS, ETC. C-SOILS, CN=98	1.17
GRASS / LANDSCAPING	OPEN SPACE: GOOD CONDITION C-SOILS, CN=61	0.26
		COMPOSITE CN=---

PROPOSED BMP'S

BMP	TYPE
SEDIMENT CONTROL BARRIER	TEMPORARY, SEDIMENT CONTROL
CONSTRUCTION ENTRANCE	TEMPORARY, SEDIMENT CONTROL
VEGETATION	PERMANENT, EROSION PREVENTION
INLET PROTECTION	TEMPORARY, SEDIMENT CONTROL

General Contractor Shall Install All Initial EPSC Measures Prior To Any Earthwork Beginning.

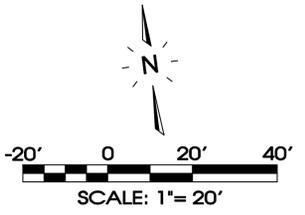
Notes:
 Staging Area, Worker Parking & Adjoining Drive To Be Constructed Of Stone.

Staging Area is To Be Kept Litter Free With Daily Cleanup. In Addition, All Stored Materials Are To Be Kept In Organized & Stacked Fashion. An unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, City Staff will shut down the job site.

All Construction Signage Is To Be Constructed Of 2-4"x4" Painted Posts.

Sign #1 - Display Surface Can Be No More Than 32 S.F. & Must Be Less Than 9 Ft. Tall.

Notes:
 Soils Survey Information Shown Here On Is Taken From The National Resources Conservation Service Web Soil Survey.



Existing Impervious Area Onsite= 62,170 sf

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊕	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	⊕	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	⊕	EXTRUDED CURB
⊕	EXIST. GAS RISER	⊕	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW
⊕	EXIST. WATER METER	➔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	➔	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	➔	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	⊕	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
○	MANHOLE	⊕	TYPE- X- HEADWALL

EPSC Phasing

Initial:	Silt Fence Along Downgradient Perimeter Construction Entrance Temp. Conc. Washout
Intermediate:	Filter Fabric Inlet Protection Silt Fence To Protect Ditches
Final:	Landscaping & Grass Sod Of All Pervious Areas (See Landscaping Plan)



SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

SFC, Inc.
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37139
 PHONE: (615) 890-7901
 E-MAIL: MTA@SFC-CIVIL.COM FAX: (615) 895-2667

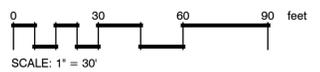
REVIEW SET
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

REVISED
 DATE: 11-02-16
 CHECKED: MAT, MPL
 FILE NAME: 13246bzo
 SCALE: 1"=20'
 JOB NO. 13246
 SHEET: 2 of 4

Outpost Armory
 Murfreesboro, Tennessee

Existing Conditions

2 of 4



SUBSTITUTION NOTE:
1. Requirements shown are as per City Zoning Ordinance. Substitutions are not allowed unless approved by Heibert+Ball Land Design.
2. After installation, the landscape will be maintained by the owner.
3. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

TO AVOID OVERHEAD UTILITY CONFLICTS:
In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

UTILITY SCREEN
All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations.

PLANT STANDARDS
The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
2. Trees with forked trunks are acceptable if all the following conditions are met:
a. The fork occurs in the upper 1/3 of the tree.
b. One fork is less than 2/3 the diameter of the dominant fork.
c. The top 1/3 of the smaller fork is removed at the time of planting.
3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.
4. The trunk and/or major branches shall not touch.
5. Several branches are larger in diameter and obviously more dominant.
6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
8. Crown spread shall look proportional to the tree.
9. NO flush cuts or open trunk wounds or other bark injury.
10. Root ball meets all ANSI standards and is appropriately sized.

