

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

March 16, 2016
1:00 PM

Bob Lamb
Chairman

1. **Call to order.**
2. **Determination of a quorum.**
3. **Approve minutes of the February 3, 2016 Planning Commission meeting.**
4. **Consent Agenda:**
 - a. Haverford Lots 22 and 23 [2016-1007] preliminary plat for 2 lots on 3.8 acres zoned CH located along Old Fort Parkway, Bruce Wrather developer.
 - b. Villages of McKnight Park Lots 1 & 2 [2016-1008] preliminary plat for 2 lots on 3.1 acres zoned CH located along Memorial Boulevard, Bruce Wrather developer.
 - c. Sheffield Park Section 3 [2016-1010] preliminary plat for 11 lots on 4.5 acres zoned PRD located along Veterans Parkway, Beazer Homes Corp developer.
 - d. Liberty Station Section 5 [2016-2022] final plat for 37 lots on 17.6 acres zoned RS-10 and RS-15 located along Alamo Ave., Howard Wall and Jim O'Brien developer.
 - e. Villages at McKnight Park Lot 2 and Resubdivision Lot 1 [2016-2027] final plat for 2 lots on 3.1 acres zoned CH located along Memorial Boulevard, IPM developer.
 - f. Evergreen Farms Section 34 [2016-2069] final plat for 38 lots on 7.2 acres zoned PRD located along Odessa Ave, Ole South Properties Inc. developer.
 - g. Hillwood Section 5 [2016-2031] final plat for 31 lots on 7 acres zoned PRD located along Almar Knot Drive, Murfreesboro Land CO. developer.
 - h. Saint Andrews Place Section 8 [2016-2033] final plat for 29 lots on 9.3 acres zoned PRD located along Mapleside Lane, Ole South Properties Inc. developer.
 - i. Warrior Drive Resubdivision Lot 3 [2016-2034] final plat for 2 lots on 2.8 acres zoned CH located along Warrior Drive and Southgate Boulevard, Pat McMillan developer.

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

March 16, 2016

- j. Marymont Springs Section 2 [2016-2035] final plat for 27 lots on 13 acres zoned PUD located along Marymont Springs Boulevard, Parks Holdings LLC developer.
- k. Del Sol Commons Section 3 [2016-2037] final plat for 23 lots on 4.8 acres zoned PRD located along Warmingfield Drive, O'Brien Loyd Venture developer.
- l. Emerald Place Resubdivision Lot 3 [2016-2038] final plat for 3 lots on 6.6 acres zoned PUD located along Lascassas Pike, Waffle House developer.
- m. Parks & Holden Addition Lots 32 & 36 [2016-3053] site plan for a 3 family dwelling on 0.31 acres zoned RM-16 located along East Street, Wayne & Kathryn Nobles developer.
- n. Storplace at Barfield Ph. 2 [2016-3058] site plan for 10,500 ft² self-service storage building on 3 acres zoned CH located along Veterans Parkway, Storplace Self-Storage developer.
- o. Southpointe Lot 13 [2016-3062] site plan for 5,000 ft² office/warehouse on 0.91 acres zoned L-I located along Business Campus Drive, Chambers Building Group developer.
- p. Cason Square Lot 20 [2016-3048] site plan for 8,000 ft² medical office on 0.86 acres zoned CF located along Brandies Circle, MB Enterprises developer.
- q. Jessica Subdivision Lot 4 [2016-3050] site plan for 6,200 ft² office/warehouse on 4.6 acres zoned CH located along Middle Tennessee Boulevard, Bridgeport Properties developer.
- r. Mandatory Referral [2016-703] for the abandonment of a utility easement at the Mercury Plaza shopping center, Kroger applicant.
- s. Mandatory Referral [2016-702] for the abandonment of a 50' public utility & access easement located north of Maymont Drive, St. Rose of Lima Catholic Church applicants.

5. Gateway Design Overlay:

- a. Rose Corner Development [2016-3038 & 2016-6004] final design review for 18,944 ft² multi-tenant building on 3.4 acres zoned MU and GDO-1 located along Medical Center Parkway and Robert Rose Drive, the Capital Corporation developer.
- b. Henley Station Phase 2 [2016-3033 & 2016-6003] final design review for 177 dwelling unit multi-family development on 11.5 acres zoned MU, RS-15, PUD, and GDO-1 located along Robert Rose Drive and Willowoak Trail, Lifestyle Communities developer.

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 3

March 16, 2016

- c. Home 2 Suites & Tru Dual Flag [2016-3049 & 2016-6005] initial design review for 85,080 ft² hotel on 3.3 acres zoned L-I & GDO-1 located along North Thompson Lane, Boro Hotel Partners, LLC developer.
- d. Zaxby's [2016-3060 & 2016-6006] initial design review for 3,650 ft² restaurant 1.6 acres zoned CH & GDO-1 located along Fortress Boulevard, Duck River Properties, LLC developer.
- e. North Church Section 1 Phase 2A [2016-2023] final plat for 1 lot on 3.4 acres zoned MU and GDO-1 located along Fortress Boulevard, Duck River Properties developer.
- f. Ben H. Womack Subdivision Lot 1 [2016-2029] final plat for 1 lot on 6.4 acres zoned RS-15, MU & GDO-1 located along Van Cleve Lane, Ben H. Womack developer.

6. Plats and Plans:

- a. Three Rivers Commercial Property [2016-1009] master plan for 5 lots on 19.6 acres zoned CH located along New Salem Highway and Cason Lane, Bart and Leslie Gordon developer.
- b. Kingdom Crest [2015-1047] master plan & preliminary plat for 58 lots on 11.7 acres zoned RZ located along Jack Byrnes Drive & Charity Lane, Swanson Development developer.
- c. The Crossings at Victory Station [2016-3056] site plan for 183,925 ft² assisted care living facility on 9.7 acres zoned PUD located along Fortress Boulevard, Murfreesboro IL-AL Investors developer.
- d. Dill Lane Townhomes [2016-3052] site plan for a 20 unit multi-family development on 1.64 acres zoned RM-12 located along Dill Lane, Randy Friedsam developer.
- e. Texas Roadhouse [2016-3055] site plan for 7,163 ft² restaurant on 2.3 acres zoned CH located at 116 John R Rice Boulevard, New Mountain, LLC developer.
- f. Waffle House [2016-3061] site plan for 1,875 ft² restaurant on 0.57 acres zoned PUD located along Lascassas Pike, Waffle House developer.

7. New Business:

- a. Zoning application [2016-413] for approximately 9.5 acres located along Lascassas Pike and North Rutherford Boulevard to be rezoned from PCD & CF, George Huddleston applicant.

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 4

March 16, 2016

- b.** Annexation Plan of Services and annexation petition [2016-507] for approximately 0.59 acres located at 4546 Veterans Parkway, Mary Reed applicant.
- c.** Zoning Request [2016-412] for approximately 0.55 acres located along Veterans Parkway to be zoned CF simultaneous with annexation and approximately 6.5 acres to be rezoned from RM-16 to CF, Tom Reed applicant.
- d.** Annexation Plan of Services and annexation petition [2016-506] for approximately 76 acres located at along New Salem Highway, William & Caroline Waite applicant.
- e.** Zoning application [2016-415] for approximately 74 acres located along New Salem Highway to be zoned CF (approx. 26.1 acres), RM-12 (approx. 23.1 acres) and RZ (approx. 25 acres) simultaneous with annexation, William & Caroline Waite applicant.
- f.** Zoning application [2016-416] for approximately 0.43 acre located at 1216 North Maple Street to be rezoned from PCD to CF, Nancy E. Brown applicant.

8. Staff Reports and Other Business:

9. Adjourn.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

4.a. Haverford Lots 22 and 23 [2016-1007] preliminary plat for 2 lots on 3.78 acres zoned CH located along Old Fort Parkway, Bruce Wrather developer.

This is the preliminary plat review for 2 lots on 3.64 acres zoned CH. These lots are a part of the Haverford Commercial subdivision. Preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends that any approval of this preliminary plat be made subject to all staff comments.



Staff Comments:

- 1) Remove the proposed lot line for lot 23 that cuts off the finger from the remainder of the lot.
- 2) Show and label the front MBSL on Lot 23. Because Lot 23 is a flag lot, the 42' MBSL is along the north property line.
- 3) Include a note that there will be no direct vehicular access onto Old Fort Parkway from Lot 23.
- 4) Label the 0.14 acres as proposed right-of-way.
- 5) A TDOT ROW permit will be required for the new entrance off Old Fort Pkwy/ State Route 96.
- 6) Construction plans for roadway improvements will require the review and approval of the City Engineer.
- 7) Remove the note regarding rain garden.
- 8) Provide a note that stormwater will be reviewed at the site plan level.
- 9) Provide a copy of the NPDES Notice of Coverage or Notice of Intent to the office of the City Engineer. Discharges of stormwater associated construction activities on sites that disturb one acre or more and including sites less than 1 acre that are part of a larger common plan of development or sale will require a NPDES Tennessee Construction General Permit.
- 10) A right of way excavation permit and bond will be required before beginning any work in the right of way. Contact Danny Lowe of the Engineering Department at (615) 893-6441.
- 11) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Stormwater Comments:

- 1) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations www.murfreesborotn.gov/planning and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- 2) As with all developments of more than one acre, this development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit.
- 3) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.

Standard Staff Comments:

- 1) This preliminary plat is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.

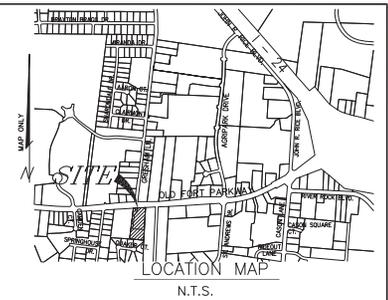
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

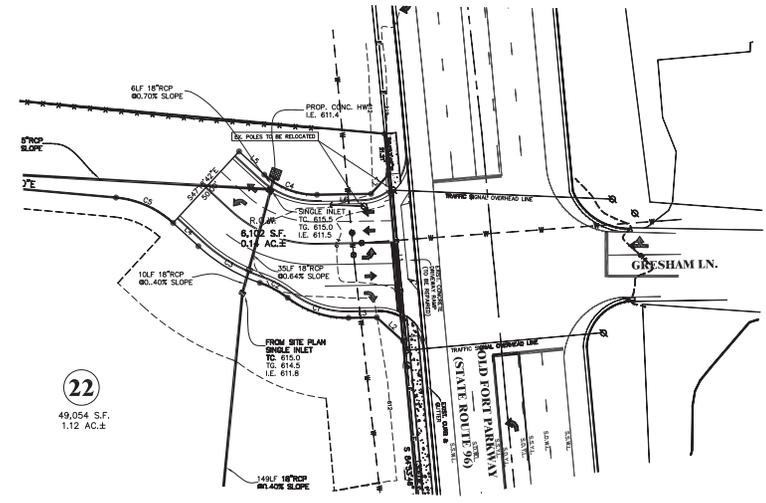
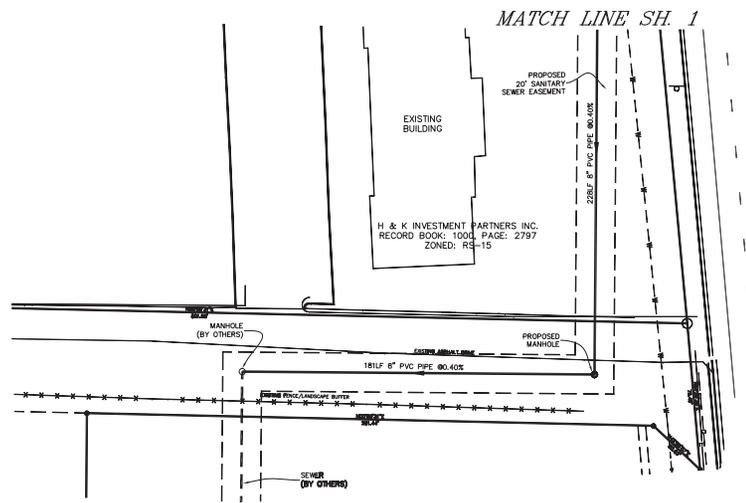
- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) A CUDRC Developer's Packet; which includes an overview of the construction process and required submittals, can be found online at cudrc.com.
- 3) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
- 4) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial.
- 5) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@cudrc.com.
- 6) All main water line taps are to be made by CUDRC.
- 7) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 8) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 9) Resubmit two sets of plans to MWSD for the review of the sewer.
- 10) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 11) Replace Note 4 with the following Release & Covenant Not to Sue note:
- 12) Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- 13) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 14) Drainage structure must be located outside the water/sewer easement(s).
- 15) MWSD must receive contract, surety, and offsite easement prior to signing the plat.

CURVE	DELTA	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C1	38°29'54"	33.99	50.00	32.95	N18°15'00"E
C2	18°42'47"	16.30	50.00	16.23	S28°11'00"W
C3	23°30'36"	37.09	89.00	36.77	N30°42'30"E
C4	43°38'47"	29.71	39.00	29.00	N20°51'50"E
C5	37°53'18"	32.77	50.00	32.19	S23°54'30"W

LINE	LENGTH	BEARING
L1	85.70	S84°53'48"W
L2	18.16	S41°38'00"W
L3	14.32	N00°57'29"W
L4	17.63	N42°41'18"E
L5	17.63	N42°41'18"E
L6	27.82	N00°57'29"W
L7	13.13	S48°01'31"E

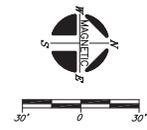


NOTE: CONTRACTOR TO COORDINATE WITH THE CITY OF HUNTERDON TRANSPORTATION DEPARTMENT PRIOR TO COMMENCEMENT OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY TO AVOID DAMAGE TO TRAFFIC SIGNAL DEVICES. CONTACT RAM BALACHANDRAN, CITY TRAFFIC ENGINEER, AT 615-893-6441, FOR TRAFFIC SIGNAL WORK AND OTHER WORK IN THE PUBLIC RIGHT-OF-WAY.



- LEGEND**
- ⊕ Flower Pole
 - ⊙ Existing Fire Hydrant
 - ⊙ Proposed Fire Hydrant
 - ⊕ Meter
 - ⊕ Proposed Gate Valve & Box
 - ⊕ Concrete Reset Block
 - Existing Water Line
 - Proposed Water Line
 - Existing Sanitary Sewer Line
 - Proposed Sanitary Sewer Line
 - ⊕ Proposed Manhole
 - ⊕ Sewer Line Check Dam
 - Existing Contours
 - Proposed Contours
 - ⊕ Existing Spot Elevations
 - ⊕ Proposed Spot Elevations
 - Siltation Fence
 - (To be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
 - Siltation Fence (Initial Measure)
 - Siltation Fence (Once Constructed)
 - ⊕ Turf Reinforcement Mat
 - ⊕ Stone Check Dam

THE MINIMUM SIZE AND SPACING SHALL APPLY ONLY IF THE PROPERTY APPLICABLE IS ADJACENT TO IMPAVED ZONED AREAS. THE MINIMUM SIZE AND SPACING SHALL APPLY TO THE PORTION OF AN APPROVED PLANNED DEVELOPMENT OTHERWISE NO SIZE LIMIT IS REQUIRED.



THESE LOTS ARE NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP PANEL 47068 0255 H ZONE: X DATED: 01/05/07

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

H. C. HULLDESTON-STEELS
 115 N.W. BRAD STREET, HUNTERDON, TN 37129
 TELEPHONE: (615)893-4284, FAX: (615)893-0080

NO.	DATE	DESCRIPTION
1	02/24/16	ORIGINAL ISSUE

PRELIMINARY PLAT
Haverford
 (LOTS 22 & 23)

13th CIVIL DISTRICT - RUTHERFORD COUNTY - TN
 DATE: FEBRUARY, 2016 SCALE 1"=30' SH. 2 OF 2

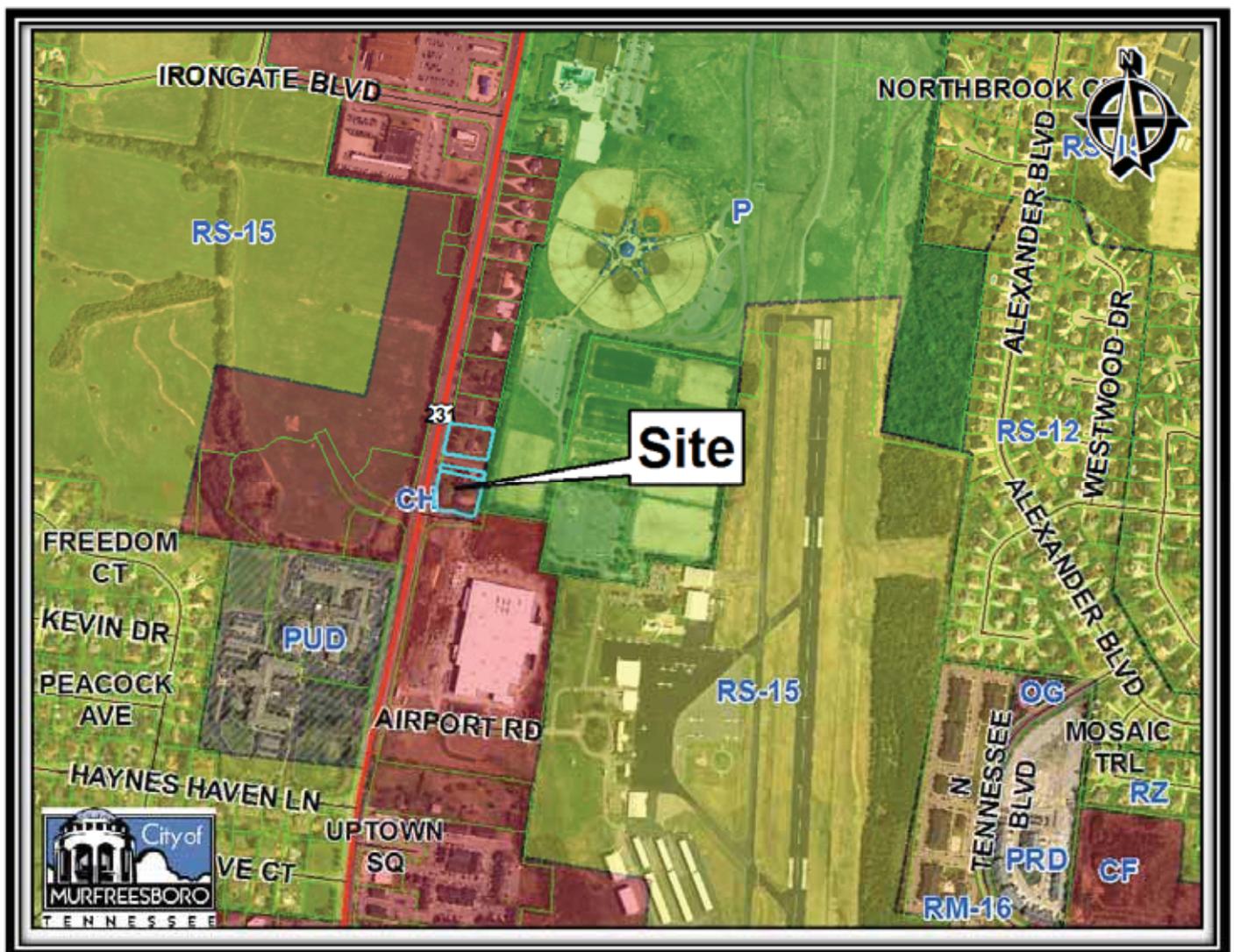
MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 4.b. Villages of McKnight Park Lots 1 & 2 [2016-1008] preliminary plat for 2 lots on 3.1 acres zoned CH located along Memorial Boulevard, Bruce Wrather developer.

This is the preliminary plat review for 2 lots on 3.1 acres zoned CH. These lots are a part of the Villages at McKnight Park commercial subdivision. Preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends that any approval of the preliminary plat be made subject to all staff comments.



Staff Comments:

- 1) Revise the title in the title block on page 2-7 to say "Lots 1 and 2" (instead of 2 & 3).
- 2) The acreage is incorrectly denoted as 2.08 acres in the site data table. Please correct.
- 3) The acreage for Lot 1 is indicated to be 1.77 acres on the preliminary plat and 1.868 on the final plat. Which is correct? Please reconcile.
- 4) The existing shared entrance label on the master plan sheet appears to be in the wrong location.
- 5) Show and label the boundaries of the City-owned strip of land.
- 6) Show and label existing lot lines.
- 7) The proposed extension of the shared access drive must be constructed and functional prior to the issuance of the certificate of occupancy for Lot 2.
- 8) Provide 20' drainage easement for the proposed cross drain at the access drive and across Lot 1.
- 9) The stormwater runoff from all new impervious surface must meet City stormwater requirements.
- 10) Provide a note that stormwater requirements will be reviewed at the site plan level for each lot.
- 11) Discharges of stormwater associated construction activities on sites that disturb one acre or more and including sites less than 1 acre that are part of a larger common plan of development or sale will require a NPDES Stormwater Construction General Permit (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>). Provide a copy of the NPDES Notice of Coverage or Notice of Intent (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) to the Engineering Dept prior to starting any construction activities and prior to issuance of a land disturbance permit.
- 12) A site work permit based on the cost of construction of the access drive and drainage will be required.
- 13) Prior to the issuance of a land disturbance permit and building permit, submit to the Engineering Dept. three (3) hard copies of the site plan, 1 hard copy of the stormwater report with design and calculations and 1 hard copy of the stormwater management record sheet, long-term operation and maintenance plan and agreement for the stormwater facilities (<http://www.murfreesborotn.gov/index.aspx?NID=441>).
- 14) A final construction stormwater inspection certification, CN-1173 and/or Notice of Termination (NOT), CN-1175 (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) will be required prior to certificate of occupancy (CO).
- 15) A right of way excavation permit and bond will be required before beginning any work in the right of way. Contact Danny Lowe of the Engineering Department at (615) 893-6441.
- 16) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Stormwater Comments:

- 1) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations www.murfreesborotn.gov/planning and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- 2) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.

Standard Staff Comments:

- 1) This preliminary plat is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Show MED easement along access road.
- 2) The developer is financially responsible for providing water and sewer service to each lot.
- 3) Services must extend across proposed road.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

4.c. Sheffield Park Section 3 [2016-1010] preliminary plat for 11 lots on 4.5 acres zoned PRD located along Veterans Parkway, Beazer Homes Corp developer.

This is the preliminary plat review for 11 lots on 4.52 acres zoned PRD. These lots are a part of the Sheffield Park subdivision and have a minimum lot size of 15,000 square feet. Each of the proposed lots meets the minimum lot size. Preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends that any approval of the preliminary plat be made subject to all staff comments.