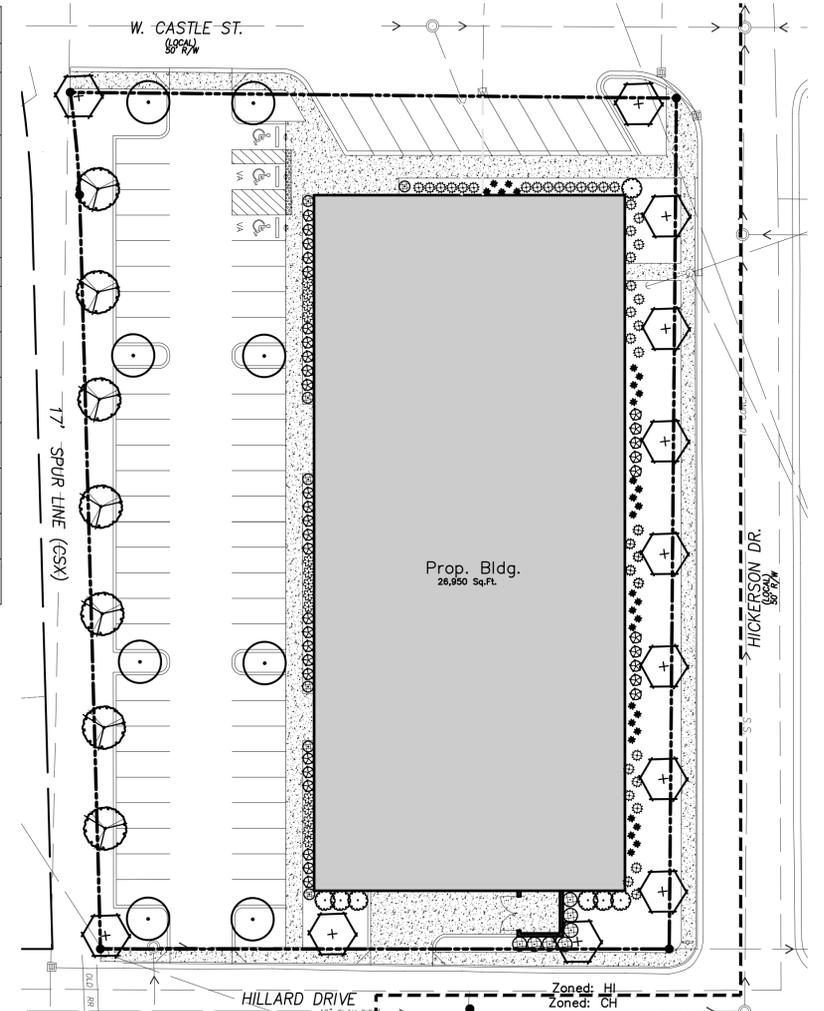
DEFICIENCIES NOT ACCEPTED:
1. Tip dieback on 5% of branches
2. Crown thin/sparsely foliated
3. Included bark
4. Major Branches touching
5. Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS

TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	7	Tulip Poplar / Liriodendron tulipifera 5' Clear Trunk, Single, Straight Central Leader, Full Upswept Branching. Even Branching. See Tree Specifications.	B & B	2.5' Cal	12'-14' HT
	12	Nuttall Oak / Quercus nuttallii 6' Clear Trunk, Single, Straight Central Leader. Evenly Branched. Full Symmetrical Crown. See Tree Specifications.	B & B	2.5' Cal	12'-14' HT
	8	Village Green Zelkova / Zelkova serrata 'Village Green' 5' Clear Trunk, Evenly Branched. Full Symmetrical Crown. See Tree Specifications.	B & B	2.5' Cal	12'-14' HT
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	14	Rose Creek Abelia / Abelia x grandiflora 'Rose Creek' Full; Dense Form	#1 Cont. 15' HT		
	7	Blue Arrow Juniper / Juniperus virginiana 'Blue Arrow' Full; Dense Form. See Tree Specifications	6' HT		
	44	Grey Owl Juniper / Juniperus virginiana 'Grey Owl' Full, Heavy	#3 Cont. 16' HT		
	35	Blue Switch Grass / Panicum virgatum 'Heavy Metal' Full, Heavy.	#1 Container		
	36	Otto Luykens Laurel / Prunus laurocerasus 'Otto Luykens' Heavy, Well Branched. Not sheered	18' HT		
	7	Dense Yew / Taxus x media 'Densiformis' Full; Dense Form	20' HT		
	7	Chaste Tree / Vitex agnus-castus 'Shoal Creek' Evenly Branched. Full Symmetrical Crown. Shrub Form	36"-42"		

PLAN NOTES:
1. ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 4" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH.
2. ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
3. ALL TREES AND SHRUBS SHALL BE PLANTED 3' BEHIND BACK OF CURB.
4. ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD. ANY AREA OF DISTURBANCE DENOTED WITH THE SOD HATCH, SHALL BE REPAIRED WITH SEED.

PLANTING SCHEDULE NOTES
1. SHRUBS AND TREES TO BE OF THE HIGHEST QUALITY.
2. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
3. SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
4. REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO URBAN ENVIRONMENTAL DEPARTMENT 615-895-8059 PRIOR TO INSTALLATION.
5. ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.