Staff Comments:

- 1) Staff questions whether Lot 71 meets the minimum lot size for this section of 15,000 (111 x 135 = 14,985). Verify that lot 71 is 15,000 sqft.
- 2) Make the proposed lot lines bold on the drawing so that they stand out better.
- 3) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov.
- 4) Right of Way Permit will be needed for the new subdivision entrance off of Veterans Pkwy. Contact Danny Lowe in the Engineering Department for additional details.
- 5) Show roundabout signage including yield, roundabout and pedestrian crossing signs.
- 6) All street signage needs to be in place prior to the release of building permits.
- 7) Shoe existing sidewalk at roundabout.
- 8) Discharge from the rear of lots 75-81 is currently not receiving any treatment as required by the city's stormwater regulations.
- 9) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations www.murfreesborotn.gov/planning and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- 10) This development is required to comply with the City's Stormwater Quality requirements.
- 11) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Stormwater Comments:

- 1) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations www.murfreesborotn.gov/planning and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- 2) As with all developments of more than one acre, this development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit.
- 3) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
- 4) Prior to any permit, submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements.
- 5) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Management Record Sheet.
- 6) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and

stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.

- 7) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement.

Standard Staff Comments:

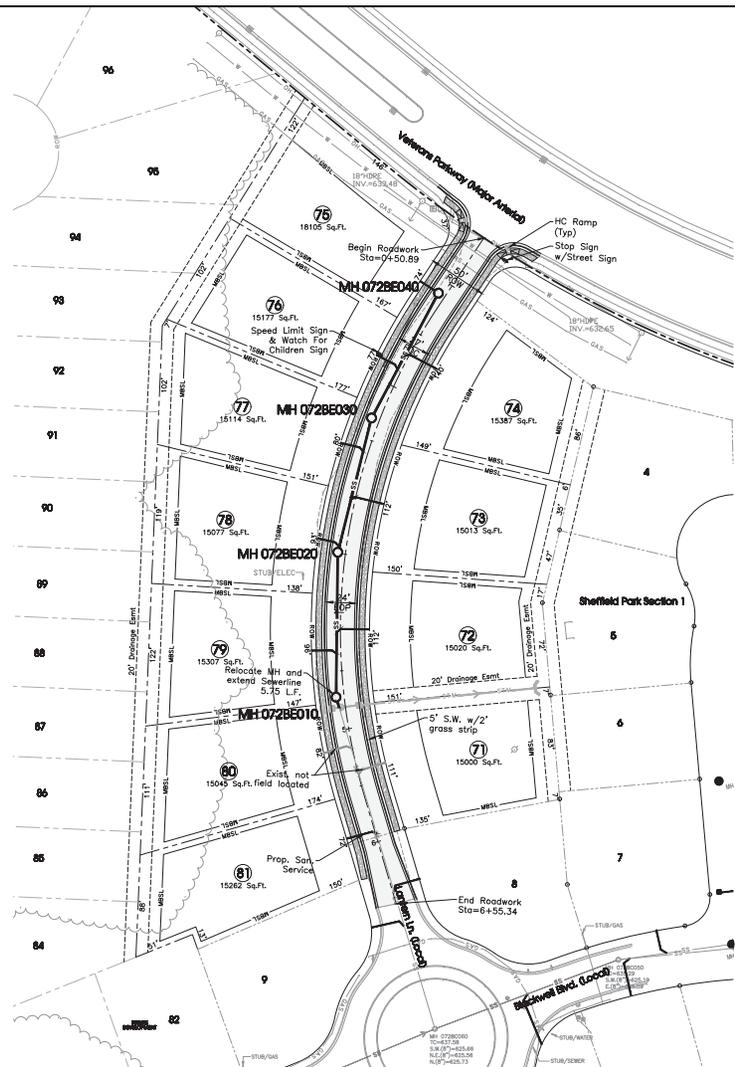
- 1) This preliminary plat is affected by the City's Major Thoroughfare, as Veterans Parkway has already been constructed.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

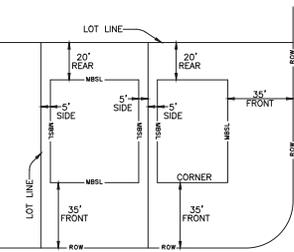
- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) All fire hydrants must be located 4ft from nearest electric facility.
- 5) Water service, domestic, fire and/or irrigation, is provided by CUDRC.
- 6) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@ cudrc.com.
- 7) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@ cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
- 8) All main water line taps are to be made by CUDRC.
- 9) TDEC approved plans from CUDRC and a "Construction Start Notification" letter are to be issued to the contractor from CUDRC prior to the start of any water line construction.
- 10) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 11) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 12) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 13) Resubmit two sets of plans to MWSD for the review of the sewer.

14)MWSD must receive contract and surety prior to signing the plat.

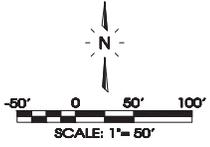
15)Submit a copy of the final Grading & Drainage Plan to MWSD



- NOTES:**
- 1) Main utility trench & conduit # & sizes is shown for location & coordination only. Coordinate final location, # & size of conduits with provider. Gas, CATV, and telephone shown were designed by their respective utilities.
 - 2) Gasline is shown for coordination only. Coordinate final location, size, & crossings with Atmos Gas.
 - 3) Waterline design to be provided by Consolidated Utility District's consultant. Waterline shown is for graphic purposes only and does not represent a design. The locations of all fire hydrants and waterlines will be determined by C.U.D. in compliance with the current Subdivision Regulations.
 - 4) Sidewalks will be responsibility of lot owner/builder in accordance with Subdivision Regulations.
 - 5) MPE's are due to Local Drainage.



TYPICAL MINIMUM BUILDING SETBACKS
N.T.S.



Water Provider: Consolidated Utility District Of Rutherford County

APPROVED FOR CONSTRUCTION
THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE
MURFREESBORO WATER AND SEWER DEPARTMENT
UNDER THE AUTHORITY DELEGATED BY THE
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION
DIVISION OF WATER SUPPLY
AND IS HEREBY APPROVED FOR CONSTRUCTION.
THIS APPROVAL SHALL NOT BE CONSIDERED AS CREATING A PRESUMPTION
OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO
WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES
WILL MEET THE DESIGNED GOALS.
APPROVAL DATE: _____
APPROVAL EXPIRES IN 12 MONTHS
BY: _____
FOR SANITARY SEWER ONLY

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET PROTECTION FILTER
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	HC	HC SIGN
+	EXIST. SIGN POST	—	HEADWALL
○	EXIST. SEWER CLEANOUT	—	WINGED HEADWALL
○	EXIST. MANHOLE (SEWER & PHONE)	○	MANHOLE
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊕	PROPOSED SPOT ELEVATION
⊕	EXIST. WATER/GAS VALVE	⊕	EXIST. SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	⊕	POST INDICATOR VALVE
⊕	EXIST. GAS RISER	⊕	REDUCER
⊕	ELECTRICAL ENCLOSURE	⊕	REMOTE FIRE DEPT. CONNECTION
⊕	EXIST. WATER METER	⊕	REVISION NUMBER
⊕	EXIST. UTILITY POLE	⊕	RIP RAP
⊕	EXIST. FIRE HYDRANT	→	RUNOFF FLOW ARROW
⊕	BENCHMARK	→	SEWER/STORM FLOW DIRECTION
⊕	BLOW OFF VALVE	→	TRAFFIC ARROW
⊕	CONCRETE BOLLARD	→	TURN LANE ARROWS
⊕	CATCH BASIN	V.A.	WAY ACCESSIBLE HANDICAP DESIGNATION
⊕	CURB INLET	⊕	WATER METER
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	⊕	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	⊕	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE & BOX	⊕	CURB & GUTTER
⊕	EXTERIOR CLEANOUT	⊕	CONCRETE SHALE
⊕	EXISTING PHONE	—	PH
⊕	EXISTING ELECTRIC	—	EH
⊕	PROPERTY LINE	—	—
⊕	EASEMENTS	—	—
⊕	RIGHT OF WAY	—	ROW
⊕	EROSION CONTROL SILT FENCE	—	SF
⊕	EXISTING TREELINE	—	—
⊕	EXISTING FENCELINE	—	—
⊕	MINIMUM BUILDING SETBACK LINE	—	MBSL
⊕	PHASE BOUNDARY	—	—
⊕	EXISTING GAS LINE	—	GAS
⊕	PROPOSED GAS LINE	—	GAS
⊕	EXISTING STORM	—	STW
⊕	PROPOSED STORM	—	STW
⊕	EXISTING CONTOUR LINES	—	601
⊕	PROPOSED CONTOUR LINES	—	601
⊕	EXISTING SANITARY SEWER	—	SS
⊕	PROPOSED SANITARY SEWER	—	SS
⊕	EXISTING WATER	—	W
⊕	PROPOSED WATER	—	W

Developers/Owner:
Beazer Homes Corp.
1018 Elm Hill Dr.
Nashville, TN 37210

Land Data:
11 Lots on 4.52± Acres
Min. Lot Size: 15,000 Sq. Ft.
Deed Reference:
P.L.B. 1251, Pg. 3112
Tax Map 114, Parcel 21.04
Zoning: PRD
Flood Map:
No portion of this site lies within the 100 Year Flood Zone per map 47149C0255H Dated January 5, 2007.

Approved by the Murfreesboro Planning Commission, with such conditions as are indicated in the minutes of the Commission on _____
SCALE:
1" = 50'
Preliminary Plat approval shall not constitute final approval for recording purposes.

SIC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
1000 W. MAIN ST., SUITE 200, NASHVILLE, TN 37203
PHONE: (615) 862-7200 FAX: (615) 862-2887
CELL: (615) 862-7200
E-MAIL: MURFREESBORO@SIC-INC.COM
The title of sheets or these construction drawings is limited to certain areas, engineering design, plans, and objectives. It is not to be construed as a representation of the entire project. The engineer, architect, contractor, and subcontractor shall be responsible for the accuracy of the information provided on these drawings.



REVIEWED
(not intended for construction)

Sheffield Park Section 3
Murfreesboro, Tennessee

REVISED:	
DRAWN: SLA	
DATE: 2-25-16	
CHECKED:	
MAT:	
FILE NAME:	
1400-project	
SCALE:	1" = 50'
JOB NO.:	14400
SHEET:	5 of 11

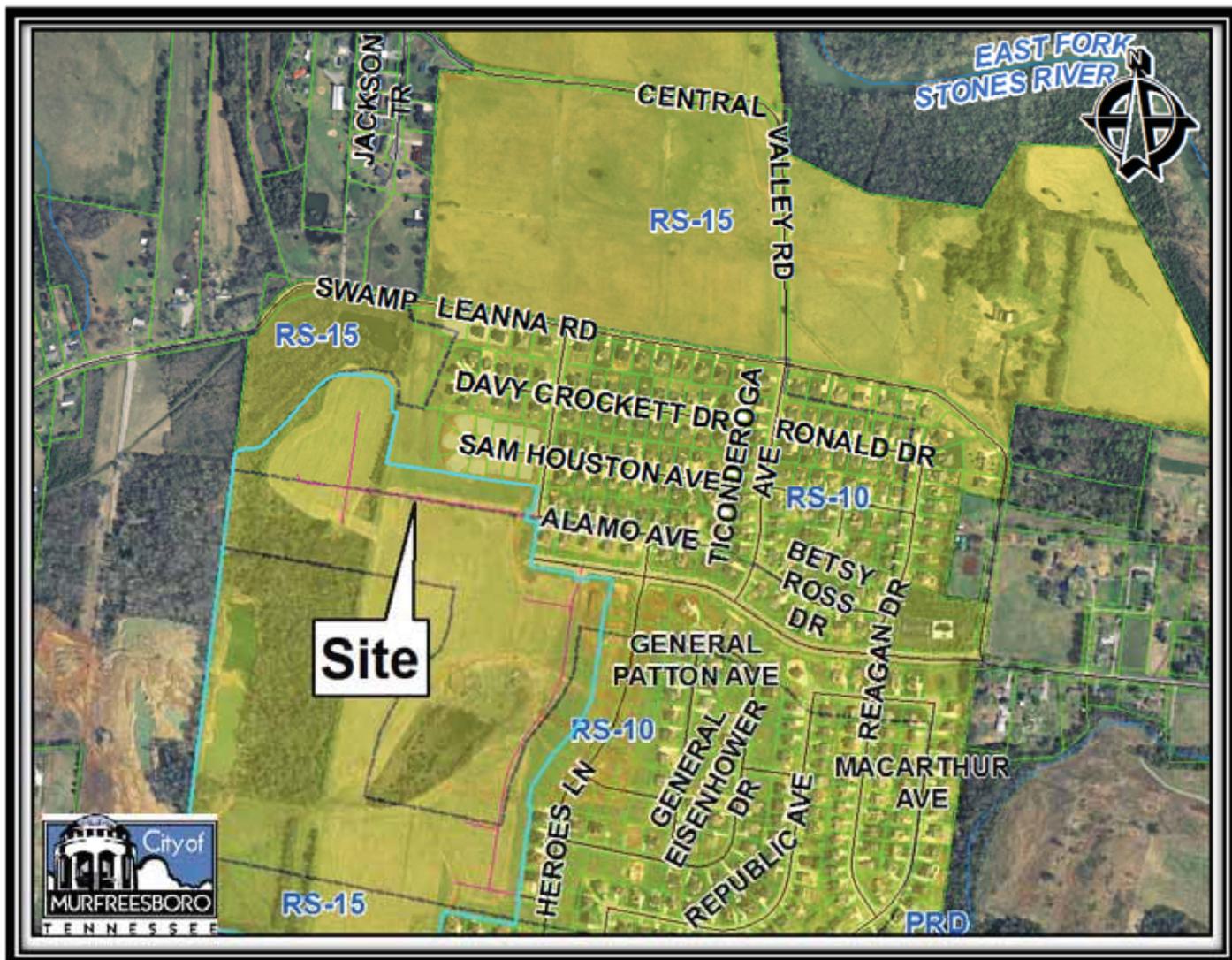
MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 4.d. Liberty Station Section 5 [2016-2022] final plat for 37 lots on 17.6 acres zoned RS-10 and RS-15 located along Alamo Ave., Howard Wall and Jim O'Brien developer.

This is the final plat review for Liberty Station Section 5 single family residential subdivision located along Alamo Ave. The property is zoned RS-10 and RS-15. These lots have a minimum lot size of 10,000 and 15,000 square feet. Each of the proposed lots meets the minimum lot size. The purpose of this plat is to create a 37 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Revise the MBSL for lot 211 and 210 abutting George Washington Boulevard to a 30' rear setback instead of a side setback.
- 2) Verify the building envelope for lot 196 is adequate to accommodate the builder's house plans.
- 3) Include the applicable lot numbers underneath each of the typical setback diagrams.
- 4) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov.
- 5) This development is required to comply with the City's Stormwater Quality requirements.
- 6) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 7) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 8) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 9) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is affected by the City's Major Thoroughfare Plan, as George Washington Boulevard is planned to be improved.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to [subdivisions@cudrc.com](mailto:subdivisions@ cudrc.com).
- 4) MWSD must receive surety prior to signing the plat.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY AGREE TO DEDICATE THE SAME TO THE CITY OF MURFREESBORO WITH MY (OUR) FREE CONSENT ESTABLISHING THE MINIMUM BUILDING RESTRICTION LINES AND DESIGNATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREON, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: HOWARD D. WALL
RECORD BOOK 102, PAGE 2587
RECORD BOOK 105B, PAGE 204

DATE: JAMES M. O'BRIEN, III
RECORD BOOK 102, PAGE 2581
RECORD BOOK 105B, PAGE 204

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. INC.
DATE: REGISTERED SURVEYOR
TENN. R.L.S. NO.

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY THAT THE STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY ORDINANCES AND A PERMIT FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND ORDINANCES OF THE CITY OF MURFREESBORO. THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION CONSENT PUBLIC WATER SYSTEMS DESIGN PLAN (D-2) THAT A SURVEY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE: CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND ORDINANCES OF THE CITY OF MURFREESBORO. THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWAGE WORKS THAT A SURVEY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME. (D) THAT A SUBSURFACE SEWER SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

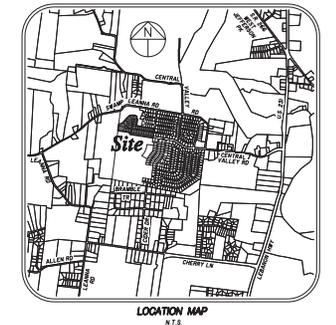
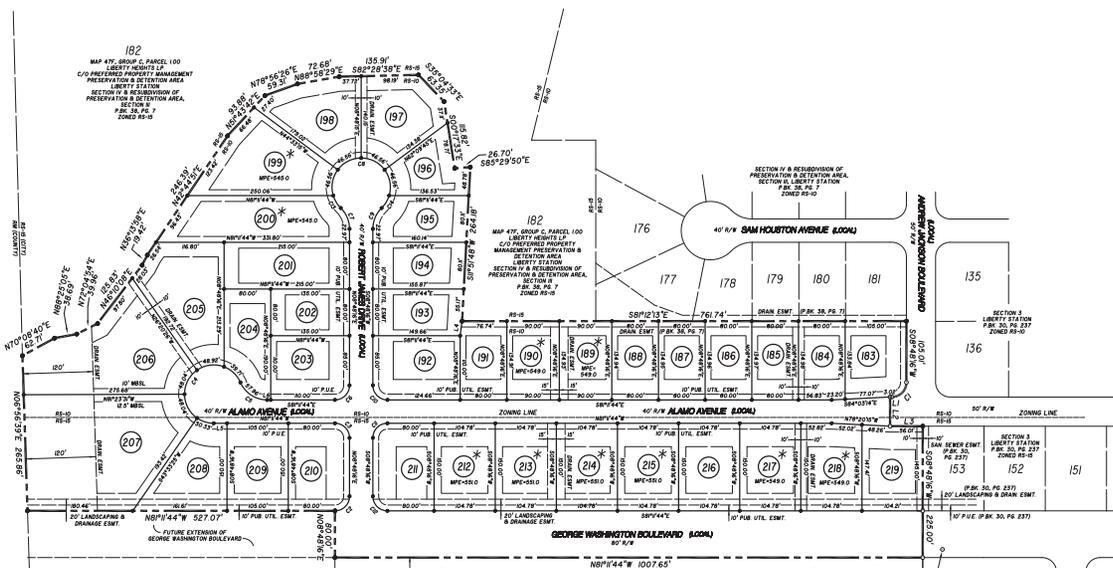
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION ELECTRIC SERVICE JURISDICTION
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEC AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEC, AND IN ACCORDANCE WITH THE MTEC PLANT APPROVAL CHECKLIST. THESE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEC WEB SITE AT WWW.MTEC.COM COLLECTIVELY THE "REQUIREMENTS" FOR ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEC'S REQUIREMENTS HAVE BEEN MET AND APPROVED BY WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEC'S REQUIREMENTS.

DATE: MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORP. OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDS

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDS IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE: PLANNING COMMISSION SECRETARY



- GENERAL NOTES**
- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 37 SINGLE FAMILY LOTS.
 - THE WATER SYSTEM IS BASED ON TENNESSEE STATE PLANS CORRELATED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT (UGB-25) (MAD 83-96).
 - THIS PROPERTY LIES WITHIN ZONE K, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATION SHOWN ON FEMA FLOOD MAPS FOR RUTHERFORD COUNTY, MAP NO. 17400-01A, EFFECTIVE DATE: JANUARY 2, 2007.
 - ANY MINIMUM FINISHED FLOOR ELEVATION (MFF) FEET SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
 - THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM UTILITY APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPLETELY AND ACCURATELY REPRESENT THE ACTUAL LOCATION AND DEPTH OF UTILITIES. THE USER SHOULD BE CONSIDERED AS THE APPROPRIATE UTILITY COMPANY.
 - NO TITLE REPORT WAS FURNISHED TO THIS SURVEY, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINANCES OF A CURRENT AND ACCURATE TITLE SEARCH.
 - PROPERTY IS ZONED RS-10 AND RS-10 MINIMUM BUILDING SETBACKS FOR THIS SITE ARE: RS-10 FRONT = 40 FT. / SIDE = 15 FT. / REAR = 30 FT. CONCRETE LOTS HAVE 5' FRONT AND 5' REAR.
 - SOIL MATERIALS ON THIS SUBDIVISION MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMING BEFORE OR AFTER DEVELOPMENT THEREON. THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOLOGICAL ENGINEER OR OTHER LICENSED PROFESSIONAL AS NECESSARY TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ACCURATE.
 - IT IS THE RESPONSIBILITY OF EACH LOT OWNER OR BUILDER TO DESIGN AND CONTRACT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER WITHOUT FLOODING THE LOT OR UNDER BUILDING FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
 - PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS METEOROLOGICAL, NATURAL GAS COMPANIES, CONDUITS TO UTILITIES, STREET LIGHTING, TELEPHONE SERVICES AND OTHERS.
 - UNDER THE CURRENT APPLICABLE PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (MFE) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE FOR THE PLUMBING CODE AND MANHOLE AND RECORD THE RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
 - ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
 - THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
 - EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THE CONSTRUCTION.
 - A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
 - ANY COMMON AREAS IN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER ASSOCIATION TO MAINTAIN.
 - BEFORE TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - NO UNLAWFUL ACCESS IS GRANTED TO GEORGE WASHINGTON BOULEVARD, OR A FUTURE EXTENSION OF SAME, FROM LOTS 207 THRU 209.



LOT AREAS

LOT NO.	AREA (SQ. FT.)	ADDRESS
182	10,564	314
184	10,796	248
186	10,796	248
188	10,796	248
190	12,144	279
192	12,144	279
194	12,144	279
196	12,144	279
198	12,144	279
200	12,144	279
202	12,144	279
204	12,144	279
206	12,144	279
208	12,144	279
210	12,144	279

MINIMUM PAD ELEVATION

LOT NOS.	MIN. BLDG. PAD ELEV.	REASON FOR M.F.E.
189, 190, 207, 208	54.80	LOCAL DRAINAGE
199, 200	54.80	LOCAL DRAINAGE
192, 203, 204, 205	55.00	LOCAL DRAINAGE

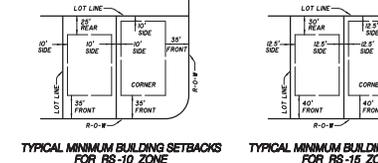
THE LOTS SHOWN IN THE TABLE ABOVE ARE NOT WITHIN A FEMA 100 YEAR FLOOD HAZARD AREA. MINIMUM PAD ELEVATIONS ARE BEING ESTABLISHED TO PROTECT THE HOMEOWNER FROM NEARBY LOCAL DRAINAGE SYSTEMS.