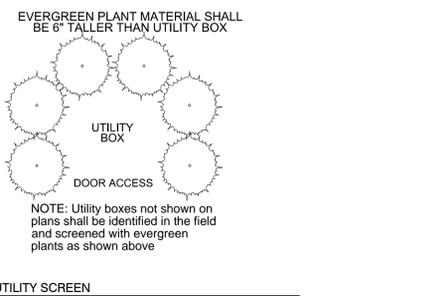
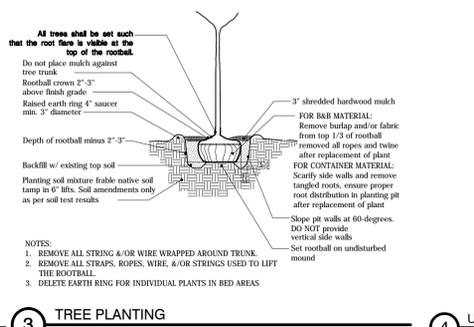
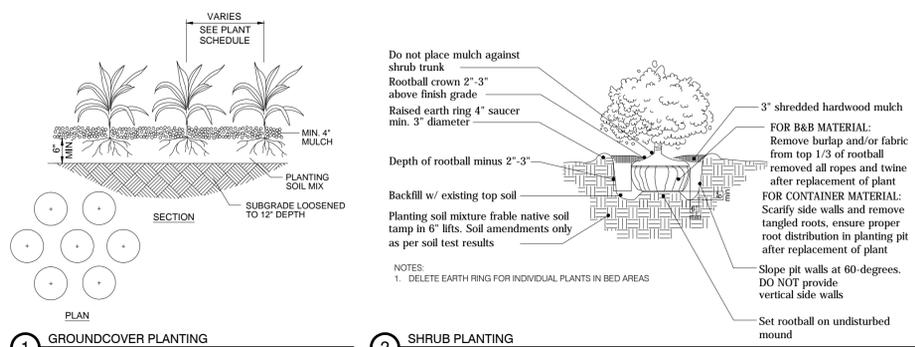


Outpost Armory
SITE DATA
SITE AREA: 1.43 ACRES
SITE ZONING: LI (Light Industrial)
LANDSCAPE REQUIREMENTS (AS PER SECTION 27)
REQUIRED PERIMETER LANDSCAPING

	REQUIRED	PROVIDED
(NORTH- W. CASTLE STREET) 215LF-140' DRIVE = 75 1 SHADE TREE/ 40 LF OF FRONTAGE	2 TREES	2 TREES
(EAST-HICKERSON STREET) 300 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	8 TREES	8 TREES
(SOUTH- HILLARD DRIVE) 201 LF-81LF DRIVE= 120LF 1 SHADE TREE/ 40 LF OF FRONTAGE	3 TREES	3 TREES
(WEST) 300 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	8 TREES	8 TREES

PARKING LOT REQUIREMENTS
ONE SHADE TREE OR TWO ORNAMENTAL TREES PER 12.5 PARKING STALLS TO BE PLANTED IN LANDSCAPE ISLANDS (MIN. 8' WIDTH).
65 PARKING SPACES PROVIDED = 6 TREES REQUIRED
6 TREES PROVIDED IN ISLANDS

Notes
1. The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to these utilities.
2. The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for any damage to utilities.
3. Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
4. All planting and mulch beds shall be hand weeded or sprayed with round-up (contractor's option) prior to the installation of mulch.
5. The landscape contractor shall be responsible for the fine grading of all planting areas.
6. The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
7. The landscape contractor shall be responsible for completely maintaining the work of all planting areas and lawns per landscape notes on drawing until substantial completion.
8. The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
9. The landscape contractor shall completely guarantee all work for a period of two(2) years beginning at the date of acceptance. The landscape contractor shall make all replacements of any dead or damaged plant material promptly (as per direction of owner).
10. The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to substantial completion.
11. Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
12. All disturbed areas shall be planted with turf as indicated on the materials schedule.
13. All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
14. **ATTENTION OWNER/ INSTALLER:**
This landscape plan has been designed to meet the minimum requirements of the Metro Nashville zoning ordinance. The approval of the planning commission and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements. Thus problems may arise with releasing the performance/ maintenance bond for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Heibert + Ball, Land Design and then obtaining approval from either the planning commission or the planning department.



Outpost Armory
215 WEST CASTLE ST.
MURFREESBORO, TENNESSEE



Revisions
HMH Job Number
16008
Drawn By
HMH
Date
03.09.16
Drawing
LANDSCAPE
PLAN
L1.01

Section 32 80 00 Irrigation

Part 1 - General

1.1 Section includes

- A. Pipe and fittings, valves, outlets, emitters, bubblers, control zone kits, landscape dripline, emission devices, and accessories.
B. Connection to utilities.
C. Control system.

1.2 Related sections

- A. Turf and grasses.
B. Plants.