LINE DATA

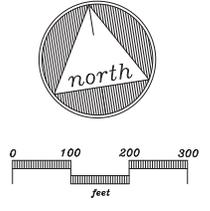
LINE	BEARING	DISTANCE
L1	N81°11'44"W	13.00'
L2	S09°48'16"W	80.00'
L3	S81°11'44"W	16.00'
L4	N16°13'31"E	28.12'
L5	N81°11'44"W	22.80'
L6	S81°11'44"W	12.20'

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	90°00'00"	25.00'	39.28'	29.01'	39.36'	S57°48'16"W
C2	90°00'00"	25.00'	39.27'	29.00'	39.36'	N15°48'16"E
C3	90°00'00"	25.00'	39.27'	29.00'	39.36'	N36°11'44"W
C4	64°28'19"	50.00'	219.39'	76.38'	83.47'	N10°00'00"E
C5	64°28'19"	50.00'	57.96'	33.73'	54.77'	S47°09'09"E
C6	90°00'00"	25.00'	39.27'	29.00'	39.36'	N15°48'16"E
C7	45°44'21"	50.00'	29.77'	21.00'	38.73'	N15°08'06"W
C8	271°108'46"	50.00'	286.62'	49.01'	70.00'	S81°11'44"W
C9	45°44'21"	50.00'	29.77'	21.00'	38.73'	S15°08'06"W
C10	90°00'00"	25.00'	39.27'	29.00'	39.36'	S36°11'44"E
C11	90°00'00"	25.00'	39.27'	29.00'	39.36'	N15°48'16"E
C12	90°00'00"	25.00'	39.27'	29.00'	39.36'	S36°11'44"E
C13	289°51'52"	50.00'	25.19'	12.86'	24.92'	N39°58'57"E
C14	289°51'52"	50.00'	25.19'	12.86'	24.92'	N39°58'57"E



TYPICAL MINIMUM BUILDING SETBACKS FOR RS-10 ZONE
TYPICAL MINIMUM BUILDING SETBACKS FOR RS-15 ZONE



OWNER:
HOWARD D. WALL
71.67 PERCENT UNDIVIDED INTEREST
CONTACT: HOWARD WALL
1807 S.E. BROAD STREET
MURFREESBORO, TN 37150
MAP 47, P/O PARCEL 31
R.B.K. 1405, PG. 204

OWNER:
JAMES M. O'BRIEN, III
28.33 PERCENT UNDIVIDED INTEREST
CONTACT: JAMES M. O'BRIEN, III
1900 OLD FORT PARKWAY
MURFREESBORO, TN 37129
MAP 47, P/O PARCEL 31
R.B.K. 102, PG. 2581

SITE DATA:
TOTAL AREA = 17,546 ACRES
AREA IN RIGHT-OF-WAY = 3.70 ACRES
NO. OF LOTS = 37
ZONING = RS-10
MINIMUM LOT SIZE = 10,000 SQ. FT.
ZONING = RS-15
MINIMUM LOT SIZE = 15,000 SQ. FT.

FINAL PLAT

SECTION 5
LIBERTY STATION
SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
9th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (661) 890-1901 • FAX (661) 890-5567

PROJ. # 18450
DATE 02-10-16
REV. 1
FILE LISTBASECPLT
DRAWN BY ACAD/AVG
SCALE: 1" = 100'
SHEET 1 OF 1

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 4.e. Villages at McKnight Park Lot 2 and Resubdivision Lot 1 [2016-2027] final plat for 2 lots on 3.1 acres zoned CH located along Memorial Boulevard, IPM developer.

This is the final plat review for Villages at McKnight Park Lot 2 and Resubdivision Lot 1 commercial subdivision located along Memorial Boulevard. The property is zoned CH. The purpose of this plat is to create a 2 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Include side setback footnote for CH zoning.
- 2) The acreage for Lot 1 is indicated to be 1.77 acres on the preliminary plat and 1.868 on the final plat. Which is correct? Please reconcile.
- 3) Change the wording of the “New Parcel Line” label to read “New Lot Line.”
- 4) A Quitclaim deed for city-owned property should be provided prior to signing and recordation of the plat.
- 5) Provide 20’ drainage easement for the proposed cross drain at the access drive and across Lot 1.
- 6) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission’s review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer’s certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City’s Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers’ installation of conduit, pedestals or vaults, and laterals referred to as “equipment” to be provided at each such providers’ expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 2) The developer is financially responsible for providing water and sewer service to each lot.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISHING THE MINIMUM BUILDING RESTRICTION LINES AND RESERVING ALL UTILITIES, ALLEYS, MARKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: ROBERT L. KIRBY, PARTNER
 WA
 A TENNESSEE GENERAL PARTNERSHIP

DATE: JEWELL M. HALL, PARTNER
 WA
 A TENNESSEE GENERAL PARTNERSHIP

OWNER:
 JPM, A TENN. GENERAL PARTNERSHIP
 CONTACT: ROBERT L. KIRBY
 P. O. BOX 668
 McMinnville, TN 37010
 MAP 60, PARCEL 32
 R.B.K. 132, PG. 147
 MSP 80, PARCEL 32
 R.B.K. 1347, PG. 3094
 MAP 60, PARCEL 34 & 35
 R.B.K. 290, PG. 2528 & 2529
 R.B.K. 1424, PG. 2974
 MAP 69, 1/20 PARCEL 72
 R.B.K. PG.

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:3000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN SEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

DATE: REGISTERED SURVEYOR
 TENN. R.L.S. No.

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMENTARY PUBLIC WATER SYSTEM DESIGN CRITERIA, OR THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWAGE DISPOSAL, OR THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME, OR THAT A SUBSURFACE SEWER SYSTEM SHALL BE FORTIFIED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

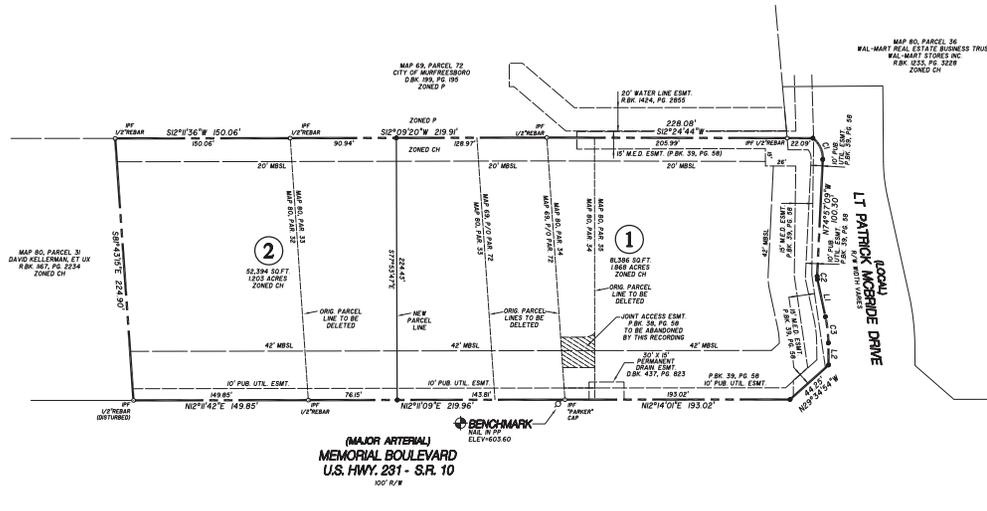
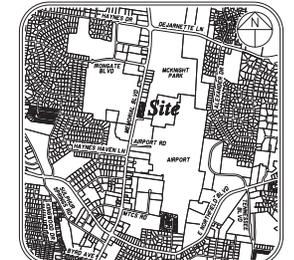
I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE MINIMUM BUILDING RESTRICTIONS WITHIN THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE: MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDS

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE WRITERS OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE: PLANNING COMMISSION SECRETARY



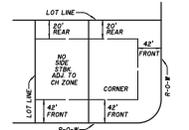
- GENERAL NOTES**
- THE PURPOSE OF THIS FINAL PLAT IS TO CONSOLIDATE MAP 60, PARCELS 32, 33, 34, 35, AND A PORTION OF MAP 68, PARCEL 72 AS ESTABLISHED LOTS OF RECORD, AND TO ADJUST ACCESS EASEMENTS FOR THE BENEFIT OF LOTS 1 & 2. MAP 60, PARCEL 35 IS ALSO KNOWN AS LOT 1, VILLAGES AT MCKNIGHT PARK, RECORDED IN PLAT BOOK 28, PAGE 56, R.O.R.C., TN.
 - SEWER SYSTEM IS BASED ON TENNESSEE STATE PLANS SUBMITTED TO CITY OF MURFREESBORO URBAN DESIGN/SEWER MONUMENT (0602-08) (N&S-26).
 - THIS PROPERTY LIES WITHIN ZONE K, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATION SHOWN ON FEMA FLOOD MAPS FOR RUTHERFORD COUNTY, MAP NO. 47490204H-1, EFFECTIVE DATE JANUARY 5, 2007.
 - ANY ANNUAL FLOOD ELEVATION (FEMA) FLOOD INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
 - THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES, ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE. PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN CORRELATE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
 - NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS PROPERTY IS SUBJECT TO THE PRIORITIES OF A CURRENT AND ACCURATE TITLE SEARCH.
 - SUBJECT PROPERTY IS ZONED CH. MINIMUM BUILDING SETBACKS FOR THIS PROPERTY ARE: FRONT - 42 FT. / SIDE - 0 FT. (ADA TO CH ZONE) / REAR - 20 FT.
 - IF THE SOIL MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT, THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE INTELLECT THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
 - IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT POONING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
 - PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, FIBER, CABLE TELEVISION SERVICES AND OTHERS.
 - UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION MUST BE SET AT OR ABOVE THE TOP OF CURBING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKFLOW VALVE FOR THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF ADJACENT-CLAIM AGAINST THE CITY OF MURFREESBORO WITH RESPECT TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
 - EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THE CONSTRUCTION.

LINE DATA

LINE	BEARING	DISTANCE
L1	S89°52'32"W	32.71'
L2	N10°10'41"E	18.82'

CURVE DATA

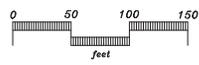
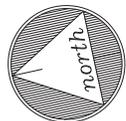
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
CL	89°52'32"	21.84'	20.84'	11.35'	20.04'	S77°19'28"W
CD	14°55'25"	10.00'	2.60'	1.11'	2.60'	N85°24'02"W
CD	11°53'54"	112.50'	22.71'	11.39'	22.67'	N84°02'58"W



TYPICAL MINIMUM BUILDING SETBACKS FOR CH ZONING

LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)



THE RECORDING OF THIS PLAT VACATES AND SUPERSEDES THE RECORDING OF LOT 1 ON A FINAL PLAT ENTITLED "LOT 1, VILLAGES AT MCKNIGHT PARK", AS RECORDED IN PLAT BOOK 59, PAGE 58, R.O.R.C., TN.

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK _____, PAGE _____

SITE DATA:
 TOTAL AREA = 3.071 ACRES
 NO. OF LOTS = 2
 MINIMUM LOT SIZE = NONE
 ZONING = CH

FINAL PLAT

Lot 2 & Resubdivision of Lot 1 Villages at McKnight Park SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
 13th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

800 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37079
 PHONE (615) 890-7200 • FAX (615) 890-1267

PROJ # 12202 DATE: 2-13-15 REV: _____ FILE: VWP-2-HALOTPLAT DRAWN BY: ACAD/WG SCALE: 1" = 60' SHEET: 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS
MARCH 16, 2016**

4.f. Evergreen Farms Section 34 [2016-2030] final plat for 38 lots on 7.2 acres zoned PRD located along Odessa Ave, Ole South Properties Inc. developer.

This is the final plat review for Evergreen Farms Section 34 single family residential subdivision located along Odessa Ave. The property is zoned PRD. These lots have a minimum lot size of 6,000 square feet. Each of the proposed lots meets the minimum lot size. The purpose of this plat is to create a 38 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Confirm with the builder that Lot 1530 has an adequate building envelope for a proposed house.
- 2) Provide a more legible location map.
- 3) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov
- 4) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 5) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."
- 6) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) This development is required to comply with the City's Stormwater Quality requirements.
- 4) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 5) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 4) MWSD must receive contract and surety prior to signing the plat.



LOCATION MAP
N.T.S.

- PLAT NOTES**
- In Tennessee, it is a requirement per the Underground Utility Storage Permitting Act that anyone who engages in excavation must notify all known utility owners of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One-Call system can be notified by calling toll free 1-800-321-1111.
 - Underground utilities shown were located during geotechnical investigations, and site from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing work.
 - It is the responsibility of each holder to design and construct a suitable grading and drainage system which will properly maintain surface water, subsurface water, and storm water. The design and construction of the drainage system is controlled by the subdivision developer.
 - Factors may be taken to maintain easements, and/or easements, by report of jurisdiction, that a complete title search may reveal.
 - Public utility and drainage easements, where shown, are intended to indicate an easement location, but not limited to, sanitary sewer, storm water, water, telephone, cable, electric, gas, and other utilities. Design plans, and natural gas lines. Easements in the subdivision may not have structures constructed within each until some future time and there may be no notice or consultation with the individual lot owners of this subdivision.
 - Intersections by Cumberland Utility District (C.U.D.). Contact C.U.D. for water line design, including water line size and the layout location. All main water line tags are to be made per C.U.D. The sewer/development budget program should contact C.U.D. for material fees to project which may be applicable. Contact developer flood with C.U.D. (910-253-3313) for water meter specifications.
 - Utility easements and erosion control measures must be installed and inspected prior to construction beginning.
 - For the City of Murfreesboro, under the current adopted planning code, the City of Murfreesboro requires the minimum clear elevation (C.F.E.) to be set at or above the top of existing elevation of the nearest multiple feet in excess of the backwater water per the planning code and reduce and record a release of indemnification against the City of Murfreesboro with respect to the sanitary sewer connection. The building or/for sewerer shall be responsible for compliance with this requirement.
 - Electric service provided by Murfreesboro Electric Department (M.E.D.). Contact M.E.D. for electric line design, requirements and specifications.
 - Any error in this subdivision may be corrected without prejudice at any time without additional notice or consultation. The developer on this plat may be considered as contributing to the future without consultation or notice to the County of Deeds or the Register of Deeds.
 - For the City of Murfreesboro, grading on this site must be complete before release of building permits.
 - Appropriate street signs must be installed by developer and in place prior to the release of building permits.
 - Property is within the County of Deeds (Rutherford County) District and the St. Andrew School District Investment District. All necessary requirements must be done with the local jurisdiction.
 - All residential building permits must be approved by the developer and planning staff. Building standards and other rules must be submitted to the Planning Department for review and approval. The developer must obtain a copy of the current Building Code from the Planning Department.
 - For the City of Murfreesboro, a mandatory sewer connection is required as a condition of approval in order to meet obligations established by the Developer. The Common Area shown on the subdivision shall be the responsibility of the subdivision developer to maintain.

CERTIFICATE OF OWNERSHIP AND DESIGNATION

I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described herein and that I (we) hereby intend this plat of subdivision with any (our) free consent and establish the minimum building restriction lines, and delineate all streets, utility lines, and utility easements, parks and other open spaces in public or private use as noted.

Date _____
 EVERGREEN FARMS DEVELOPMENT, INC.
 Part of Record Book 445, Page 2533
 Part of Record Book 542, Page 3016
 John G. Fleet, President

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision shown herein has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such provisions, if any, as are noted in the records of the Planning Department of Rutherford County, Tennessee. The subdivision shown herein has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date _____
 SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I hereby certify that (1) the streets, drainage structures, drainage improvements, and drainage utility easements for the subdivision shown herein have been installed in accordance with city specifications, or (2) that a Survey for these improvements has been posted with the City of Murfreesboro to ensure completion of same.

Date _____
 CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER SUPPLY LOCATED IN THE WATER SERVICE JURISDICTION OF CONDOLGATE COUNTY DISTRICT OF RUTHERFORD COUNTY

I hereby certify that (1) the water lines and appurtenances for the water system of the subdivision shown herein have been installed in accordance with city codes and specifications, or the specifications of the Condolgate Utility District of Rutherford County, Tennessee, and the Tennessee Department of Environment and Conservation, and the Tennessee Department of Health, and (2) that a Survey for these improvements has been posted with the Condolgate Utility District of Rutherford County to ensure completion of same.

Date _____
 CONDOLGATE UTILITY DISTRICT OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I hereby certify that the subdivision shown herein has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision shown herein complies with the MED standards, and that MED is able to install power service to the subdivision subject to the Owner providing with the subdivision plat the appropriate electric service and that electric power service will be provided with MED's requirements for electric power service have been met.

Date _____
 MURFRESBORO ELECTRIC DEPARTMENT OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown herein have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design District for Sewage Wastewater (2) that a Survey for these improvements has been posted with the City of Murfreesboro to ensure completion of same, or (3) that a subdivision sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date _____
 MURFRESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF ACCURACY - I hereby certify that this is a warranted survey in 1:10,000 or shown herein and that this survey was done in accordance with the standards of the National Standards of Practice for Land Surveyors. I also certify that the monuments shown hereon are of the City Engineer.

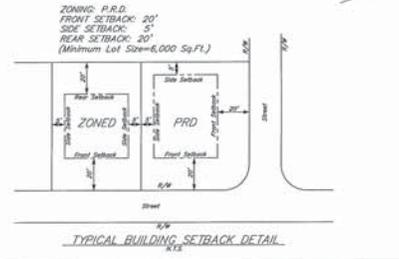
DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____

OWNER: Evergreen Farms Development, Inc.
 ADDRESS: 262 Robert Rose Drive, Suite 300
 Murfreesboro, TN 37126
 Top Map 101, Part of Parcels 10.01
 Part of Record Book 439, Page 1170

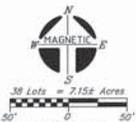


CHUDDESTON-STEEL ENGINEERING, INC.
 1715 S.W. 85th STREET, PALM BEACH, FL 33411
 PHONE: 561-855-1555 FAX: 561-855-1588

FINAL PLAT
Section XXXIV
EVERGREEN FARMS
P.R.D.
 12th Civil District of Rutherford County, Tennessee
 Date: February, 2016 Scale: 1"=50' Sheet 1 of 1



CURVE TABLE					LINE TABLE	
CURVE	DELTA	RADIUS	ARC	CHORD	BEARING	LENGTH
C1	91°37'28"	25.00	45.13	35.95	N81°34'51"E	13.47
C2	27°44'00"	50.00	24.20	23.97	S08°20'50"W	8.75
C3	30°21'24"	50.00	28.84	26.32	N08°22'16"W	19.97
C4	10°14'14"	50.00	45.00	43.50	N34°20'32"E	16.50
C5	55°20'20"	50.00	57.01	53.98	S87°12'19"E	13.48
C6	27°44'00"	50.00	24.20	23.97	N82°21'17"E	8.74
C7	92°29'17"	50.00	40.20	38.00	S51°40'07"W	5.34
C8	87°52'45"	25.00	38.34	34.69	S39°12'56"E	5.34
C9	91°37'28"	25.00	40.12	35.05	N81°34'51"E	5.34
C10	88°32'25"	25.00	38.41	34.75	N38°13'07"W	5.34
C11	87°17'17"	25.00	40.20	36.00	S51°40'07"W	5.34
C12	87°52'45"	25.00	38.34	34.69	N38°13'07"W	5.34



LEGEND FOR MONUMENTS
 ○ HIGH PILE SET
 ○ 1/2" x 6" with HORIZONTAL
 ○ 1/2" x 6" with VERTICAL
 ○ RAILROAD SPIKE
 ○ IRON PIPE
 ○ SURVEY POINT
 ○ NAIL
 ○ CONIC MARKER FIND

THESE LOTS ARE NOT LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP #2086, PANEL NO. 0255.H, ZONE X, DATED: 06/09/07

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

4.g. Hillwood Section 5 [2016-2031] final plat for 31 lots on 7 acres zoned PRD located along Almar Knot Drive, Murfreesboro Land CO. developer.

This is the final plat review for Hillwood Section 5 single-family residential subdivision located along Almar Knot Drive. The property is zoned PRD. These lots have a minimum lot size of 6,100 square feet. Each of the proposed lots meets the minimum lot size. The purpose of this plat is to create a 31 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Call out Barwood Drive as Miranda Drive as this street name will be changed in the near future.
- 2) Move the street name labels to the actual right-of-way.
- 3) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov.
- 4) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 5) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) This development is required to comply with the City's Stormwater Quality requirements.
- 4) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 5) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 4) MWSD must receive surety prior to signing the plat.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISHING THE MAIN BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES, TRENS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____
 RECORD BOOK 040, PAGE 348
 JOHN D. FLOYD
 MANAGING MEMBER
 MURFREESBORO LAND COMPANY, LLC
 A TENNESSEE LIMITED LIABILITY COMPANY

A DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, AND THE CREATION OF THE HILLWOOD HOMEOWNERS ASSOCIATION TO BE SHOWN HERON, ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1/5000 OR GREATER AS SHOWN HERON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

DATE: _____ REGISTERED SURVEYOR
 TENN. R.L.S. No. _____

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE
 I HEREBY CERTIFY THAT THE STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND ESTIMATED QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN MET IN ACCORDANCE WITH CITY SPECIFICATIONS, OR AS TO THAT A SURVEY FOR THESE IMPROVEMENTS HAS BEEN FILED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: _____ CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 CONSIDERED UTILITY DISTRICT RUTHERFORD COUNTY WATER SERVICE JURISDICTION
 I HEREBY CERTIFY THAT THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND REGULATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY, THE BLUE BELT STRATEGIC AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN AND CONSTRUCTION SPECIFICATIONS FOR WATER IMPROVEMENTS AS APPROVED BY THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY.

DATE: _____ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I HEREBY CERTIFY THAT THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND REGULATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWER WORK. (2) THAT A SURVEY FOR THESE IMPROVEMENTS HAS BEEN FILED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME. (3) THAT THE SUBSURFACE SEWER SYSTEM WILL BE REMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: _____ MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS WILLING TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OTHER CONSENTS WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE: _____ MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE: _____ PLANNING COMMISSION SECRETARY

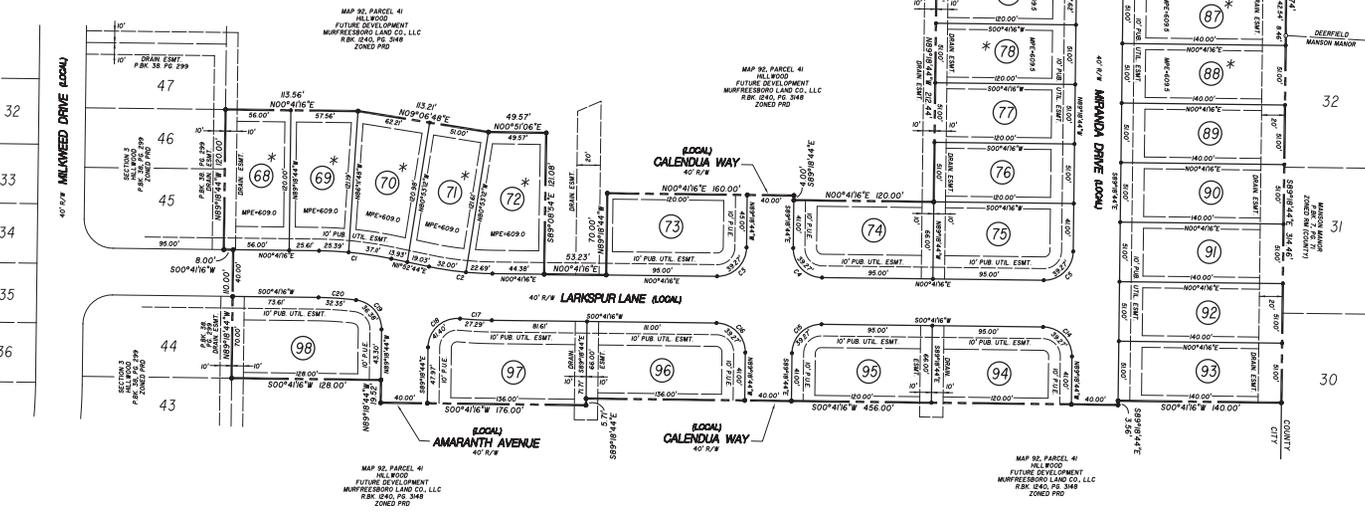
LOT AREAS

LOT	SQ. FT.	ACRES
68	6,120	0.141
69	6,124	0.140
70	6,810	0.156
71	6,213	0.143
72	7,066	0.162
73	6,126	0.140
74	7,786	0.179
75	7,786	0.179
76	6,120	0.140
77	6,120	0.140
78	6,120	0.140
79	6,654	0.153
80	7,009	0.161
81	6,100	0.140
82	6,120	0.140
83	9,177	0.209
84	8,987	0.206
85	10,748	0.247
86	8,643	0.203
87	7,134	0.164
88	7,140	0.164
89	7,140	0.164
90	7,140	0.164
91	7,140	0.164
92	7,140	0.164
93	7,140	0.164
94	7,786	0.179
95	7,786	0.179
96	8,642	0.203
97	8,643	0.203
98	8,648	0.203

*** MINIMUM PAD ELEVATION REQUIRED**

LOT NO.	MIN. BLDG. PAD ELEV.	REASON
68-72	609.0	LOCAL DRAINAGE
76-80	609.0	LOCAL DRAINAGE
84	609.0	LOCAL DRAINAGE
86-88	609.0	LOCAL DRAINAGE

NOTE: THESE LOTS ARE NOT IN A 100 YEAR F.E.M.A. FLOOD HAZARD AREA. MINIMUM PAD ELEVATIONS HAVE BEEN ESTABLISHED TO PROTECT THE HOMEOWNER FROM POSSIBLE HIGH WATER IN LOCAL DRAINAGE SYSTEMS, AS NOTED IN COMMENT.



GENERAL NOTES

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 31 SINGLE FAMILY LOTS.
- THE SURVEY SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MOVEMENT U0802-235 (MD 83-MD).
- THIS PROPERTY LIES WITHIN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FLOOD MAPS FOR RUTHERFORD COUNTY, MAP NO. 4740000R, EFFECTIVE DATE JANUARY 1, 2007.
- ANY MANDATED FINISHED FLOOD ELEVATION (WITH FEET) SHOWN INDICATES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM PUBLIC APURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE LOCATION, DEPTH, TYPE, SIZE, OR MATERIAL OF ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPLICABLE UTILITY PROVIDER.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS PROPERTY IS SUBJECT TO THE PROVISIONS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTY IS ZONED PD. MINIMUM BUILDING SETBACKS FOR THIS SECTION ARE: FRONT 25 FT., SIDE 5 FT., REAR 10 FT. MINIMUM FRONT SETBACK IS 25 FT. FOR A FRONT ENTRY GARAGE.
- THE SOIL MATERIALS ON LOTS SHOWN HEREON MAY BE DETERMINED BY CUTTING OR PALING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUILDING OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CORRECT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUTABLE FOUNDATION AND DRAINAGE PLAN WHICH CONVEY SURFACE WATER WITHOUT FLOODING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES, SUCH AS THE MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CONSOLIDATED UTILITY DISTRICT, CABLE TELEVISION SERVICES AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (FIN F) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION AS AN ALTERNATE TO THE MINIMUM FIN F SHALL BE INSTALLED A BACKFLOW VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARD TO THE SANITARY SEWER CONNECTION FROM THE BULKHEAD AND/OR HOME OWNER SHALL BE OBLIGATED FOR COMPLYING WITH THIS REQUIREMENT.
- THIS PROPERTY IS WITHIN THE OVERALL CREEK ASSESSMENT DISTRICT.
- ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
- THE STREET IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSTRUCTION OF THIS SUBDIVISION.
- IF EASEMENTS IN THIS SUBDIVISION MAY HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM, OWNERS SHOULD FUTURE TIME AND THERE MAY BE NO NOTICE OF CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE CITY OF MURFREESBORO.
- ANY COMMON AREAS WITHIN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE OWNERS ASSOCIATION TO MAINTAIN.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING POINT SURVEY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDE ALLEYS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN THE HILLWOOD STORMWATER MANAGEMENT PLAN TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ORDER TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK _____, PAGE _____

CURVE DATA

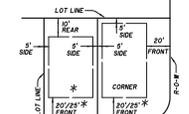
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	117°11'28"	300.00'	62.90'	31.35'	62.40'	N06°17'00"E
C2	117°11'28"	280.00'	54.69'	27.43'	54.60'	N06°17'00"E
C3	90°00'00"	35.00'	35.00'	0.00'	35.00'	N45°18'44"E
C4	90°00'00"	35.00'	35.27'	25.00'	35.36'	N45°18'44"E
C5	90°00'00"	35.00'	35.27'	25.00'	35.36'	N45°18'44"E
C6	37°47'15"	780.00'	51.57'	70.79'	51.56'	S88°47'38"W
C7	37°47'15"	300.00'	30.64'	18.30'	30.63'	S88°35'17"W
C8	37°47'15"	400.00'	37.28'	14.14'	38.89'	S88°35'17"W
C9	96°17'44"	25.00'	32.62'	23.40'	14.17'	N45°18'44"E
C10	4°58'43"	400.00'	17.78'	8.31'	17.81'	N01°48'05"E
C11	4°58'43"	250.00'	12.16'	11.09'	12.15'	S01°48'05"E
C12	90°00'00"	35.00'	35.00'	0.00'	35.00'	N45°18'44"E
C13	2°18'15"	850.00'	34.88'	17.44'	34.88'	S89°28'09"E
C14	90°00'00"	35.00'	35.27'	25.00'	35.36'	N45°18'44"E
C15	90°00'00"	35.00'	35.27'	25.00'	35.36'	N45°18'44"E
C16	90°00'00"	35.00'	35.27'	25.00'	35.36'	N45°18'44"E
C17	4°58'43"	400.00'	17.78'	8.31'	17.81'	N01°48'05"E
C18	94°53'14"	25.00'	41.40'	27.23'	36.85'	S44°52'07"E
C19	85°52'53"	25.00'	36.38'	22.27'	31.86'	S44°52'07"E
C20	6°57'07"	280.00'	31.35'	16.19'	31.35'	S03°59'50"W

LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)

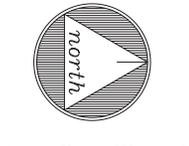
LINE DATA

LINE	BEARING	DISTANCE
L1	N85°45'17"E	10.00'
L2	S89°43'27"E	8.08'



TYPICAL MINIMUM BUILDING SETBACKS FOR HILLWOOD P.R.D.

* FRONT SETBACK SHALL BE 25 FT. FOR A HOUSE WITH A FRONT ENTRY GARAGE.



FINAL PLAT

SECTION 5 HILLWOOD SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
 13th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC. Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

850 MOBILE TENNESSEE BLVD. • MURFREESBORO, TENNESSEE 37099
 PHONE: (615) 890-1200 • FAX: (615) 890-2501

MASTER PLAN PREPARED IN PRD: PRD 3RD & FINAL READING - OCT. 14, 2010

PROJ. # 0640	DATE: 2-24-14	FILE: HILLWOOD06PLAT	DRAWN BY: ACAD/JWS	SCALE: 1" = 50'	SHEET: 1 OF 1
REV: _____	REV: _____	REV: _____	REV: _____	REV: _____	REV: _____

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

4.h. Saint Andrews Place Section 8 [2016-2033] final plat for 29 lots on 9.3 acres zoned PRD located along Mapleside Lane, Ole South Properties Inc. developer.

This is the final plat review for Saint Andrews Place Section 8 single family residential subdivision located along Mapleside Lane. The property is zoned PRD. These lots have a minimum lot size of 6,000 square feet. Each of the proposed lots meets the minimum lot size. The purpose of this plat is to create a 29 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Because of the reduced width caused by the drainage easement, the design engineer needs to confirm with the builder that the building envelope on Lot 276 is adequate.
- 2) The curve table has been omitted from this plat. Please include.
- 3) Confirm that the lot 278 meets the minimum 55' lot width at the front setback line. If it does not, then the width will need to be increased.
- 4) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov.
- 5) This development is required to comply with the City's Stormwater Quality requirements.
- 6) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 7) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 8) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 9) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."
- 10) Add the Notation of future maintenance responsibility- "The common areas shown on the subdivision shall be the responsibility of the owners association to maintain."
- 11) Add the Notation of owners association- "A mandatory owners association is required as a condition of approval in order to meet obligations established by the Developer."
- 12) Approval of this final plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 13) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

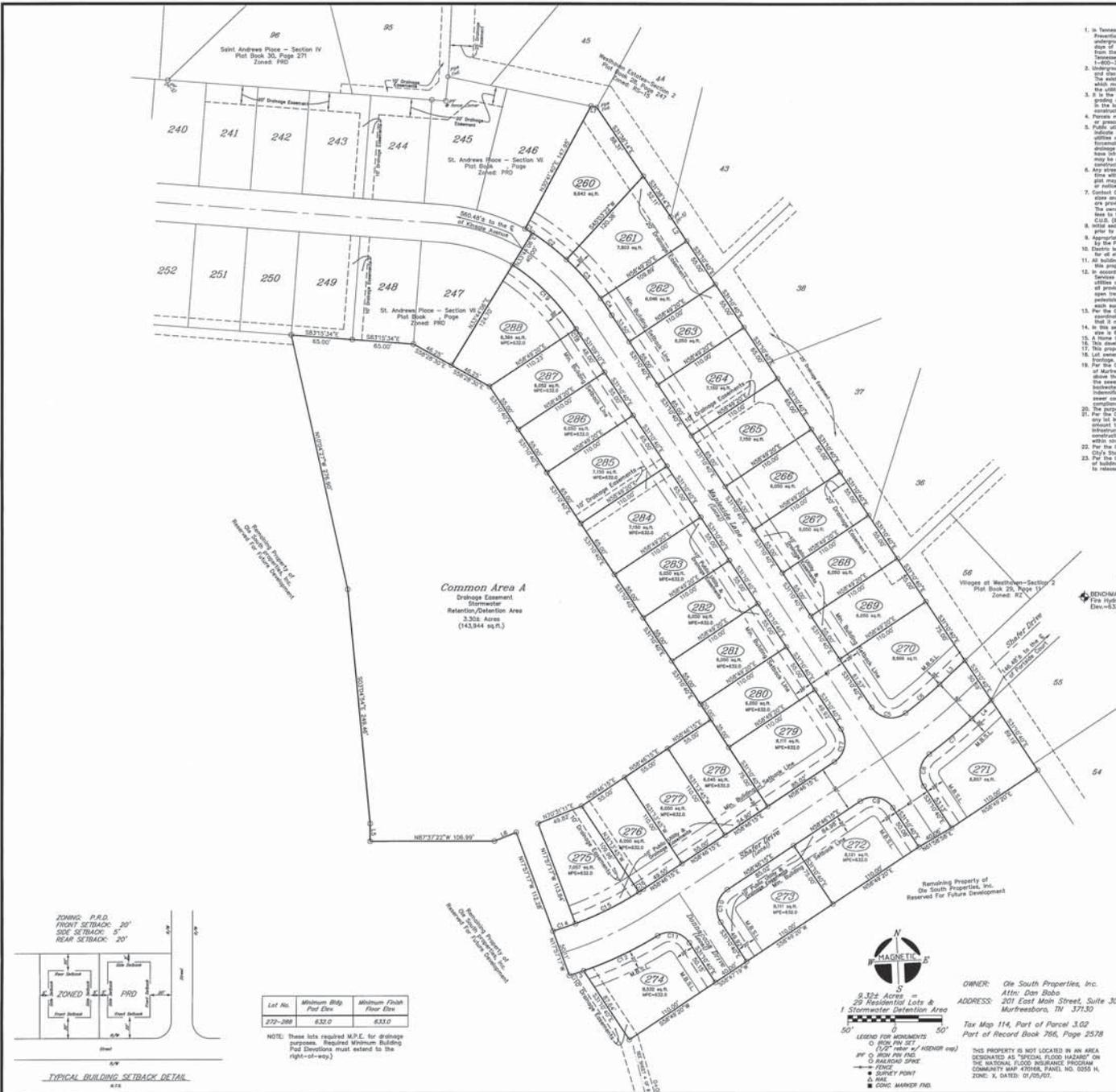
Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.

- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 4) MWSD must receive surety prior to signing the plat.



- PLAT NOTES**
- In Tennessee, it is a requirement for the Underground Utility Damage Prevention Act that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. These utilities shall participate in the Tennessee Civil Utility System and be notified by using the form provided by the Tennessee Civil Utility System.
 - Underground utilities shown were located using available above ground evidence, and the true horizontal alignment from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each builder to design and construct a suitable grading and drainage system which will collect surface water, without ponding in the lot or under the structure, from this structure to the drainage system constructed by the subdivision developer.
 - Permits may be subject to additional assessments, and/or restrictions, by record of jurisdiction. Field surveys may occur any time.
 - Public utilities shall be responsible for providing any necessary permits to indicate an assessment for construction, operation, and maintenance of public utilities and transportation facilities, but not to be held responsible for any forwarding, water lines, telephone signal conductors, electric conductors, drainage pipes, or other gas lines. Easements in the subdivision shown may be in place or in existence with some future time and there may be no notice or coordination with the individual lot owners of this subdivision.
 - Any street in this subdivision may be extended into adjacent property at any time without additional notice or consultation. The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the owners of the lots in the subdivision.
 - Current Commercial Utility Districts for water and sewer, including water line sizes and the highest locations. Water service, domestic and fire protection are provided by C.U.D. All water under the lot is to be made by C.U.D. The sewer/ventilator for budget purposes should contact C.U.D. for related fees to the project, which will be substantial. Contact another World with C.U.D. (515-255-2015) for water meter specifications.
 - Utility easements and various control measures must be indicated and located prior to construction programming.
 - Appropriate street signs must be in place prior to the release of building permits for all electric signs.
 - All building permits must be approved by the Planning Department because this property is in a P.D.S.
 - In accordance with TCA Section 7-59-110(a)(1), Competitive Bids and Plans across all, in cases of construction or property development where the utility lines to be placed, the developer or property owner shall file all permits of utility or other services with the City of Murfreesboro on or prior to the date of the plat. The City of Murfreesboro shall be notified of all permits of utility, and interests, referred to as "equipment," to be provided at each "project" approval.
 - For the City of Murfreesboro, all traffic control and street name signage must be installed and authorized for placement with the Street and Sign Department as that it may be installed prior to release of building permits.
 - In any case of any Planned Residential Development (P.R.D.), the minimum lot size is 3,000 square feet.
 - A Home Owners Association will be required for maintenance of Common Areas. This development is in the Grand Oaks subdivision.
 - This property is within the Overall Green Seismic Assessment District.
 - Lot owners/holders will be responsible for construction of sidewalks along road.
 - For the City of Murfreesboro, under the current adopted planning code, the City of Murfreesboro requires the minimum floor elevation (F.L.E.) to be at least 1' above the top of existing elevation of the natural surface that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and provide and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The holder and/or homeowner shall be responsible for the removal of this development's 28 Single Family Residential Lots.
 - For the City of Murfreesboro, prior to issuance of a certificate of occupancy for any lot in this subdivision the Owner shall post a building permit guaranty in an amount to be determined by the City Engineer to ensure completion of all infrastructure, including but not limited to sidewalks, drainage improvements, or construction of other utilities. Such construction shall be completed within the time frame of issuance of the certificate of occupancy.
 - For the City of Murfreesboro, this development is required to comply with the City's Stormwater Quality requirements.
 - For the City of Murfreesboro, grading on lots must be complete before release of building permits. Geotechnical reports on lots with SR will be required prior to release of building permits.



CERTIFICATE OF OWNERSHIP AND DESIGN

I, the undersigned, do hereby certify that I am the Owner(s) of the property shown and described herein and that I (we) hereby adopt this plat of subdivision with my (our) free consent and approval. The minimum building restriction lines, and appear to public or private use and utility therein, parks and other open spaces.

Date: _____

De South Properties, Inc.

Part of Record Book 766, Page 2578

JOHN S. FLOYD, PRESIDENT

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown herein has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee, with the City of Murfreesboro, Tennessee, and the Tennessee State Department of Revenue, and that I (we) have approved for recording in the office of the Rutherford County Register of Deeds provided that it is recorded within one year of this date.

Date: _____

SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I hereby certify that (1) the streets, drainage structures, drainage easements, and stormwater quality standards for the subdivision shown herein have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to ensure completion of same.

Date: _____

CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

I hereby certify that (1) the water lines and appurtenances for the water system of the subdivision shown herein have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County, Tennessee, and the Tennessee State Department of Revenue, and that I (we) have approved for recording in the office of the Rutherford County Register of Deeds provided that it is recorded within one year of this date.

Date: _____

CONSOLIDATED UTILITY DISTRICT OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I hereby certify that the subdivision shown herein has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power to the subdivision shown herein. MED's electric power service will be provided until MED's requirements for electric power service have been met.

Date: _____

MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown herein have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, State Criteria for Sewage Works, (2) that a Surety for these improvements has been posted with the City of Murfreesboro to ensure completion of same, or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date: _____

MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF ACCURACY - I hereby certify that this is a verified survey and the plat of subdivision is a true and correct copy of the original survey as shown herein and that this survey was done in accordance with current Tennessee law and that the monuments have been or will be found on the same as shown on the plat of this City Engineer.

OWNER: De South Properties, Inc.
Attn: Dan Bobo
ADDRESS: 301 East Main Street, Suite 300
Murfreesboro, TN 37155
Tax Map 114, Part of Parcel 1.02
Part of Record Book 766, Page 2578



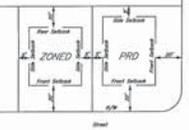
3.324 Acres ±
29 Residential Lots & 1 Stormwater Detention Area

LEGEND FOR MONUMENTS:
○ IRON PIN SET (1/2" DIA. MIN. OF DIAMETER MIN.)
● IRON PIN END
□ PLANNING OFFICE
— FENCE
- SURVEY POINT
● CONC. MARKER END

Lot No.	Minimum #Rtg	Minimum Finish
	Stormwater	Floor Elev.
272-288	632.0	633.0

NOTE: These lots require M.P.E. for drainage purposes. Required Minimum Building Foot Elevations must extend to the right-of-way.

ZONING: P.R.D.
FRONT SETBACK: 30'
SIDE SETBACK: 5'
REAR SETBACK: 20'



TYPICAL BUILDING SETBACK DETAIL

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE: _____

FINAL PLAT
Section VIII
SAINT ANDREWS PLACE, P.R.D.

12th Civil District of Rutherford County, Tennessee
Date: October, 2015 Scale: 1"=50' Sheet 1 of 1



MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 4.i. Warrior Drive Resubdivision Lot 3 [2016-2034] final plat for 2 lots on 2.8 acres zoned CH located along Warrior Drive and Southgate Boulevard, Pat McMillan developer.

This is the final plat review for Warrior Drive Resubdivision Lot 3 commercial subdivision located along Warrior Drive and Southgate Boulevard. The property is zoned CH. The purpose of this plat is to create a 2 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Revise location map to label Warrior Drive.
- 2) The lot numbers are incorrectly labeled. Instead of lot 33A and 33B, they should be lot 3A and 3B.
- 3) Revise roadway classification of Southgate Boulevard to Commercial Collector.
- 4) Revise roadway classification of Community Collector to Minor Arterial.
- 5) Revise the typical setback diagram zoning to CH.
- 6) The footnote underneath the setback does not apply since this property is zoned CH. Replace this footnote with the CH side setback footnote.
- 7) Provide width of the ROW for both Warrior Drive and Southgate Boulevard.
- 8) Print the name of the owner under the "Certificate of Ownership and Dedication".
- 9) The adjacent River Birch Lot 11 is zoned RS-15, not RD.
- 10) The Gast property to the west is zoned CH, not CF.
- 11) The Southgate Developers property to the north is zoned CH, not CF.
- 12) Remove side MBSLs.
- 13) The 20' rear MBSL should be located along the north lot line of Lot 3A (opposite Warrior Drive) since Warrior Drive has a higher functional classification than Southgate Boulevard.
- 14) Provide the required signature block for the City Engineer.
- 15) Print the name of the owner under the certificate of ownership and dedication.
- 16) Label the book and page numbers for all existing easements.
- 17) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 2) The developer is financially responsible for providing water and sewer service to each lot.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

4.j. Marymont Springs Section 2 [2016-2035] final plat for 27 lots on 13 acres zoned PUD located along Marymont Springs Boulevard, Parks Holdings LLC developer.