1.3 References

- A. ANSI/ASTM D2282 acrylonitrile butadiene styrene (ABS) plastic pipe (SDR PR).
B. ANSI/ASTM D2564 solvent cement for poly (vinyl chloride) (PVC) plastic pipe and fittings.
C. ASTM B32 solder metal.
D. ASTM B88 seamless copper water tube.
E. ASTM D2235 solvent cement for acrylonitrile butadiene styrene (abs) plastic pipe and fittings.
F. ASTM D2241 poly (vinyl chloride) (PVC) plastic pipe (SDR PR).
G. FS 0 F 506 flux, soldering; paste and liquid.

1.4 System description

- A. Electric solenoid controlled underground irrigation system, with low point self drains.

1.5 Submittals

- A. Submit under provisions of section 013300 submittal procedures.
B. Shop drawings: indicate piping layout to water source, location of sleeves under pavement, location and coverage of sprinkler heads, plant and landscaping features, site structures, schedule of fittings to be used.
C. Product data: provide component and control system and wiring diagrams.
D. Samples: provide one outlet of each type, with housing. Accepted samples may be used in work.
E. Manufacturer's installation and operation instructions: include for all components.

1.6 Project record documents

- A. Accurately record actual locations of piping system and all system components on as accurately drawn as-built drawing.

1.7 Operation and maintenance data

- A. Provide instructions for operation and maintenance of system and controls, seasonal activation and shutdown, and manufacturer's parts catalog.
B. Provide schedule indicating length of time each valve is required to be open to provide a determined amount of water.

1.8 Regulatory requirements

- A. Conform to applicable local and state codes and requirements.

1.9 Field measurements

- A. Verify that field measurements are as shown on drawings.

1.10 Extra materials

- A. Provide the following extra components under provisions of section 017800 close out submittals:
1. Two sprinkler heads of each type and size.
2. Two valve keys for manual valves.
3. Two valve box keys.
4. Two keys for valve markers.
5. Two wrenches for each type head core and for removing and installing each type head.
6. Two nozzles of each type and size.

Part 2 - Products

2.1 Manufacturers

- A. Rainbird or approved equal.
B. Substitutions: under provisions of section 01 25 00 substitution procedures.

2.2 Materials

- A. Pipe: PVC in accordance with ASTM d2241; 200 psi pressure rated upstream from controls, solvent weld sockets.
B. Fittings: type and style of connection to match pipe.
C. Solvent cement: ANSI/ASTM D2564 for PVC pipe and fittings.
D. Sleeve material: see drawings.

2.3 Outlets

- A. Outlets: brass or bronze construction.
B. Spray type sprinkler head: pop up head with full or part circle pattern. See drawings.
C. Bubbler: see drawings.
D. Rotor sprinkler head: pop up head with full or part circle pattern. See drawings.
E. Quick coupler: see drawings.

2.4 Valves

- A. Gate valves: bronze construction, non-rising stem, inside screw with threaded ends.
B. Backflow preventers: iron or bronze body construction, reduced pressure zone type.
C. Valve box and cover: Ametek.
D. Drain valve: Rainbird or approved equal.

2.5 Drip irrigation products

- A. Control zone kit assemblies for drip irrigation zones must include a valve, filtration and pressure regulation to meet the flow requirements of the zone. Where necessary a check valve shall also be installed.
1. Low flow control zone kit with a low flow valve or low flow anti-siphon valve, and pressure regulating (PR) filter for zones with flows from 0.2 to 5.0 gpm.
2. Medium flow control zone kit with an automatic irrigation control valve or anti-siphon valve, and pressure regulating filter for zones with flows from 3 to 15 gpm.
B. Fittings
1. Compression fittings shall be used to allow connection of PVC to polyethylene tubing.
C. Compression fittings shall be one of three fittings (tee, coupling and elbow) with a threaded adapter.
D. Compression fittings shall provide connections to threaded components.
E. A removable flush cap shall be used to close off a line. The purple flush cap shall be used to close off a line containing non-potable water.
1. LOC fittings shall be used with any polyethylene tubing from 0.620 to 0630" OD (16 mm OD).
2. Landscape dripline insert fittings shall be used with any polyethylene tubing or inline emitter tubing.
3. 3/4" barb transfer fittings shall be used to connect 1/4" distribution tubing with an id of 0.16".
F. Point source emission devices
1. Point source single-outlet emitters shall be pressure-compensating over the pressure range of 15 to 50 psi and have a consistent flow rate over this pressure range.
2. Multi-outlet emitters shall be pressure-compensating over the pressure range of 15 to 50 psi. Each open outlet shall have a consistent flow rate over this pressure range.
3. The emitters shall be self-flushing to minimize clogging.
G. Multiple outlet manifold
1. The multiple outlet manifold shall have multiple free-flowing 3/8" barb outlets.
2. The multiple outlet manifold shall have 1/2" FPT inlet threads.
3. The operating pressure range for the multiple outlet manifold shall be 15 to 50 psi.