This is the final plat review for Marymont Springs Section 2 single family residential subdivision located along Marymont Springs Boulevard. The property is zoned PUD. These lots have a minimum lot sizes of 8,450 (Lots 206-215) and 17,000 (Lots 201-205 and 216-227) square feet, respectively. Each of the proposed lots meets the minimum lot size, except for Lot 210. The purpose of this plat is to create a 27 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Add benchmark location on final plat.
- 2) State minimum lot sizes for this section of this PUD on the final plat.
- 3) Per the approved PRD plan, the front setback for the 65'-wide carriage homes is 30' (not 15'). Please correct the typical setback diagram and the setback table.
- 4) Per the approved PRD plan, the rear setback for the 65'-wide carriage homes is 30' (not 15'). Please correct the typical setback diagram and the setback table.
- 5) The CUD signature block is incorrect. Please replace it with the CUD signature block that is in the City Subdivision Regulations.
- 6) The 20' area (possibly an easement) at the back of lots 217-227 is not labeled. Please label.
- 7) Make the lot lines around the detention area bold and label this area as a common area. Also, show the entirety of this common area (some of it is cut off at the bottom of the sheet).
- 8) Correctly label Old Salem Road on the location map.
- 9) Provide evidence that lots 206-215 are a minimum of 65'-wide at the front setback line.
- 10) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov.
- 11) Veterans Parkway Repayment Assessment will be due prior to permits or the transfer of the lots.
- 12) This development is required to comply with the City's Stormwater Quality requirements.
- 13) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 14) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
- 15) Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.
- 16) Add the Notation of future maintenance responsibility- "The common areas shown on the subdivision shall be the responsibility of the owners association to maintain."
- 17) Approval of this final plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 18) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zones AE and X, partially within areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.

- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 4) MWSD must receive surety prior to signing the plat.

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 4.k. Del Sol Commons Section 3 [2016-2037] final plat for 23 lots on 4.8 acres zoned PRD located along Warmingfield Drive, O'Brien Loyd Venture developer.

This is the final plat review for Del Sol Commons Section 3 single-family residential subdivision located along Warmingfield Drive. The property is zoned PRD. The purpose of this plat is to create a 23 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Remove the lot number from the wetlands preservation area. Instead, label as common area.
- 2) Provide evidence that a homeowners association will be responsible for the perpetual maintenance of the common area.
- 3) Label the roadway classification of Golden Sun Court.
- 4) Correctly label Manchester Pike on the location map.
- 5) The CUD signature block is incorrect. Please replace with the CUD signature block from the City's Subdivision Regulations.
- 6) Remove the note regarding the side setback above the typical setback diagram.
- 7) Per the approved PRD zoning plan, the required front setback is 28' (not 25'). Revise the setback table, the typical setback diagram, and the MBSLs accordingly.
- 8) Lots 55-60 have shallow building envelopes. Confirm with the builder that the building envelopes are adequate for a proposed house.
- 9) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov.
- 10) Add temporary turnaround easement at the end of Sunray Drive and Golden Sun Court.
- 11) 25' drainage easement for the French drain required by the ARAP permit should be in a private drainage easement to be maintained by the Home Owners Association.
- 12) This development is required to comply with the City's Stormwater Quality requirements.
- 13) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 14) Approval of this final plat is contingent upon the applicant providing evidence that Rutherford County E-911 has approved all new street names. This should be submitted at the time of initial submittal to the Planning Department for review.
- 15) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.

- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 3) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 4) MWSD must receive surety prior to signing the plat.

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 4.I. Emerald Place Resubdivision Lot 3 [2016-2038] final plat for 3 lots on 6.6 acres zoned PUD located along Lascassas Pike, Waffle House developer.

This is the final plat review for Emerald Place Resubdivision Lot of 3 commercial subdivision located along Lascassas Pike. The property is zoned PUD. The purpose of this plat is to create a 3 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Revise the title to state "Emerald Place, Resubdivision Lot 3".
- 2) Correctly Lascassas Pike and Old Lascassas Road on the location map.
- 3) The location map does not correctly depict the subject property. Please correct location map.
- 4) Label roadway classifications.
- 5) Add purpose note to final plat.
- 6) Add MED and City Engineer signature blocks.
- 7) Show flood plain limits on final plat.
- 8) Revise plat to show entire Lot 3.
- 9) Revise lot numbers. The master lot should be 3A, the Waffle House lot should be 3B, and the lot northeast of Waffle House should be 3C. What is currently shown on this plat as 3B is not being created at this time, so it should still be shown as a part of the master lot. The shared access drive leading to Lascassas Pike should be shown as a shared access easement.
- 10) Add a void and vacate note.
- 11) Label book and page numbers for all existing easements.
- 12) The setbacks listed in the setback table correspond with the setbacks on the original subdivision plat. However, it does not appear that any setbacks were specified for this portion of the PUD. These lots will default to the CH setbacks. Correct the setback table, the typical setback diagram, and the MBSLs accordingly. Also include the side setback footnote for the CH zone.
- 13) Print the name of the owner under the "Certificate of Ownership and Dedication".
- 14) Verify if this property is in the flood zone. According to GIS, it is. Confirm and correct FIRM note, if needed.
- 15) Show access easement across the waffle house lot.
- 16) Confirm that lot areas are correct.
- 17) Add the Notation of possible flooding- "Development or modification of the land by Owners, Developers, or other parties within the floodway delineated on the plat is limited in accordance with the requirements of the National Flood Insurance Program and development within the areas of special flood hazard shall be protected in such a manner that any structure shall be protected against flood damage to at least the regulatory flood elevation of _____ or as shown on the table below." (This elevation shall be stated in the notation or in a table if there is more than one applicable elevation on the plat.).
- 18) Add the Notation of no-fill certification- "A "no-fill" certification by a registered engineer licensed by the State of Tennessee will be required prior to the issuance of a certificate of occupancy for any structure constructed upon any lot or lots that extend into a regulatory floodway or area of pooling water".

- 19) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."
- 20) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro. However, a review of the City's GIS shows that the property is partially located in Zone AE.
- 2) This plat is affected by the City's Major Thoroughfare Plan, as Lascassas Pike is planned to be improved.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Show MED easements.
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
- 4) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 5) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 6) The developer is financially responsible for providing water and sewer service to each lot.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

4.m. Parks & Holden Addition Lots 32 & 36 [2016-3053] site plan for a 3 family dwelling on 0.31 acres zoned RM-16 located along East Street, Wayne & Kathryn Nobles developer.

This is the site plan review for the construction of a triplex on a parcel that already contains a single-family home. The property is zoned RM-16 and the proposed use is permitted. Because there are multiple main buildings on the lot, the site plan is required to be reviewed by the Planning Commission. Staff recommends that any approval of this site plan be made subject to all staff comments.



Staff Comments

- 1) Please revise planting details to specify shredded hardwood bark mulch.
- 2) Please add the required ANSI note on landscape plan.
- 3) Foundation plantings are required on the front and two sides of a building with a 3' planting bed. Please add the required plantings and bed space.
- 4) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.
- 5) Please add a note and a typical diagram to the landscape plan that all service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Please identify what screening material will be used. Plant materials must meet or exceed the height of the structure that is to be screened.
- 6) All parking rows are required to be originated and terminated with a landscape island and a shade tree.
- 7) Please demonstrate on the landscape plan how the site will be irrigated.
- 8) Please reconcile the plant schedule with the landscape plan; RO is identified on the plan and omitted on the plant schedule. TP is included on the plan and omitted on the plant schedule. CH in on the plant schedule but not included on the landscape plan.
- 9) Engineering point of contact for this project is Jay Bradley 615-893-6441 or jbradley@murfreesborotn.gov. Planning point of contact is Matthew Blomeley at (615)-893-6441 or mblomeley@murfreesborotn.gov.
- 10) A Right of Way Permit and Bond will be required for work in the right of way. Contact Danny Lowe in the Engineering Department for additional details. 615-893-6441
- 11) A Land Disturbance Permit will be required. A separate Land Disturbance Permit application shall be made with the City Engineer's office for review and approval prior to a building permit.
- 12) This site is not required to comply with stormwater quality requirements since the site is less than an acre however the site would be eligible for a reduced stormwater fee with the use of low impact design elements.
- 13) Submit a photometric lighting plan and any other information necessary to demonstrate compliance with the lighting standards in Section 18 of the Zoning Ordinance.
- 14) Submit architectural elevations for the proposed building.
- 15) In the site data table, list the height of both structures (existing and proposed) in stories and feet.
- 16) In the site data table, the unit calcs are incorrect. For lots less than 1 acre zoned RM-16, the maximum number of units is equal to the lot area in square-feet divided by 3,000.
- 17) Show and label the locations of the HVAC equipment and provide required landscape screening.
- 18) Will there be patios at the back of the units? If so, show and label them.

- 19) Provide information on how solid waste will be managed. If individual carts are to be used, where will they be stored?
- 20) The FEMA FIRM note indicates that this property is located in Zone AE. However, according to the City's GIS system, the property is in Zone X. The design engineer needs to review the FEMA FIRM maps and revise the FIRM note as needed.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone AE, within areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro. However, according to the City's GIS system, the property is located in Zone X.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) The design engineer needs to coordinate all proposed sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
- 6) Designate an area on the plans for construction debris storage. As a note to the developer, an unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, staff will shut down the jobsite.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.
- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com
- 2) Show existing Electric.

- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
Overhead – 40ft. 20ft either side of nearest power pole
Down Guys – 5ft x 30ft
Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Refer to IFC 2012 Table 903.2 for occupancies to be sprinklered.
- 12) Show existing fire hydrant locations.
- 13) Show fire department connection (FDC).
- 14) Fire hydrant must be located within 150 feet of FDC.
- 15) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.
- 16) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
- 17) An exterior electric horn/strobe (NOT a Water Motor Gong) is required above the FDC by MFRD.
- 18) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 19) On-site private cleanouts must use the details found at the following link:
<http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 20) Show water meters and sizes.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

- 4.n. **Storplace at Barfield Ph. 2 [2016-3058] site plan for 10,500 ft² self-service storage building on 3 acres zoned CH located along Veterans Parkway, Storplace Self-Storage developer.**

This is the site plan review for a 10,500 square foot self-service storage facility located at 138 Veterans Parkway. The property is zoned CH, and the proposed use is allowed by Special Use Permit within the CH district. The site will have access to Veterans Parkway. The proposed building is two stories (25') with a mix of brick, EIFS, and glass on the building's exterior. Staff recommends any approval of the site plan be subject to all staff comments.



Staff Comments

- 1) Remove the encircled 2 label from all sheets.
- 2) Provide lighting plan / photometric and cut sheet(s) for all outdoor lighting.
- 3) Have parking spaces been removed from areas labeled *Storage Building 5 (Phase 1)* and *Building 1 Addition (Phase 1)*? If yes, remove the parking space lines from the site layout.
- 4) On sheet C1.5, the symbols on the Plant Materials Schedule do not match those shown on the landscaping plan / layout. Revise schedule to be consistent with layout.
- 5) Foundation plantings are required on the front and two sides of a building with a 3' planting bed. Please add the required plantings and bed space.
- 6) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.
- 7) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.

Standard Staff Comments

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.
- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video

serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water & Sewer, Fire & Rescue; Building & Codes, & MED Staff Comments

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
 - Overhead – 40ft. 20ft either side of nearest power pole
 - Down Guys – 5ft x 30ft
 - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 12) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
- 13) Refer to IFC 2012 Table 903.2 for occupancies to be sprinklered.
- 14) Show fire department connection (FDC).
- 15) Fire hydrant must be located within 150 feet of FDC.
- 16) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.
- 17) An approved Knox StorzGuard FDC with a 30 degree elbow and locking cap sized 5" Storz x 4" NPT is required by MFRD.

- 18) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
- 19) An exterior electric horn/strobe (NOT a Water Motor Gong) is required above the FDC by MFRD.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

- 4.o. Southpointe Lot 13 [2016-3062] site plan for 5,000 ft² office/warehouse on 0.91 acres zoned L-I located along Business Campus Drive, Chambers Building Group developer.

This is the site plan review for a 5,000 square foot warehouse and office building located at 1932 Business Campus Drive. The property is zoned L-I, and the proposed use is permitted within the L-I district. The site will have access to Business Campus Drive. The proposed building is one story (20') with brick on the front and side facades and metal siding on the rear facade. Staff recommends any approval of the site plan be subject to all staff comments.



Staff Comments

- 1) Add address to cover sheet. The address for this property is 1932 Business Campus Drive
- 2) Provide lighting plan / photometric and cut sheet(s) for all outdoor lighting.
- 3) Complete the blank portion of the land use data section on the general information charts on cover sheet and site layout sheet.
- 4) Will the proposed structure be served by a dumpster or individual trash carts? Provide enclosure elevation. If using a dumpster, revise enclosure detail to show 8' fence.
- 5) Site layout shows fencing along north, west, and south sides. Provide fence and gate details.
- 6) Show any proposed ground signage. If any signage is proposed in any public utility easements, a variance will be necessary. Contact Amelia Kerr for information on applying to the Board of Zoning Appeals.
- 7) Indicate how the trash enclosure will be accessed. No walkway is provided.
- 8) Please specify the location of the hose bib on the landscape plan.
- 9) The point of contact for the Engineering Dept. is Cey Chase at 615-893-6441 or cchase@murfreesborotn.gov. The Planning Department point of contact is Donald Anthony, who can be reached at 615-893-6441 or danthony@murfreesborotn.gov.
- 10) Open cut of Business Campus Dr will require the approval of the City Manager and the City Engineer.
- 11) Provide detail of the open cut.
- 12) Show the limits and repair work to the pavement surface.
- 13) Call out the nearest fire hydrant on the site plan.
- 14) Label the width of the 3 lane cross section entrance to be 14'/11'/11'.
- 15) A ROW Excavation permit and bond will be required before beginning any work in the right of way.
- 16) This development is not required to meet the City's Stormwater Quality requirements because the lot is less than 1 acre.
- 17) Erosion and sediment control plans (EPSC) should be in 2 phases prior to a land disturbance permit.
- 18) Discharges of stormwater associated construction activities on sites that disturb one acre or more and including sites less than 1 acre that are part of a larger common plan of development or sale will require a NPDES Stormwater Construction General Permit (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>). Provide a copy of the NPDES Notice of Coverage or Notice of Intent (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) to the Engineering Dept prior to starting any construction activities and prior to issuance of a land disturbance permit.
- 19) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application (<http://www.murfreesborotn.gov/index.aspx?nid=499>) and

2 copies of the SWPPP/EPSC/NOC, site plan and stormwater management record sheet must be submitted to the Engineering Department.

- 20) A final construction stormwater inspection certification, CN-1173 and/or Notice of Termination (NOT), CN-1175 ([http://www.tennessee.gov/environment/article/permit-water-
npdes-stormwater-construction-permit](http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit)) will be required prior to certificate of occupancy (CO).

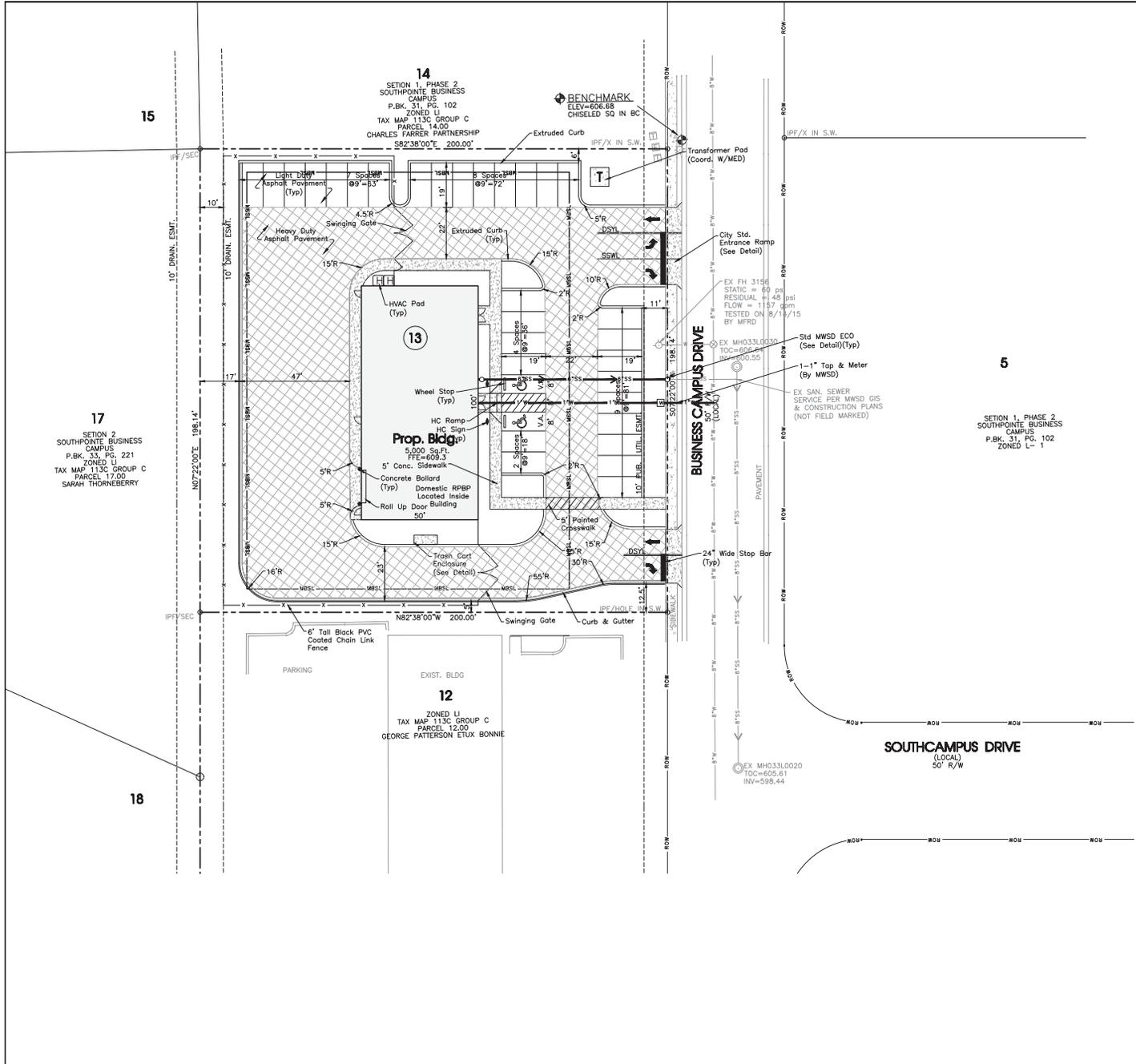
Standard Staff Comments

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.
- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water & Sewer, Fire & Rescue; Building & Codes, & MED Staff Comments

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.

- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
 - Overhead – 40ft. 20ft either side of nearest power pole
 - Down Guys – 5ft x 30ft
 - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.



811
 Know what's below.
 Call before you dig.

Scale: 1" = 20'

Scale: 1" = 20'

Owner: Richard South, LLC
 745 Duncan St.
 Brentwood, TN 37027

Developer: Chambers Building Group
 P.O. Box 4024
 Murfreesboro, TN 37129
 Contact: Chris Dudley

Dead Reference:
 R.Bk. 1136, Pg. 1108
 P.Bk. 38, Pg. 90
 13th Civil District in Rutherford County
 Map 113C, Group C, Part Of Parcel 13.00

Yard Requirements:
 Front: 42'
 Side: 10'
 Rear: 20'

Intended Use: Office & Warehouse

Land Use Data:
 Zoned: LI
 1-Story Building
 Building Height: 12'-0"
 Total Floor Area: 5,000 Sq. Ft.
 Total Land Area: 0.91± Acres

Parking Requirements:
 Required: 4,500 ± x 5,000 Sq. Ft. = 17 Required Spaces
 Provided: 30 Regular + 2 H.C. = 32 Spaces Total

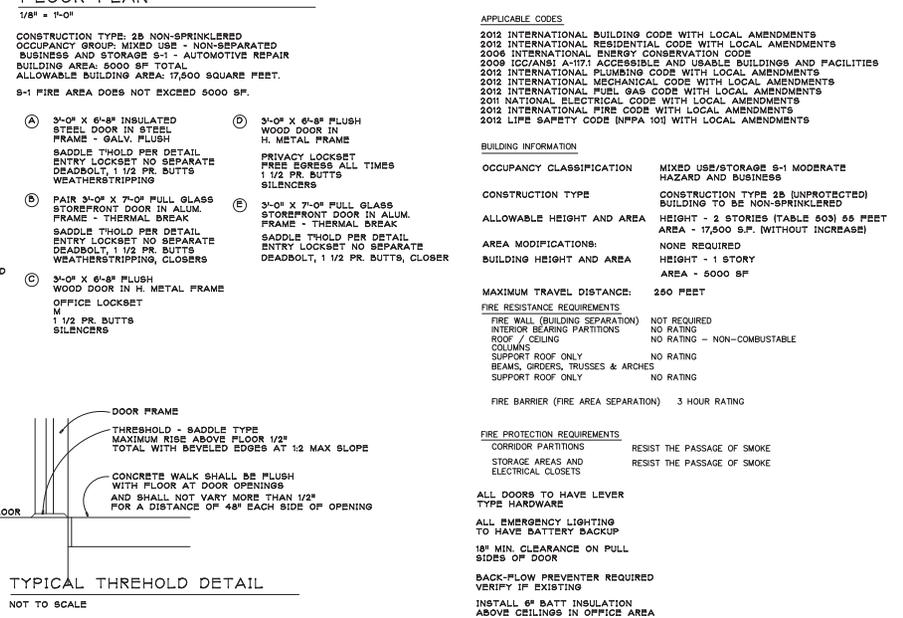
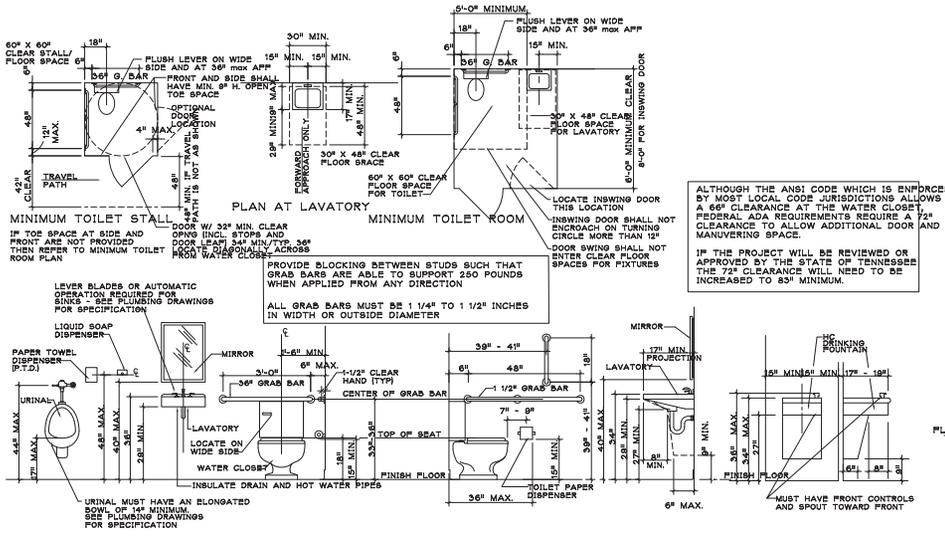
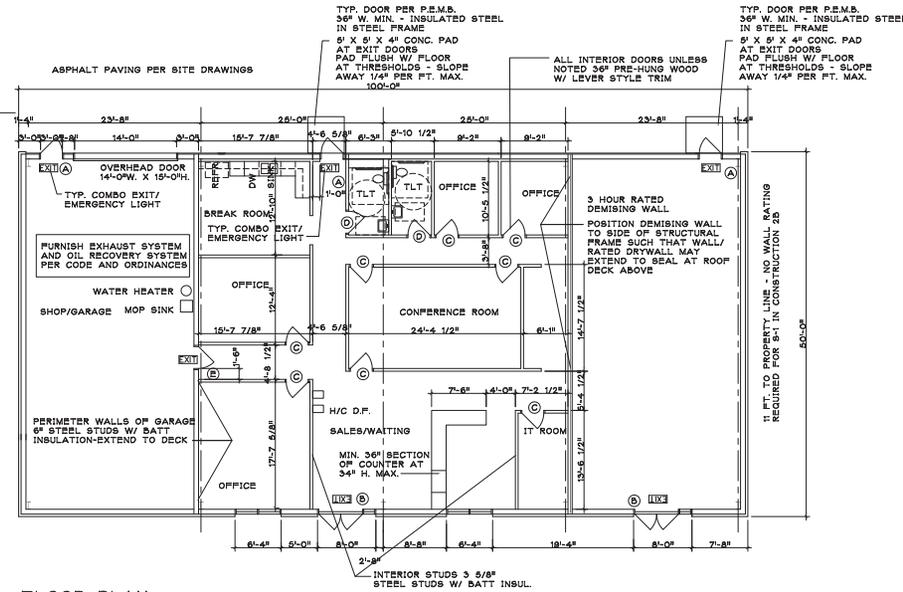
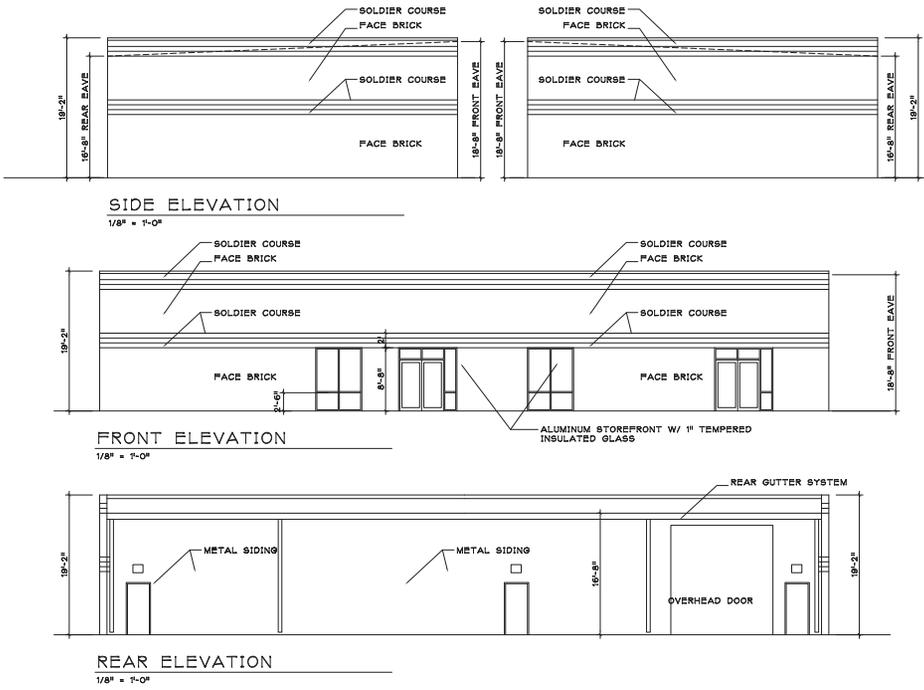
Flood Map No.:
 This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C260H dated January 6, 2007

Site & Utility Plan

Southpointe Lot 13
 Murfreesboro, Tennessee

REVISED

DATE: 1-19-16
CHECKED:
MAT:
FILE NAME: 87430w13.dwg
SCALE: 1" = 20'
JOB NO.: 87430
SHEET: C2.0



NEW BUILDING
ZACK BALDWIN
BUSINESS CAMPUS DRIVE
MURFREESBORO, TN

W. Michael Stewart
Architect

1318 Tomahawk Trace Murfreesboro, Tennessee 37129

FLOOR PLAN & DETAILS

FEBRUARY 15, 2016
APRIL 13, 2015
MARCH 25, 2015
SCALE: 1/8" = 1'-0"

A-1

APPLICABLE CODES

2012 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS
2012 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL AMENDMENTS
2006 INTERNATIONAL ENERGY CONSERVATION CODE
2009 ICC/ANSI A-117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
2012 INTERNATIONAL PLUMBING CODE WITH LOCAL AMENDMENTS
2012 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS
2012 INTERNATIONAL FUEL GAS CODE WITH LOCAL AMENDMENTS
2011 NATIONAL ELECTRICAL CODE WITH LOCAL AMENDMENTS
2012 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
2012 LIFE SAFETY CODE (NFPA 101) WITH LOCAL AMENDMENTS

BUILDING INFORMATION

OCCUPANCY CLASSIFICATION MIXED USE/STORAGE S-1 MODERATE HAZARD AND BUSINESS

CONSTRUCTION TYPE CONSTRUCTION TYPE 2B UNPROTECTED BUILDING TO BE NON-SPRINKLERED

ALLOWABLE HEIGHT AND AREA HEIGHT - 2 STORIES (TABLE 503) 55 FEET AREA - 17,500 S.F. (WITHOUT INCREASE)

AREA MODIFICATIONS: NONE REQUIRED

BUILDING HEIGHT AND AREA HEIGHT - 1 STORY AREA - 5000 S.F.

MAXIMUM TRAVEL DISTANCE: 250 FEET

FIRE RESISTANCE REQUIREMENTS

FIRE WALL (BUILDING SEPARATION) NOT REQUIRED
INTERIOR BEARING PARTITIONS NO RATING
ROOF / CEILING NO RATING - NON-COMBUSTIBLE
COLUMNS NO RATING
SUPPORT ROOF ONLY NO RATING
BEAMS, ORDERS, TRUSSES & ARCHES NO RATING
SUPPORT ROOF ONLY NO RATING

FIRE BARRIER (FIRE AREA SEPARATION) 3 HOUR RATING

FIRE PROTECTION REQUIREMENTS

CORRIDOR PARTITIONS RESIST THE PASSAGE OF SMOKE
STORAGE AREAS AND ELECTRICAL CLOSETS RESIST THE PASSAGE OF SMOKE

ALL DOORS TO HAVE LEVER TYPE HARDWARE

ALL EMERGENCY LIGHTING TO HAVE BATTERY BACKUP

18" MIN CLEARANCE ON PULL SIDES OF DOOR

BACK-FLOW PREVENTER REQUIRED VERIFY IF EXISTING

INSTALL 6" BATT INSULATION ABOVE CEILINGS IN OFFICE AREA PROTECT RECESSED LIGHTING FROM INSULATION OR INSTALL LIGHTING RATED FOR INSULATED APPLICATION

ALL LIGHT FIXTURES MOUNTED IN AN ACOUSTICAL DROP CEILING SHALL BE SUSPENDED INDEPENDANTLY FROM THE CEILING WITH HANGER WIRES.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS
MARCH 16, 2016**

4.p. Cason Square Lot 20 [2016-3048] site plan for 8,000 ft² medical office on 0.86 acres zoned CF located along Brandies Circle, MB Enterprises developer.

This is the site plan review for an 8,000 square foot medical office building located at the southeast corner of the intersection of Rideout Lane and Brandies Circle. The property is zoned CF, and the proposed use is permitted within the CF district. The site will have access to both Rideout Lane and Brandies Circle. Staff recommends any approval of the site plan be subject to all staff comments.



Staff Comments

- 1) Provide lighting plan / photometric and cut sheet(s) for all outdoor lighting.

- 2) Provide building elevations.
- 3) Complete the blank portion of the land use data section on the general information charts on cover sheet and site layout sheet.
- 4) The minimum side yard setback along the west side of the property should be 10'. It is currently shown as 20'.
- 5) The proposed structure has doors on the rear. However, no rear walkway is shown. Add walkway across rear of structure to connect to walkway along east side of structure.
- 6) On site layout sheet, show length and radius for line segment C2.
- 7) Will the proposed structure be served by a dumpster or individual trash carts? Provide enclosure elevation. If using a dumpster, revise enclosure detail to show 8' fence.
- 8) A sign is shown in the 20' drainage easement on the north side of the subject property. A variance is necessary for this sign. Contact Amelia Kerr for information on applying to the Board of Zoning Appeals.
- 9) Please show the location of the hose bib on the landscape plan.
- 10) The point of contact for the Engineering Dept. is Cey Chase at 615-893-6441 or cchase@murfreesborotn.gov. The Planning Department point of contact is Donald Anthony, who can be reached at 615-893-6441 or danthony@murfreesborotn.gov.
- 11) A repayment assessment fee for Rideout Lane will be required with the development of this lot. The amount is to be determined by the City Engineer.
- 12) Open cut of Brandie's Circle will require the approval of the City Manager and the City Engineer.
- 13) Provide detail of the open cut.
- 14) Show the limits and repair work to the pavement surface.
- 15) Call out the nearest fire hydrant on the site plan.
- 16) A ROW Excavation permit and bond will be required before beginning any work in the right of way for new entrances on Rideout Lane and Brandie's Circle.
- 17) This development is not required to meet the City's Stormwater Quality requirements because the lot is less than 1 acre.
- 18) Erosion and sediment control plans (EPSC) should be in 2 phases prior to a land disturbance permit.
- 19) Discharges of stormwater associated construction activities on sites that disturb one acre or more and including sites less than 1 acre that are part of a larger common plan of development or sale will require a NPDES Stormwater Construction General Permit (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>). Provide a copy of the NPDES Notice of Coverage or Notice of Intent (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) to the Engineering Dept prior to starting any construction activities and prior to issuance of a land disturbance permit.
- 20) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application (<http://www.murfreesborotn.gov/index.aspx?nid=499>) and

2 copies of the SWPPP/EPSC/NOC, site plan and stormwater management record sheet must be submitted to the Engineering Department.

- 21) A final construction stormwater inspection certification, CN-1173 and/or Notice of Termination (NOT), CN-1175 ([http://www.tennessee.gov/environment/article/permit-water-
npdes-stormwater-construction-permit](http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit)) will be required prior to certificate of occupancy (CO).

Standard Staff Comments

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.
- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water & Sewer, Fire & Rescue; Building & Codes, & MED Staff Comments

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.

- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
 - Overhead – 40ft. 20ft either side of nearest power pole
 - Down Guys – 5ft x 30ft
 - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Refer to IFC 2012 Table 903.2 for occupancies to be sprinklered.
- 12) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.
- 13) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 14) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

4.q. Jessica Subdivision Lot 4 [2016-3050] site plan for 6,200 ft² office/warehouse on 4.6 acres zoned CH located along Middle Tennessee Boulevard, Bridgeport Properties developer.

This is the site plan review for a 6,200 square foot warehouse located along the western side of Middle Tennessee Boulevard. The property is zoned CH, and the proposed use is permitted within the CH district. The site will have access to Middle Tennessee Boulevard through an existing private drive. Staff recommends any approval of the site plan be subject to all staff comments.



Staff Comments

- 1) Add sheets L1 and L2 to the drawing index.
- 2) Provide lighting plan / photometric and cut sheet(s) for all outdoor lighting.
- 3) Provide building elevations.
- 4) Complete the blank portions of the land use data and parking requirement sections on the cover sheet general information chart.
- 5) The recorded plat for this subdivision (PB 13, PG 339) shows a 30' drainage easement across the rear of the subject property. Additionally, the plat shows a 15' sanitary sewer easement across the northwest corner of the subject property. Unless these easements have been abandoned/revise, show them on the site / utility plan.
- 6) Provide truck turn simulation with accompanying data.
- 7) Indicate location of trash enclosure for this site. Provide enclosure elevation if a new enclosure is proposed. If using a dumpster, revise enclosure detail to show 8' fence.
- 8) Indicate location(s) of mechanical/electrical units on both the site layout and landscaping plan. Show how units will be screened from public view.
- 9) Show setback lines on the site layout sheet.
- 10) Are any doors proposed for the rear or sides of the structure? If yes, provide a walkway around the building.
- 11) Review and revise parking calculations shown on sheet 3. The parking ratios used in the calculation yield a parking total greater than that shown on sheet 3.
- 12) The Engineering Department point of contact for this project is Jay Bradley, who can be reached at 615-893-6441 or jbradley@murfreesborotn.gov. The Planning Department point of contact is Donald Anthony, who can be reached at 615-893-6441 or danthony@murfreesborotn.gov.
- 13) Complete site data table on cover sheet.
- 14) Provide the net increase in impervious area.
- 15) A Right of Way Permit and Bond will be required for work in the right of way. Contact Danny Lowe in the Engineering Department for additional details. 615-893-6441
- 16) A Land Disturbance Permit will be required. A separate Land Disturbance Permit application shall be made with the City Engineer's office for review and approval prior to a building permit.
- 17) Foundation plantings are required on the front and two sides of a building with a 3' planting bed. Please add the required plantings and bed space.
- 18) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.
- 19) This site is not required to comply with stormwater quality requirements since the site is less than an acre however the site would be eligible for a reduced stormwater fee with the use of low impact design elements.

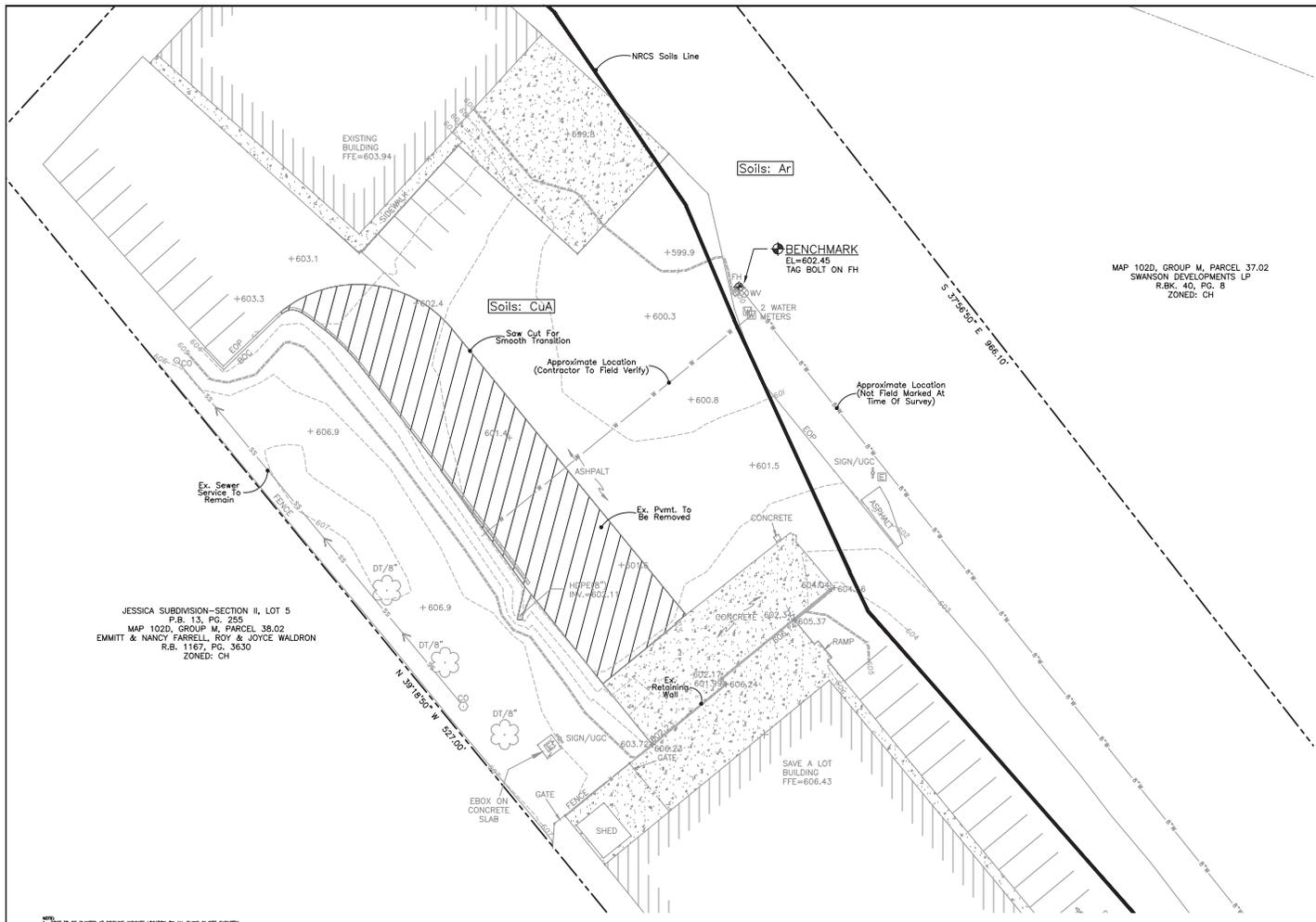
Standard Staff Comments

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Thoroughfare Plan.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.
- 8) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water & Sewer, Fire & Rescue; Building & Codes, & MED Staff Comments

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
 - Overhead – 40ft. 20ft either side of nearest power pole

- Down Guys – 5ft x 30ft
 - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
 - 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
 - 7) All fire hydrants must be located 4ft from nearest electric facility.
 - 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
 - 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
 - 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
 - 11) Refer to IFC 2012 Table 903.2 for occupancies to be sprinklered.
 - 12) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.
 - 13) Show turn radius template for fire department apparatus through site. IFC 503.
 - 14) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
 - 15) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
 - 16) Resubmit two sets of plans to MWSD for the review of the sewer.
 - 17) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
 - 18) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
 - 19) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
 - 20) Backflow prevention must be upgraded to meet current standards.



JESSICA SUBDIVISION-SECTION II, LOT 5
 P.B. 13, PG. 255
 MAP 102D, GROUP M, PARCEL 38.02
 EMMITT & NANCY FARRELL, ROY & JOYCE WALDRON
 R.B. 1187, PG. 363D
 ZONED: CH

MAP 102D, GROUP M, PARCEL 37.02
 SWANSON DEVELOPMENTS LP
 R.B.K. 40, PG. 8
 ZONED: CH

Legend:	
□	EXIST. CONCRETE MONUMENT
●	IRON PIN SET (P.S.)
○	IRON PIN FOUND (P.F.)
—	EXIST. SIGN POST
○	EXIST. SEWER CLEANOUT
⊕	EXIST. CATCH BASIN (STORM SEWER)
⊕	EXIST. WATER/GAS VALVE
⊕	EXIST. TELEPHONE RISER
⊕	EXIST. GAS RISER
⊕	ELECTRICAL ENCLOSURE
⊕	EXIST. WATER METER
○	EXIST. UTILITY POLE
⊕	EXIST. FIRE HYDRANT
⊕	POST INDICATOR VALVE
⊕	BLOW OFF VALVE
⊕	REDUCER
⊕	REMOTE FIRE DEPT. CONNECTION
⊕	CONCRETE THRUST BLOCK
⊕	DOUBLE DETECTOR CHECK VALVE
⊕	FIRE DEPT. CONNECTION
⊕	FIRE HYDRANT
⊕	GATE VALVE & BOX
⊕	WATER METER
⊕	GAS METER
⊕	GREASE TRAP
⊕	EXTERIOR CLEANOUT
○	MANHOLE
⊕	EXIST. CONCRETE MONUMENT
⊕	HANDICAP PARKING SYMBOL
V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
HC	HC SIGN
—	PROPOSED SIGN POST
●	CONCRETE BOLLARD
—	WHEEL STOP
—	CONCRETE SIDEWALK
—	EXTRUDED CURB
—	CURB & CUTTER
—	TRAFFIC ARROW
—	TURN LANE ARROWS
—	REVISION NUMBER
—	DRAINAGE STRUCTURE DESIGNATION
—	DRAINAGE PIPE DESIGNATION
—	RP/RAP
—	EXIST. SPOT ELEVATION
—	SEWER/STORM FLOW DIRECTION
—	CATCH BASIN
—	CURB INLET
—	AREA DRAIN
—	HEADWALL
—	WINGED HEADWALL
—	CONCRETE SHALE
—	TYPE - X - HEADWALL

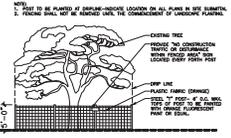
SJC Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 1000 W. MAIN ST., SUITE 200
 MURFREESBORO, TN 37132
 PHONE: (615) 882-7200 FAX: (615) 882-8287
 WWW: WWW.SJCINC.COM

REVISED
 (Seal of the State of Tennessee)

Jessica Subdivision
 Murfreesboro, Tennessee

Building Conditions, Drainage Plan, Construction Facilities, Pollution Erosion Control Plan, & Stormwater Management Plan

REVISIONS:
 DRAWN: SLA
 DATE: 2-23-18
 CHECKED:
 MAT:
 FILE NAME:
 15282project.dwg
 SCALE:
 1" = 20'
 JOB NO:
 15282
 SHEET:
 4 of 8



- TREE PRESERVATION NOTES:**
- AFTER INSTALLATION OF TREE PROTECTION FENCING, CONTRACTOR SHALL CONTACT KANE ADAMS WITH MURFREESBORO URBAN ENVIRONMENTAL DEPT. AT 615-885-8559 FOR A TREE PROTECTION INSPECTION.
 - ANY PRESERVED TREES DAMAGED OR REMOVED DURING CONSTRUCTION MAY HAVE TO BE REPLANTED PRIOR TO CERTIFICATE OF OCCUPANCY TO FULL-FUL PERIMETER PLANTING OR BUFFER REQUIREMENTS.
 - TREE PROTECTION FENCING THAT DOES NOT GO TO OR EXCEED THE PRESERVED TREE'S DRIFLINE WILL NOT BE ACCEPTED.