2.6 Controls

- A. Controller: see drawings.
B. Controller housing: weatherproof, watertight, with lockable access door.
C. Electric solenoid: normally closed valves to control wiring, including required fittings and accessories.
D. Wire: color coded.

Section 32 80 00 Irrigation (Continued)

Part 3 - Execution

3.1 Installers

- A. Minimum 3 years experience with commercial systems.

3.2 Examination

- A. Verify that field conditions are acceptable and are ready to receive work.
B. Verify location of existing utilities.
C. Verify that required utilities are available, in proper location and ready for use.
D. Beginning of installation means installer accepts existing conditions.

3.3 Preparation

- A. Piping layout indicated is diagrammatic only. Route piping to avoid plants and structures.
B. Layout and stake locations of system components.
C. Review layout requirements with other affected work. Coordinate locations of sleeves under paving to accommodate system.

3.4 Trenching

- A. Trench and backfill in accordance with section 312300 excavation and fill.
B. Minimum trench width: 4 inches.
C. Minimum trench depth: 18 inches.
D. Trench to accommodate grade changes and slope to drains.
E. Maintain trenches free of debris, material, or obstructions that may damage pipe.

3.5 Installation

- A. Install pipe, valves, controls, and outlets in accordance with manufacturer's instructions.
B. Connect to water and electrical service.
C. Set sprinkler heads and box covers at finish grade elevations.
D. Provide for thermal movement of components in system.
E. Use threaded nipples for risers to each outlet to facilitate easy replacement.
F. Install control wiring. Provide 10 inch expansion coil at each valve to which controls are connected, and at 100 ft. intervals. Bury wire beside pipe. Mark valves with neoprene valve markers containing locking device. Set valve markers in 160 psi PVC pipe risers exiting from top of valve to finish grade.
G. After piping is installed but before sprinkler heads are installed and backfilling commences, open valves and flush system with full head of water.

3.6 Field quality control

- A. Field inspection and testing will be performed under provisions of section 014500-quality control.
B. Prior to backfilling, test system for leakage for whole system to maintain 100 psi pressure for one hour. System acceptable if no leakage or loss of pressure occurs during test period.

3.7 Backfilling

- A. Backfill trench and compact to subgrade elevation as specified in section 31 23 00 excavation and fill.
B. Protect piping from displacement.
C. Replace work damage by the work of this section with equivalent products.

3.8 Installer's field services

- A. Prepare and start systems under provisions of section 017500 starting and adjusting.
B. Prove one complete spring startup and a fall shutdown.

3.9 Adjusting

- A. Adjust work under provisions of section 017500 starting and adjusting.
B. Adjust control system to achieve time cycles required.
C. Change head types as directed.

3.10 Demonstration

- A. Instruct owner's personnel in operation and maintenance of system, including adjusting of sprinkler heads. Use operation and maintenance material as basis for demonstration.

3.11 Schedules

- A. See Irrigati.