- EPSC Phasing**
- Initial: Silt Fence Along Downgradient Perimeter Construction Entrance Check Dams in Existing Ditches Filter Fabric Inlet Protection
- Intermediate: Temporary Seeding Filter Fabric Inlet Protection Check Dams in Proposed Ditches Silt Fence to Protect Ditches Erosion Control Blanket Installation At Prescribed Locations
- Final: Seeding And Stabilization Of All Disturbed Areas

EXISTING ON-SITE CONDITIONS

COVER	ICS CLASSIFICATION	AREA (AC)
GRASS	PASTURE: FAIR CONDITION B SOILS, CN=89	-----
COMPOSITE CN=89		

PROPOSED ON-SITE CONDITIONS

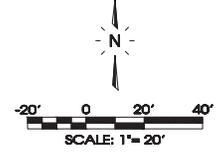
COVER	ICS CLASSIFICATION	AREA (AC)
BUILDING, SIDEWALK, PAVEMENT	PAVED PARKING LOTS, ROOFS, ETC. B SOILS, CN=88	-----
GRASS / LANDSCAPING	OPEN SPACE: GOOD CONDITION B SOILS, CN=81	-----
ASSUMES SOIL IMPORTED WILL BE C GROUP OR BETTER. COMPOSITE CN=81		

PROPOSED BMP'S

BMP	TYPE
SILT FENCE	TEMPORARY, SEDIMENT CONTROL
CONSTRUCTION ENTRANCE	TEMPORARY, SEDIMENT CONTROL
VEGETATION	PERMANENT, EROSION PREVENTION
INLET PROTECTION	TEMPORARY, SEDIMENT CONTROL

OUTFALLS

NUMBER	DESCRIPTION	ACRES	% SLOPES
1	CONSTRUCTION EXIT	0.1	3
2	SILT FENCE ON WEST PROPERTY LINE	0.6	3
3	SILT FENCE ON NORTH PROPERTY LINE	0.1	25
4	SILT FENCE AT EAST PROPERTY LINE	0.1	15



811
 Know what's below.
 Call before you dig.

Notes:
 Staging Area, Worker Parking & Adjoining Drive To Be Constructed Of Stone.
 Staging Area is To Be Kept Litter Free With Daily Cleanup. In Addition, All Stored Materials Are To Be Kept In Organized & Stacked Fashion.
 All Construction Signage Is To Be Constructed Of 2-4"x4" Painted Posts.
 Contractor May Submit Own Version Of Construction Facilities Plan. This Plan Is Meant To Represent Concept And Portray Intent Only.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

4.r. Mandatory Referral [2016-703] for the abandonment of a utility easement at the Mercury Plaza shopping center, Kroger applicant.

The Planning Commission is being asked to consider abandoning an existing utility easement at the Mercury Plaza shopping center. This easement houses a Murfreesboro Electric Department (MED) electric line and transformer. The Planning Commission approved plans for the redevelopment of a portion of this center with a Kroger grocery store in September 2015. With the proposed redevelopment, the existing utility easement will not be needed by MED. The requested mandatory referral seeks to abandon this utility easement. MED has indicated that it consents to the abandonment of the easement. If approved by the Planning Commission, Staff will forward the Planning Commission's recommendation to the City Council for its consideration.





March 8, 2016

Mr. Matthew Blomeley
Principal Planner
City of Murfreesboro
111 West Vine Street, 2nd Floor
Murfreesboro, Tennessee 37133

**RE: Kroger Store # U-621
Mercury Plaza – Mercury Boulevard and Middle Tennessee Boulevard
Murfreesboro, Rutherford County, Tennessee
Tax Map #102D, Group M, Parcel 35
Mandatory Referral for Permanent Utility Easement Abandonment (Electrical)**

Dear Matthew:

The proposed grocery store will require the abandonment of an existing City-Owned permanent utility easement at the front of the store, which was used for electrical work. Abandonment of the 10' wide (variable width at the transformer) permanent utility easement will be necessary. The existing permanent utility easement is recorded in R.B. 619, PG. 3440 (#18). The easement abandonment area is depicted on the attached Exhibit E-1.

As we discussed, please place this item on the agenda for the March 16, 2016 Planning Commission Meeting. Upon approval by Planning Commission, please place this item on the agenda for the next possible City Council meeting.

Please let me know if you have any questions or need any additional information.

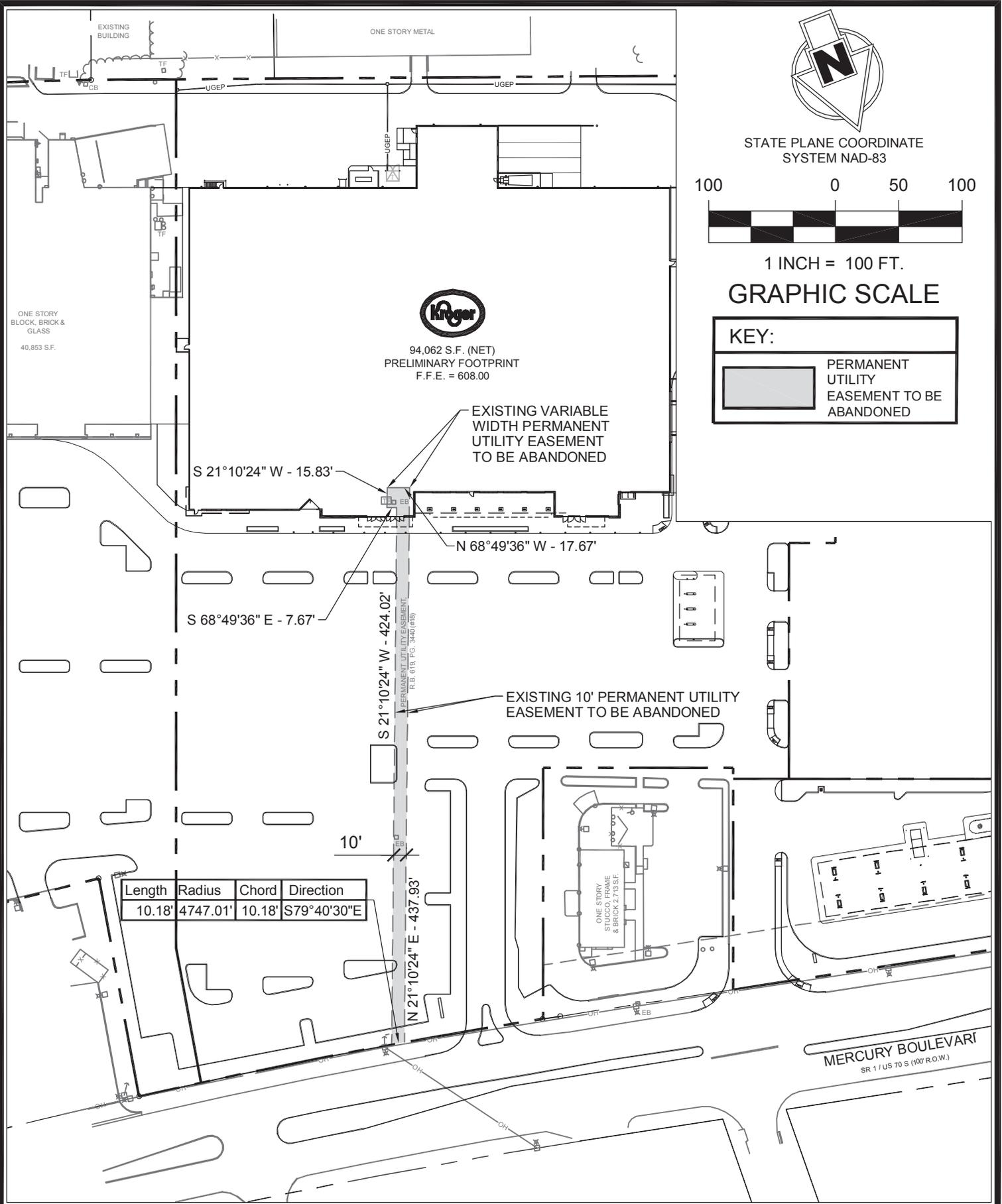
Sincerely,

A handwritten signature in blue ink, appearing to read "Jon Claxton".

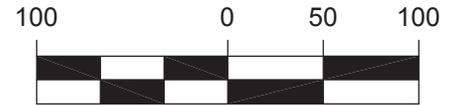
Jon Claxton, PE
Perry Engineering, LLC

Enclosure(s)

cc: Mr. Chris Miller, Kroger



STATE PLANE COORDINATE SYSTEM NAD-83



1 INCH = 100 FT.

GRAPHIC SCALE

KEY:

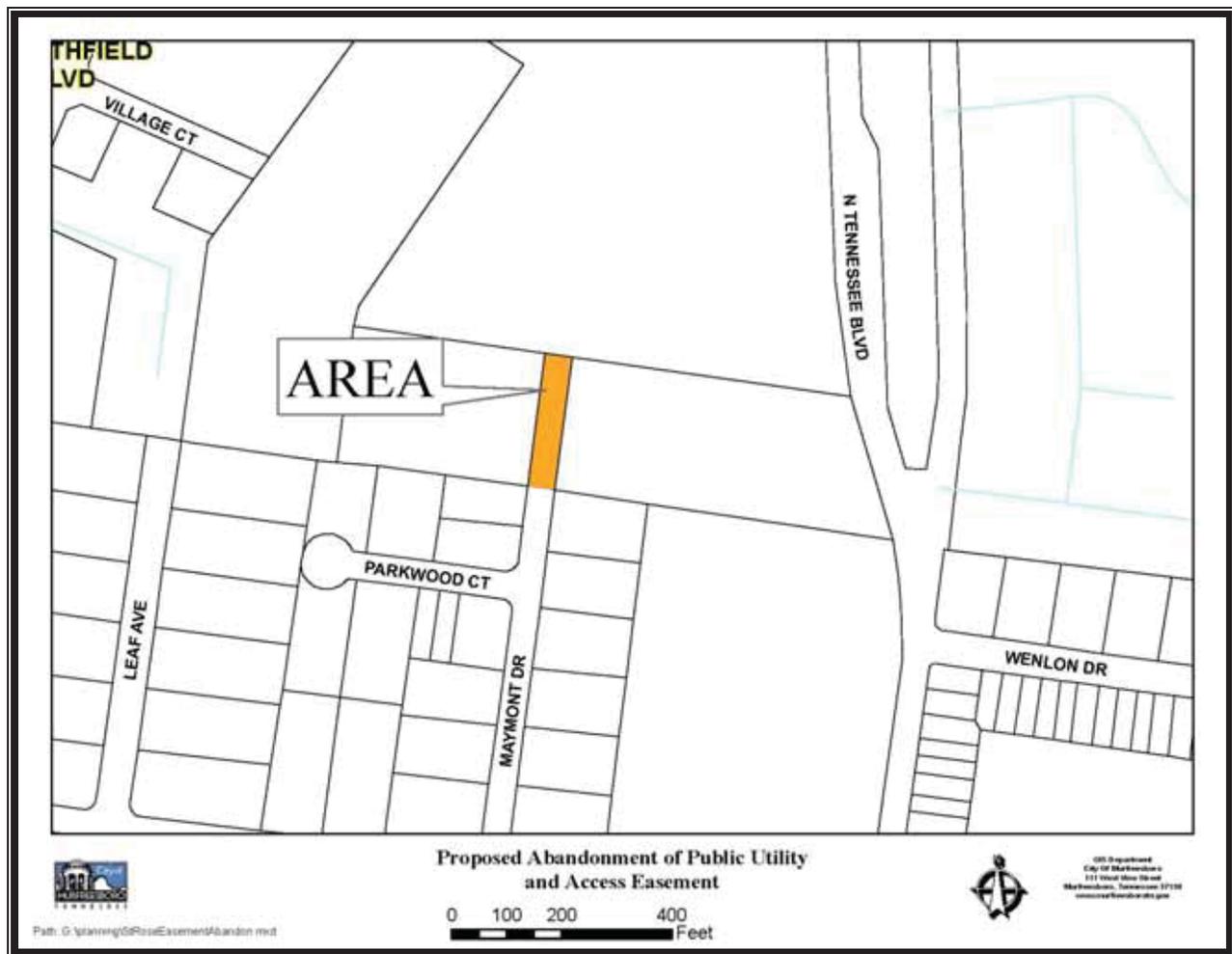
 PERMANENT UTILITY EASEMENT TO BE ABANDONED



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

4.s. Mandatory Referral [2016-702] for the abandonment of a 50' public utility & access easement located north of Maymont Drive, St. Rose of Lima Catholic Church applicants.

The Planning Commission is being asked to consider abandoning an existing public utility easement located north of Maymont Drive, on Lot 2 of the Jean Beasley subdivision. This easement also is a private access easement that is not within the City's authority to abandon. Staff has studied the property and has been made aware that any utilities located within this area will need to maintain an easement. The approval of this request is subject to the applicant providing all the necessary documentation required to prepare and record the instrument to City Staff. This includes legal descriptions and an illustration of the property. A survey will also need to be provided to field locate any utilities that presently exist so that an easement can be maintained. If approved by the Planning Commission, Staff will forward the Planning Commission's recommendation to the City Council for its consideration.



PETER V. HALL, P.C.

A Professional Corporation
Attorney-at-Law

8 Lincoln Square
1535 West Northfield Blvd.
Murfreesboro, TN 37129

Phone: (615) 895-8880
Fax: (615) 895-7226

February 11, 2016

Mr. Gary Whitaker
Planning Director
City of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37130

SENT VIA ELECTRONIC MAIL AND U.S. MAIL

Re: Proposed abandonment of public utility and access easement

Dear Mr. Whitaker:

On behalf of St. Rose of Lima Catholic Church ("Church"), this letter is being submitted as a request for a proposed abandonment of a fifty foot public utility and access easement as such appears on the plat entitled "Subdivision Plat For Jean Beasley" recorded at Plat Book 15, Page 69 at the Register's Office of Rutherford County, Tennessee. A copy of that plat is attached to this letter. A notation appears in the lower lefthand corner of the plat which provides that the easement is to be dedicated as a fifty foot public right-of-way by the owner of Lot 2 to the City of Murfreesboro upon the sale or development of Lot 2 or to the N.O. Beasley property to the north. Water, sanitary, sewer and street improvements would also be extended per City standards with the dedication.

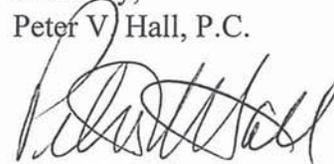
The Church is presently the owner of Lot 1 shown on the enclosed plat. The Church is presently under contract to purchase Lot 2 as well as the N.O. Beasley property to the north and the N.O. Beasley property to the west, all of which comprises approximately 29 acres. I have also enclosed a copy of a GIS map which I have marked to show the property under contract. The closing of the sale is scheduled to occur during the last week of March, 2016.

Upon completion of the purchase by the Church, the Church does not wish for the public utility and access easement to be dedicated as a public right-of-way since the Church will be the owner of the entire property to the east, west and north of the present easement. Pending completion of the closing, the Church hereby requests that the City of Murfreesboro provide a written agreement that upon completion of purchase of the property by the Church, and further upon written notification to the City by the Church, the public utility and access easement will be abandoned by the City.

2/11/2016
Mr. Gary Whitaker
Pg. 2

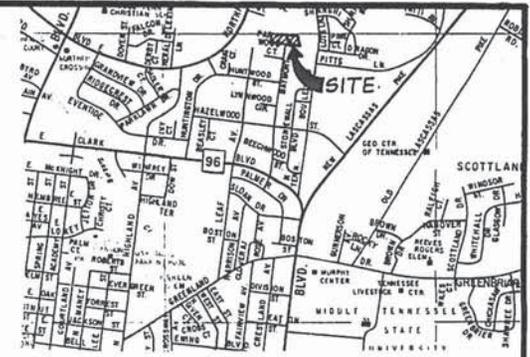
Please advise what steps can be taken by the City and/or the Church to accomplish this objective. Thank you for your consideration. If you have any questions or wish to discuss this further, please do not hesitate to contact me.

Sincerely,
Peter V Hall, P.C.



Peter V. Hall

PVH/lr
Enclosures
cc: Davis Ives, Assistant City Attorney (vial email only)
St. Rose of Lima Catholic Church (via email only)
Gino Marchetti, Diocesan Attorney (via email only)
Renee Miller (via email only)



LOCATION MAP

N.T.S.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date 2-11-92
Deed Bl. 422, 125

Plat: 569, 477

Jean Beasley
OWNER

CERTIFICATE OF ACCURACY

I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Tennessee Planning Commission and that the monuments have been placed as shown hereon, to the specifications of the County Road Commissioner or the City Engineer.

Date 2-10-92
James H. Harts
REGISTERED ENGINEER OR SURVEYOR

CERTIFICATION OF THE APPROVAL OF STREETS AND UTILITIES

I hereby certify that all streets, utilities, power pole locations and other improvements have been installed in an acceptable manner and according to city (county) specifications in the subdivision entitled:

Subdivision Plat For JEAN BEASLEY
Date 1-25-92
Gregory A. Hilly
CITY MANAGER

Date 2-12-92
C. W. Wynn
CITY ENGINEER

Date 2-11-92
Thomas C. Caudle
CHAIRMAN, PLANNING COMMISSION

Date 2-11-92
John Stally
SOUTH CENTRAL BELL

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plan shown hereon has been found to comply with the Subdivision Regulations of Tennessee, with the exception of such variances, if any, as are noted to the notice of the Planning Commission and that it has been approved for recording in the office of the County Register.

Date 2-12-92
Joseph E. Kitchens
CHAIRMAN, PLANNING COMMISSION

Date 2-12-92
Joseph E. Kitchens
SECRETARY

POSTAL SERVICE CERTIFICATE
I certify that the property shown hereon will be served by the *Northwest Bell* Postal Office.
Date 2-4-92
John Stally
SIGNATURE OF AUTHORIZED OFFICIAL

CERTIFICATION OF THE APPROVAL OF WATER AND SEWERAGE SYSTEMS

I hereby certify that the water supply and sewage disposal utility systems installed, or proposed for installation in the subdivision, plan shown hereon, comply with the requirements of the Tennessee State Health Department, and the Tennessee Water and Sewer Department, and are hereby approved as shown.

Subdivision Plat For JEAN BEASLEY
Date Feb 11 1992
Joseph E. Kitchens
Chair and Sewer Department Official

RECORDING FEE 10.00
STATE TAX -
REGISTER'S FEE -
TOTAL PAID 10.00
RECEIPT NO. 40302

BART YEARGAN, REGISTER
RUTHERFORD COUNTY, TENNESSEE
Received February 13, 1992
Time 8:00 A.M.
Notebook 40 Page 512
PLAT BOOK 15 PAGE 69
Deputy *Martha C. Wright*



100' 0 100'

o Iron Pin Set unless otherwise noted
IPF o Iron Pin Found
FC o Fence Corner
2 Lots-5, 77 Ac.

N.O. Beasley
302/143

Logan
Boogs
263/179

St. Rose of Lima
Catholic Church

21
North Meadows
Subdivision

Maymont Estates
Section C

NOTE: The Public Utility & Access Easement is to be dedicated as a fifty (50)-foot public right-of-way by the owner of Lot 2 to the City of Murfreesboro upon the sale or development of Lot 2 or the N.O. Beasley property to the north. Water, sanitary sewer, and street improvements are to be extended per City standards with this dedication.

Developer: Jean Beasley
1025 A E. Northfield Blvd.
Mboro, TN, 37129
Tax Map: B1
Parcels: 113 & 113.01
Flood Map: 47D168-0004 B
Zone: C

Plat Book: 15, Page: 69



W. HENRY HUDDLESTON III
CIVIL ENGINEER
2115 N.W. BROAD ST.
MURFREESBORO, TENN. 37130

SUBDIVISION PLAT FOR
JEAN BEASLEY

13th. Civil District - Rutherford Co. - Tennessee

DATE February, 1992 SCALE 1" = 100' SHEET 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

5.a. Rose Corner Development [2016-3038 & 2016-6004] final design review & site plan review for 18,944 square foot multi-tenant building on 0.43 acres zoned MU and GDO-1 located along Medical Center Parkway and Robert Rose Drive, the Capital Corporation developer.

This is the final design review for two new 9,472 square foot multi-tenant buildings (18,944 square feet total) located along Medical Center Parkway and Robert Rose Drive. The proposed uses mix restaurant and retail space in each building and is permitted by right. The proposed building is a one story structure (26'). The Planning Commission discussed the architectural design to determine if its architectural character is in keeping with the GDO standards at Initial Design Review. The Planning Commission asked the architect to work with staff to revise the architectural design.

The design team and the developer should address all GDO comments prior to final design review at the Planning Commission. Staff recommends any approval of the final design review and site plan review be made subject to all staff comments.



GDO Comments

- 1) The developer needs to submit a list of all variances that will be required for the plan, if any, and be prepared to justify them during initial design review with the Planning Commission. *None requested*
- 2) Final architectural elevations showing all exterior building elevations indicating building height, materials fenestrations and details must be submitted to the Planning Department prior to final design review. Any visible roof projections and visible mechanical equipment must be shown. *Preliminary renderings provided. The rear parapet has been increased to screen the rooftop equipment and the rear of the front parapet.*
- 3) The architect needs to provide a breakdown of the amount, in percentage, of all exterior building materials proposed for this project (including glass). Please note that the information must be provided for the overall project as well as for each elevation. *The provided calculations should be revised to indicate the correct direction and face [Front (South), Front (East), Rear (north), side (west), and sides along the plaza.*

	Front (South)	Front (East)	Side (west)	Rear (north)	Plaza Sides	Total %
Primary (brick, cast stone)	63	73	73	100	66	75
Glass	37	27	27	0	34	25

- 4) Commercial Building design must meet the following criteria:
 - Buildings shall not be designed to have long uninterrupted facades. Variations in the roof line or the wall plane shall be used to break up the mass of the building.
 - Buildings shall have a defined base and cap. *These buildings do not have a defined base or cap and should be revised accordingly.*
 - All facades visible from public access ways shall be similar to the primary facade in material and design. *Additional details to the rear of the building can be added to meet this standard. .*
 - Roof forms shall be appropriate to the building's design and scale. *The roof design is flat; a cornice should be added to add interest to the building.*

The architect and owner should contact Margaret Ann Green and Gary Whitaker prior to the Planning Commission meeting to discuss the building design.