End of section 32 80 00

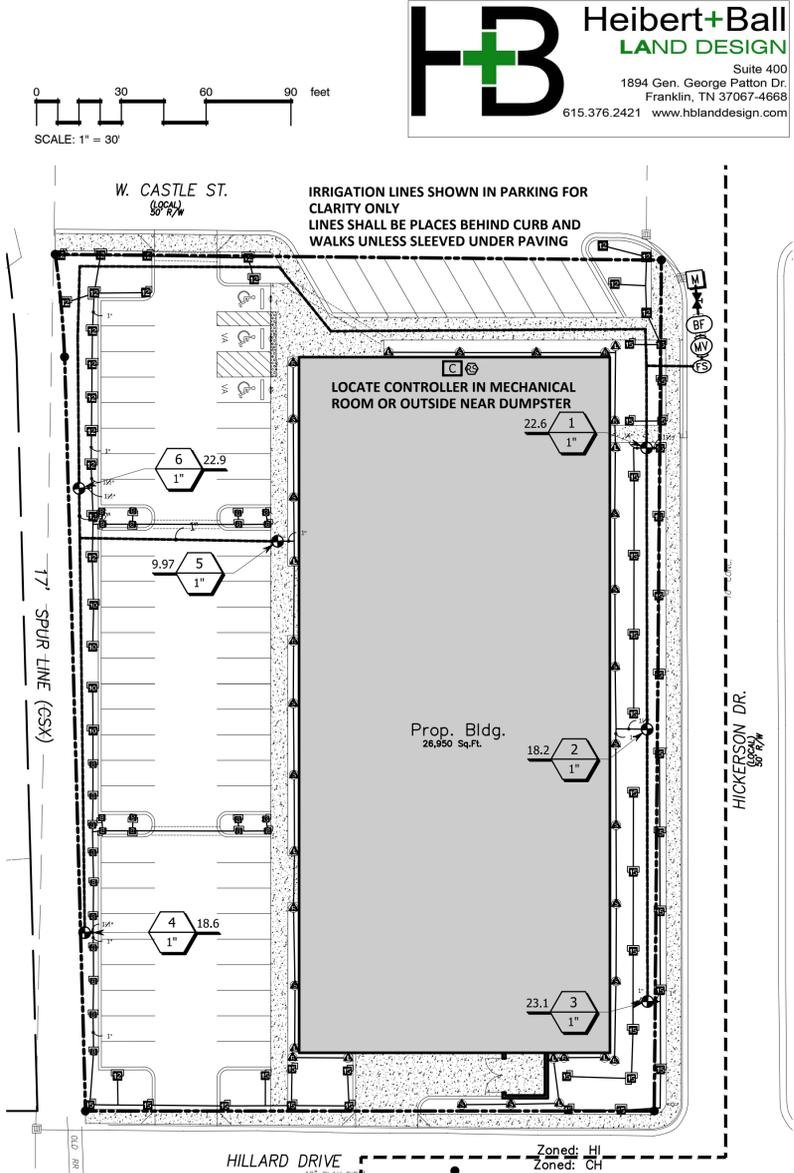
IRRIGATION SCHEDULE

Table with 3 columns: SYMBOL, MANUFACTURER/MODEL/DESCRIPTION, PSI. Lists various Rain Bird and Rain Bird 1806 irrigation components and their operating pressures.

Table with 3 columns: SYMBOL, MANUFACTURER/MODEL/DESCRIPTION, PSI. Lists various Rain Bird and Rain Bird 1806 irrigation components and their operating pressures.

CRITICAL ANALYSIS

Table with 2 columns: Parameter, Value. Includes data for P.O.C. NUMBER, FLOW AVAILABLE, PRESSURE AVAILABLE, DESIGN ANALYSIS, and Critical Station details.

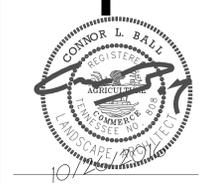


CONTRACTOR TO VERIFY THAT A 1.5" PLEX PIPE SERVICE LINE, A 1.0" METER, AND A 4.0" BACKFLOW HAVE BEEN PROVIDED. SYSTEM IS DESIGNED TO RUN MULTIPLE STATIONS AT A TIME WITH A MIN. STATIC FLOW OF 85 GPM. CONTRACTOR SHALL PROGRAM CONTROLLER TO MAKE SURE THE SYSTEM OPERATES CORRECTLY.

- Irrigation Notes: These notes are presented as a "summary" of the written specifications issued for the project. Refer to the written specifications for additional detail and full project requirements.
Prior to beginning work onsite, all sub-contractors must read and sign the latest copy of the site storm water pollution prevention plan (swppp), which is maintained by the d/b contractor.
1. The irrigation system design is based on 85 static pressure (psi) and maximum flow of 35 gallons per minute (gpm).
2. The pipe routing shown is diagrammatic only. All piping, valves, heads, etc shown within paved areas are for design clarification only.
3. Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that obstructions, grade differences, or differences in the dimensions of the constructed areas exist that might not have been considered in the irrigation design and the d/b contractor immediately.
4. It is the responsibility of the irrigation subcontractor to familiarize himself / herself with the site, all grade differences, locations of walls, and installed utilities.
5. Due to the scale of the drawing, it is not possible to indicate all offsets, fittings, joints, etc. which may be required.
6. Flush all lines and heads prior to installing nozzles.
7. All sprinkler heads shall be set perpendicular to finished grade of the area to be irrigated unless otherwise noted.
8. When vertical obstructions (poles, signs, trees, hydrants, etc) interfere with the spray pattern of the heads so as to prevent proper coverage, the subcontractor shall field adjust the sprinkler system by installing a quarter, third, or half circle head at the sides of the obstruction so as to provide proper coverage.
9. Use Teflon tape on all male pipe threads on PVC pipe, swing joints, and valve assemblies.
10. Install valve boxes 18-inches from and perpendicular to walks, curbs, building, or landscape features.
11. Set irrigation controller to operate the system between the approximate hours of 3am and 7am.
12. 120-volt electrical power at the controller shall be provided by others.
13. Provide as-built drawings per the written specifications.
14. Refer to the written specifications for complete system description and additional information.



Outpost Armory
215 WEST CASTLE ST.
MURFREESBORO, TENNESSEE



Revisions
HMH Job Number 16008
Drawn By HMH
Date 03.09.16
Drawing

LANDSCAPE PLAN
L1.01

EXTERIOR FINISH LEGEND

BRICK 1	UTILITY PONDEROSA SIOUX CITY BRICK TBD MORTAR MANUF.: HOLCIM
BRICK 2	MODULAR NAPA VALLEY VELOUR SIOUX CITY BRICK TBD MORTAR MANUF.: HOLCIM
BRICK 3	UTILITY GLACIER WHITE ACME BRICK TBD MORTAR MANUF.: HOLCIM
CAST STONE	ST825 CHARLOTTE TAN ROCKCAST TBD MORTAR MANUF.: HOLCIM ALTERNATE: EIFS
PAINT	STEEL GREY
STOREFRONT / CURTAINWALL	ALUMINUM 4 1/2" X 2" CLEAR ANODIZED ALUMINUM TUBELITE OR EQUAL
GLAZING	1" INSULATED LOW-E BLUE / GREY PPG, OR EQUAL
PREFINISHED METAL	ZINC GREY, PREWEATHERED GALVALUME BERRIDGE OR EQUAL
ENTRANCE CANOPY	METAL PANEL CLEAR ANODIZED, ANODIC CLEAR ALCOA REYNOLBOND OR EQUAL

MATERIAL CALCULATIONS

EAST ELEVATION BREAKDOWN

BRICK 1	458 S.F.	18%
BRICK 2	749 S.F.	30%
BRICK 3	163 S.F.	7%
CAST STONE	31 S.F.	1%
METAL PANEL	539 S.F.	22%
METAL DOOR	24 S.F.	1%
GLASS	518 S.F.	21%
TOTAL WALL AREA	2482 S.F.	100%

MATERIAL CALCULATIONS

WEST ELEVATION BREAKDOWN

BRICK 1	462 S.F.	19%
BRICK 2	260 S.F.	11%
BRICK 3	84 S.F.	3%
CAST STONE	7 S.F.	<1%
METAL PANEL	1390 S.F.	56%
METAL DOOR	246 S.F.	10%
GLASS	---	---
TOTAL WALL AREA	2482 S.F.	100%

MATERIAL CALCULATIONS

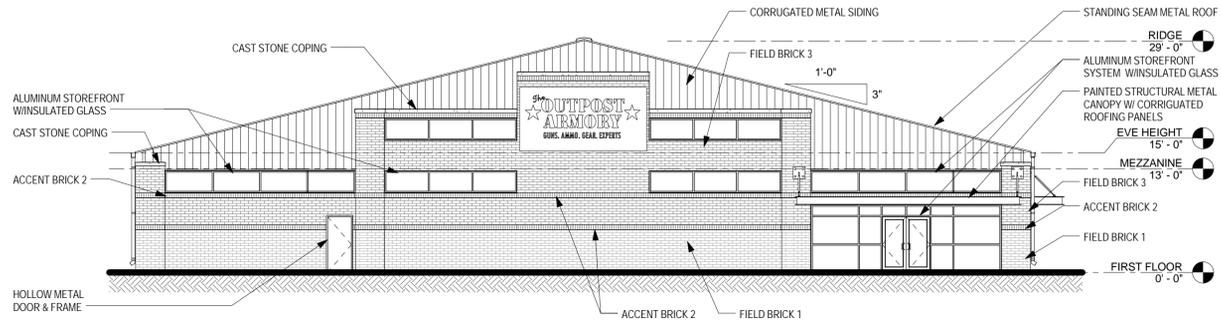
NORTH ELEVATION BREAKDOWN

BRICK 1	1098 S.F.	30%
BRICK 2	744 S.F.	20%
BRICK 3	241 S.F.	7%
CAST STONE	20 S.F.	<1%
METAL PANEL	864 S.F.	23%
METAL DOOR	200 S.F.	5%
GLASS	510 S.F.	14%
TOTAL WALL AREA	3646 S.F.	100%

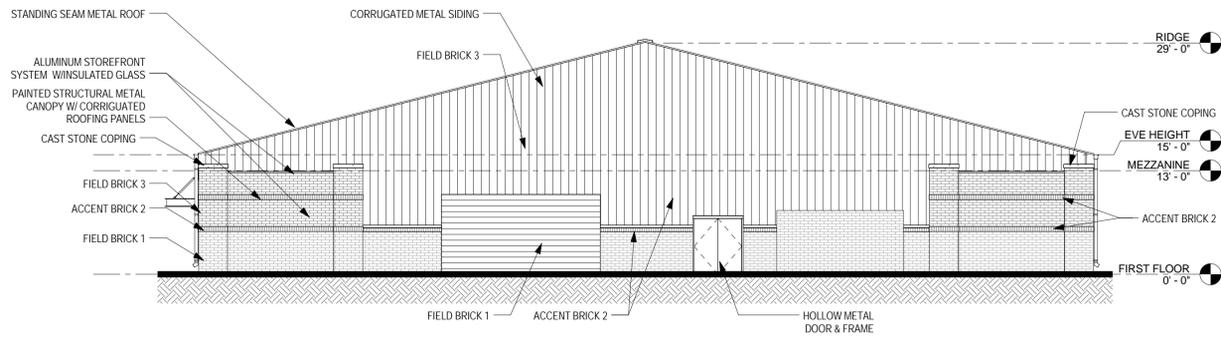
MATERIAL CALCULATIONS

SOUTH ELEVATION BREAKDOWN

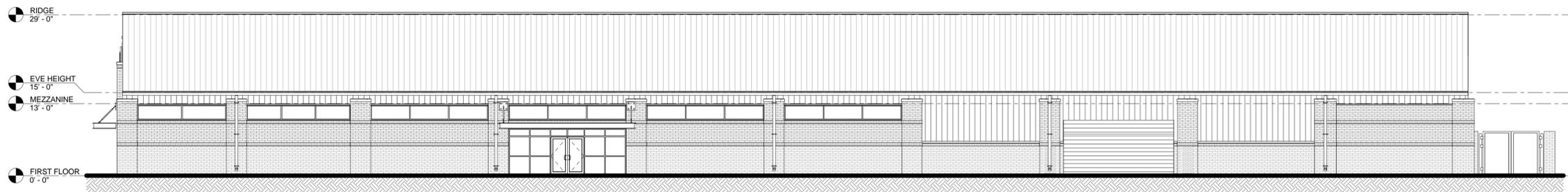
BRICK 1	1302 S.F.	36%
BRICK 2	718 S.F.	20%
BRICK 3	218 S.F.	6%
CAST STONE	20 S.F.	<1%
METAL PANEL	1319 S.F.	36%
METAL DOOR	24 S.F.	<1%
GLASS	45 S.F.	1%
TOTAL WALL AREA	3646 S.F.	100%



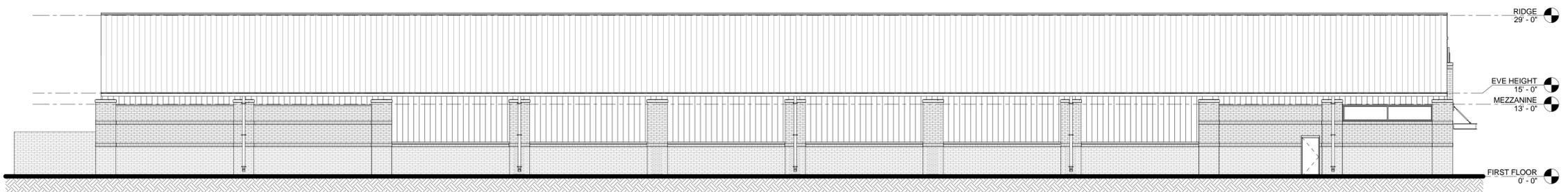
EAST ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

OUTPOST ARMORY

215 WEST CASTLE ST.
MURFREESBORO, TENNESSEE

Revisions

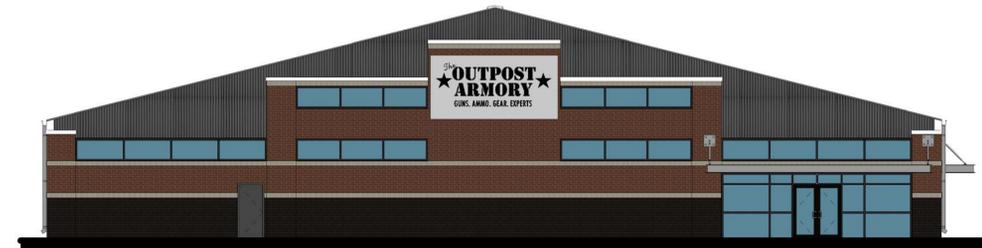
HMH Job Number
16038

Drawn By
Author

Date
Issue Date

Drawing
PROPOSED NEW
ELEVATIONS

A1



PROPOSED EAST ELEVATION

SCALE: 3/32" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 3/32" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 3/32" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

OUTPOST ARMORY

215 WEST CASTLE ST.
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Revisions

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COLORED
ELEVATIONS

A2



OUTPOST ARMORY

215 WEST CASTLE ST.
MURFREESBORO, TENNESSEE

Revisions

HMH Job Number
16038

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Drawing
RENDERED
PERSPECTIVE

A3