- 5) Demonstrate on the architectural plans how the roof top units will be properly screened. Mechanical, utilities or other building elements that must be roof mounted shall be located and screened so they are not visible from any point six feet above ground level or from any public right of way. The appurtenances shall be grouped and enclosed by screens that are designed to be compatible with the building architecture. The screens shall be set back from the roof edge a distance of no less than one and one half times their height. *The increased parapet screens this equipment.*
- 6) Prior to final design review, provide a compliant building materials board with colored architectural renderings must be submitted to the Planning Department. *A board has been provided. This board needs to identify the type of glass proposed on the storefronts.*

- 7) Prior to final design review, the applicant must provide drawings and/or visual aids illustrating all exterior signage graphics, art, lighting, and furniture. When incorporated into the site, streetscape furnishings such as benches, receptacles, light fixtures, bollards, etc. shall create a uniform theme throughout the site. This entails the selection and specifications of products based on a harmonious design and compatibility with the architecture of the site and in conformance with standards adopted by the City. *These need to be provided prior to final design review (not at tenant build-out).*
- 8) Provided calculations of required and provided open space and an area plan identifying areas proposed to be counted as open space. Verify that what is being counted toward the minimum open space requirements meets the criteria to be considered as open space, as specified in the GDO regulations. *Provided on page L1.1.*
- 9) Provide a detail of the area located between the two buildings. Staff suggests this area be designed as formally designed area with treated hardscapes, benches, trash receptacles and defined patio areas. *This area is identified as formal hardscape area. Details of the pavement type and proposed furnishings still need to be provided.*
- 10) Provide details of the proposed fencings. *None proposed.*
- 11) The site must comply with the Gateway Streetscape Master Plan. *Decorative light fixtures and sidewalks are shown. Add the details in the plans on page C5.1 for the stamped concrete plaza as follows: Chromix admixture in Quarry Red in a herringbone pattern with a charcoal single soldier border.*
- 12) The GDO regulations call for existing trees to be preserved where possible. Provide a tree survey for all existing trees that can be preserved. *None proposed to be preserved.*
- 13) Articulation of main entries should be emphasized and reinforced by creating a focal point with specimen plant material. Seasonal color can be considered wherever possible for special interest areas. *This appears to be done.*
- 14) Prior to Final Design Review, submit an irrigation plan indicating the location and extent of automatic underground irrigation systems including the location of any connection to the City's repurified water system;
- 15) The Landscape Architect should contact all utility providers to locate any above ground structures that will be required for the site. After they have been located, adequate screening should be provided.
- 16) Show the locations of all site utilities, such as solid waste elements, utility boxes and HVAC units, on the site plan and landscape plan and demonstrate how the negative impacts of utilities such as electrical transformers and other mechanical equipment will be screened either with evergreen planting, building and equipment orientation, fencing, screening walls, grading and/or berming. Grouping these items together will usually make treatment more efficient and effective.
- 17) Provide a lighting plan with specifications of site lighting layout, fixture selection, fixture height (including the base), and fixture photometric. Shoebox-style lighting fixtures shall not be used for poles of sixteen feet or less in height. White light is required and low-sodium

lighting is prohibited. All lighting fixtures and poles will be reviewed for aesthetic quality and compatibility. *Provided on page E001. The photometric plan should also include details of the wall mounted fixtures.*

- 18) Outdoor display or sale of merchandise is prohibited. *None proposed.*
- 19) The applicant must provide a construction facilities plan and schedule to include the location and description of temporary signage, construction trailers and materials staging in storage area, construction access locations and parking. *Provided on page C2.1.*
- 20) Prior to construction beginning on any site within the GDO district, the owner, or owner's authorized agent shall provide the Planning and Engineering Department with seventy-two hours advance written notice. The Planning and Engineering staff may conduct on-site inspections as development and construction proceeds to monitor compliance with these design regulations and to assure that the construction is proceeding in accordance with the previously approved plans. *Informational comment.*
- 21) Submission of utility drawings. At the end of the construction period, by phase, the owner shall submit to the Planning and Engineering Department reproducible copies of record drawing (as-builts) showing the actual locations of all underground utilities and irrigation system. *Informational comment.*

Staff Comments:

- 1) A final plat to create this lot must be reviewed prior to the issuance of a building permit and must be recorded prior to the issuance of a Certificate of Occupancy.
- 2) Please confirm that plaza plantings match plantings required in street scape master plan.
- 3) The point of contact for the Engineering Dept. is Cey Chase at 615/893-6441 or cchase@murfreesborotn.gov.
- 4) Show the sidewalk to be 6' not 5' wide within the ROW.
- 5) Show the inbound lane of the right in/right out to be a minimum of 16' of pavement with mountable concrete island
- 6) The curb inlets on both Medical Center Parkway and Robert Rose Drive should be plated and relocated out of the travel lane.
- 7) Both entrance drive should be City standard concrete commercial ramp.
- 8) Show the crosswalk markings to be two solid parallel lines.
- 9) Provide a note that all pavement markings on the roadway shall be thermoplastic.
- 10) The roadway improvement plans for the new right turn lane and pavement markings will require the review and approval of the City Engineer prior to a building permit. Submit 3 hard copies to the Engineering Department for review and approval of any modifications within the public right of way.
- 11) Riprap is not acceptable as a permanent outlet control. Provide an alternative outlet control such as a concrete flume or river rock.

Stormwater Comments:

- 1) Note the type of Contec Vortsentry unit to be used on the site plan.
- 2) This site must meet the City's Stormwater Quality requirements.
- 3) Identify who will be responsible for the long term operation and maintenance of this stormwater facility: off-site detention pond and water quality unit. A long-term operation and maintenance plan and agreement (<http://www.murfreesborotn.gov/index.aspx?NID=500>) for the stormwater facilities must be signed and notarized prior to issuance of certificate of occupancy.
- 4) Erosion and sediment control plans (EPSC) should be in 2 phases prior to a land disturbance permit.
- 5) A ROW Excavation permit and bond will be required before beginning any work in the right of way.
- 6) Discharges of stormwater associated construction activities on sites that disturb one acre or more and including sites less than 1 acre that are part of a larger common plan of development or sale will require a NPDES Stormwater Construction General Permit (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>). Provide a copy of the NPDES Notice of Coverage or Notice of Intent (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) to the Engineering Dept prior to starting any construction activities and prior to issuance of a land disturbance permit.
- 7) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application (<http://www.murfreesborotn.gov/index.aspx?nid=499>) and 2 copies of the SWPPP/EPSC/NOC must be submitted to the Engineering Department.
- 8) Prior to the issuance of a land disturbance permit and building permit, submit to the Engineering Dept. three (3) hard copies of the site plan, 1 hard copy of the stormwater report with design and calculations and 1 hard copy of the stormwater management record sheet, long-term operation and maintenance plan and agreement for the stormwater facilities (<http://www.murfreesborotn.gov/index.aspx?NID=441>).
- 9) A final construction stormwater inspection certification, CN-1173 and/or Notice of Termination (NOT), CN-1175 (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) will be required prior to certificate of occupancy (CO).
- 10) An Engineer's Certification of the construction of the stormwater facilities (<http://www.murfreesborotn.gov/index.aspx?NID=441>) will be required prior to certificate of occupancy (CO).

Standard Staff Comments:

- 1) This site plan is affected by the Major Thoroughfare Plan, as Medical Center Parkway is to be improved.
- 2) Per the design engineer's certification on this plan, this property lies in Zone X, areas designated as outside the floodway and 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr

in the Building and Codes Department. For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.

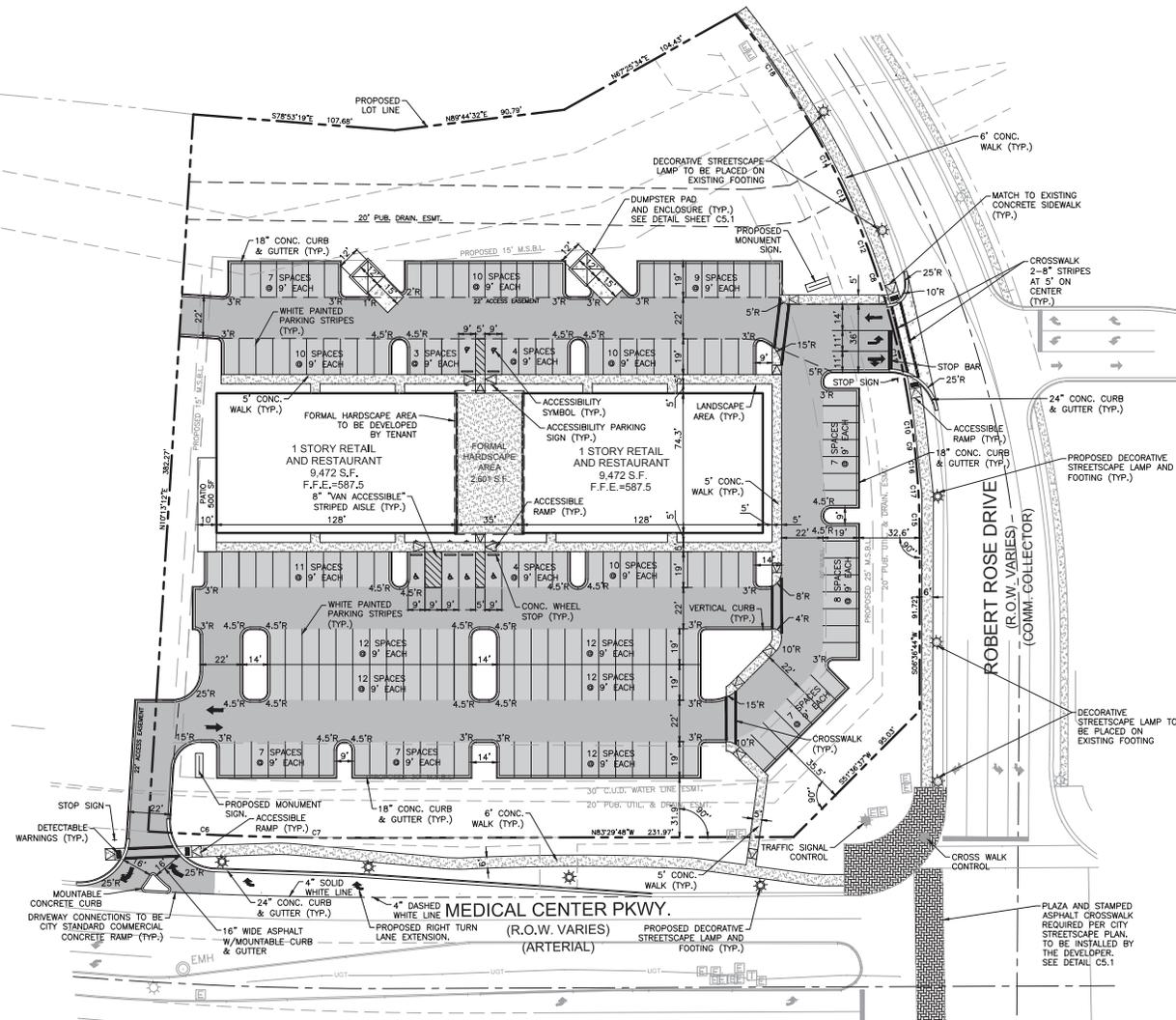
- 4) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
 - Overhead – 40ft. 20ft either side of nearest power pole
 - Down Guys – 5ft x 30ft
 - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 12) A CUDRC Developer's Packet; which includes an overview of the construction process and required submittals, can be found online at cudrc.com.
- 13) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.

- 14) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial.
- 15) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to [subdivisions@cudrc.com](mailto:subdivisions@ cudrc.com).
- 16) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to [subdivisions@cudrc.com](mailto:subdivisions@ cudrc.com). Contact CUDRC's Engineering Department (615-225-3339) for further information.
- 17) All main water line taps are to be made by CUDRC.
- 18) Submit a completed CUDRC "Meter Application and Fixture Count Submittal Form" along with plumbing plans to [subdivisions@cudrc.com](mailto:subdivisions@ cudrc.com). The form can be found at <http://www.cudrc.com/docs/METER-APPLICATION-FIXTURE-UNIT-FORM.aspx>
- 19) All backflow preventers are to be located outside and in an aboveground hotbox.
- 20) Owner(s) must submit a notary signed CUDRC Landscaping Agreement to CUDRC if landscaping is within a CUDRC Easement.
- 21) TDEC approved plans from CUDRC and a "Construction Start Notification" letter are to be issued to the contractor from CUDRC prior to the start of any water line construction.
- 22) All canopy trees are to be located a minimum of ten feet from water lines.
- 23) Show existing fire hydrant locations.
- 24) Fire hydrant must be located within 150 feet of FDC.
- 25) A 'Private Water Agreement' with CUD must be filed and recorded PRIOR to Permitting.
- 26) An approved Knox StorzGuard FDC with a 30 degree elbow and locking cap sized 5" Storz x 4" NPT is required by MFRD.
- 27) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
- 28) An exterior electric horn/strobe (NOT a Water Motor Gong) is required above the FDC by MFRD.
- 29) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 30) Property is within the Overall Creek and Medical Center Pkwy. assessment districts. Add this note to the plan.
- 31) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 32) All canopy trees must be located 10' minimum from all public water/sewer main(s).

CURVE TABLE						CURVE TABLE						CURVE TABLE								
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG	CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG	CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C6	1727.50'	111.90'	3°42'41"	55.97'	111.88'	N81°38'27"W	C11	444.91'	176.53'	22°44'01"	89.44'	175.37'	N13°04'57"W	C16	444.91'	64.67'	8°19'40"	32.39'	64.61'	N02°26'54"E
C7	1727.50'	111.90'	3°42'41"	55.97'	111.88'	N81°38'27"W	C12	444.91'	176.53'	22°44'01"	89.44'	175.37'	N13°04'57"W	C17	444.91'	64.67'	8°19'40"	32.39'	64.61'	N02°26'54"E
C8	444.91'	176.53'	22°44'01"	89.44'	175.37'	N13°04'57"W	C13	444.91'	176.53'	22°44'01"	89.44'	175.37'	N13°04'57"W	C18	444.91'	60.25'	7°40'31"	30.17'	60.20'	N8°19'43"W
C9	444.91'	64.67'	8°19'40"	32.39'	64.61'	N02°26'54"E	C14	444.91'	176.53'	22°44'01"	89.44'	175.37'	N13°04'57"W							
C10	444.91'	64.67'	8°19'40"	32.39'	64.61'	N02°26'54"E	C15	444.91'	64.67'	8°19'40"	32.39'	64.61'	N02°26'54"E							



SITE DATA:

PROPERTY INFORMATION:
 STREET ADDRESS: MEDICAL CENTER PARKWAY
 CIVIL DISTRICT: 7th
 TAX MAP: 92
 PARCEL: 008.14 & 008.15
 LOT SIZE: 3.43E AC. (149,517 S.F.) LOTS 4 & 5

ZONING INFORMATION:
 ZONING CLASSIFICATION: (MU) - MIXED USE DISTRICT
 OVERLAYS: G00-
 STREETSCAPE MASTER PLANS: MEDICAL CENTER PARKWAY
 EXISTING USE: VACANT
 PROPOSED USE: RESTAURANT/RETAIL CENTER

BUILDING SETBACKS:
 MINIMUM FRONT YARD: 30'
 MINIMUM REAR YARD: 15'
 MINIMUM SIDE YARD: 25'

PROJECT INFORMATION:
 MAXIMUM BUILDING HEIGHT: 75'
 PROPOSED BUILDING HEIGHT: 28'± (1 STORY)
 PROPOSED SQUARE FOOTAGE: 18,944 S.F.
 SOX RETAIL: 9,472 S.F.
 SOX RESTAURANT: 9,472 S.F.

PARKING DATA:
 PARKING REQUIRED PER CITY OF MURFREESBORO
 RETAIL STORE: 9,472 S.F. @ 1.0 SP./300 S.F.: 32 SPACES
 RESTAURANT: 9,472 S.F. @ 1.0 SP./100 S.F.: 95 SPACES
 TOTAL PARKING REQUIRED: 127 SPACES

NOTE:
 PER CITY OF MURFREESBORO ORDINANCE, DEVELOPMENT RESTAURANT SEATING TO BE LIMITED TO 284 SEATS, FOR 142 SPACES.

PARKING PROVIDED:
 REGULAR PARKING: 174 SPACES
 HANDICAP PARKING: 6 SPACES
 TOTAL PARKING PROVIDED: 180 SPACES

FLOOD INFORMATION:
 FEMA MAP #: 47149C0260H
 EFFECTIVE DATE: JANUARY 5, 2007
 BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47149C0260H, WITH A MAP REVISION DATE OF JANUARY 5, 2007, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470166, PANEL NO. 0255, SUFFIX 1H, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

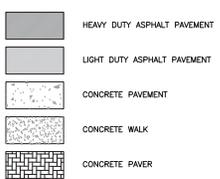
NOTE:

1. OUTDOOR DISPLAY OR SALE OF MERCHANDISE IS PROHIBITED.
2. THE PLANNING COMMISSION DOES NOT APPROVE SIGNAGE; A SEPARATE PERMIT FROM THE BUILDING AND CODES DEPARTMENT IS REQUIRED FOR ALL SIGNAGE, INCLUDING FLAG SIGNS. CONTACT MELBA KERR IN THE BUILDING AND CODES DEPARTMENT, FOR PROPOSED FLAGPOLE(S), THE FLAGPOLE(S) MUST BE LOCATED ON THE SITE PLAN ALONG THE MAXIMUM PROPOSED POLE HEIGHT, THE MAXIMUM PROPOSED FLAG SQUARE FOOTAGE, AND THE FOUNDATION DESIGN, THE SETBACK REQUIREMENTS FOR FLAGPOLES ARE ESTABLISHED IN THE SIGN ORDINANCE.
3. ALL NEW PAVEMENT MARKINGS IN THE RIGHT OF WAY SHOULD BE THERMOPLASTIC.

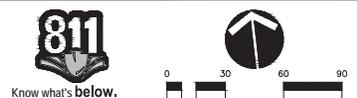
STREETSCAPE NOTE:
 1. MEDICAL CENTER PARKWAY IS IDENTIFIED IN THE GATEWAY STREETSCAPE MASTER PLAN AND SUBJECT TO THE DESIGN GUIDELINES AND RESTRICTIONS OF THE STREET-SCAPE IMPROVEMENT GUIDELINES FOR NEW DEVELOPMENT ALONG ROADWAYS WITHIN THE MURFREESBORO GATEWAY REVISED JULY 21, 2010.

RIGHT-OF-WAY NOTE:
 1. ALL WORK IN THE RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF MURFREESBORO STANDARDS AND REGULATIONS. CONTRACTOR SHALL COORDINATE WITH CITY OF MURFREESBORO TRANSPORTATION DEPARTMENT PRIOR TO COMMENCEMENT OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
 2. ALL PAVEMENT MARKINGS IN RIGHT-OF-WAY TO BE THERMOPLASTIC.

PAVEMENT LEGEND



NOTE:
 TRAFFIC SIGNAL ELEMENTS ARE LOCATED IN THE VICINITY OF THE WORK. THE CONTRACTOR SHOULD CONTACT THE CITY TRAFFIC ENGINEER AT 615-893-6441 TO SCHEDULE A FIELD MEETING TO REVIEW THE LOCATIONS TO AVOID DAMAGE TO THE TRAFFIC SIGNAL ELEMENTS.



RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 1000 UNIVERSITY BLVD., SUITE 100
 MEMPHIS, TN 38103
 (901) 525-1100
 WWW.RAGANSMITH.COM



ROSE CORNER DEVELOPMENT
 FOR
CAPITAL CORPORATION
 CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE

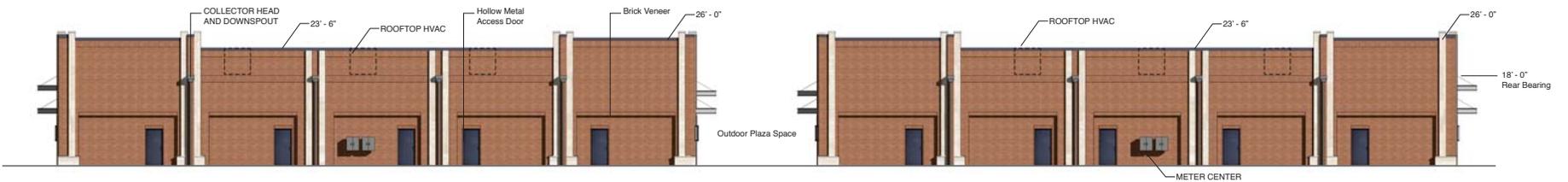
WORK ORDER NO.	15148
DATE	JANUARY 28, 2016
DESIGNED BY	L. HORN
DRAWN BY	B. PATTERSON
SCALE	1"=30'
DATE	JANUARY 28, 2016
REVISIONS	

SITE LAYOUT PLAN
C1.1



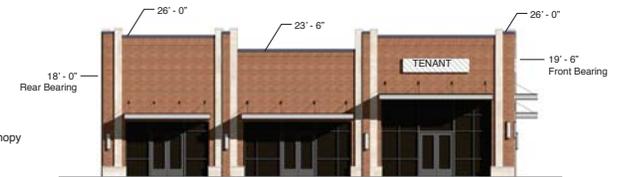
FRONT ELEVATION (SOUTH)

SCALE: 1" = 10'-0"
 5 0 5 10 20 40



REAR ELEVATION (NORTH)

SCALE: 1" = 10'-0"
 5 0 5 10 20 40



PLAZA ELEVATION

SCALE: 1" = 10'-0"
 5 0 5 10 20 40



END ELEVATION

SCALE: 1" = 10'-0"
 5 0 5 10 20 40

Aluminum Canopies:
 Extruded Aluminum Hanger Rod Canopy

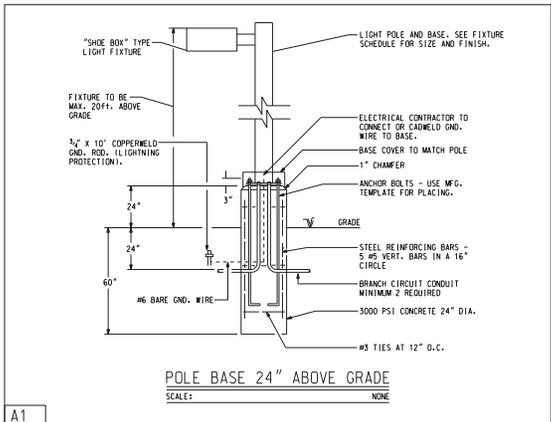
Aluminum Storefront:
 Bronze Anodized Frame
 Clear Glazing

Brick Veneer:
 Standard Modular Brick in Red/Orange

Cast Stone Accents:
 Full Bed Depth Cast Stone Product

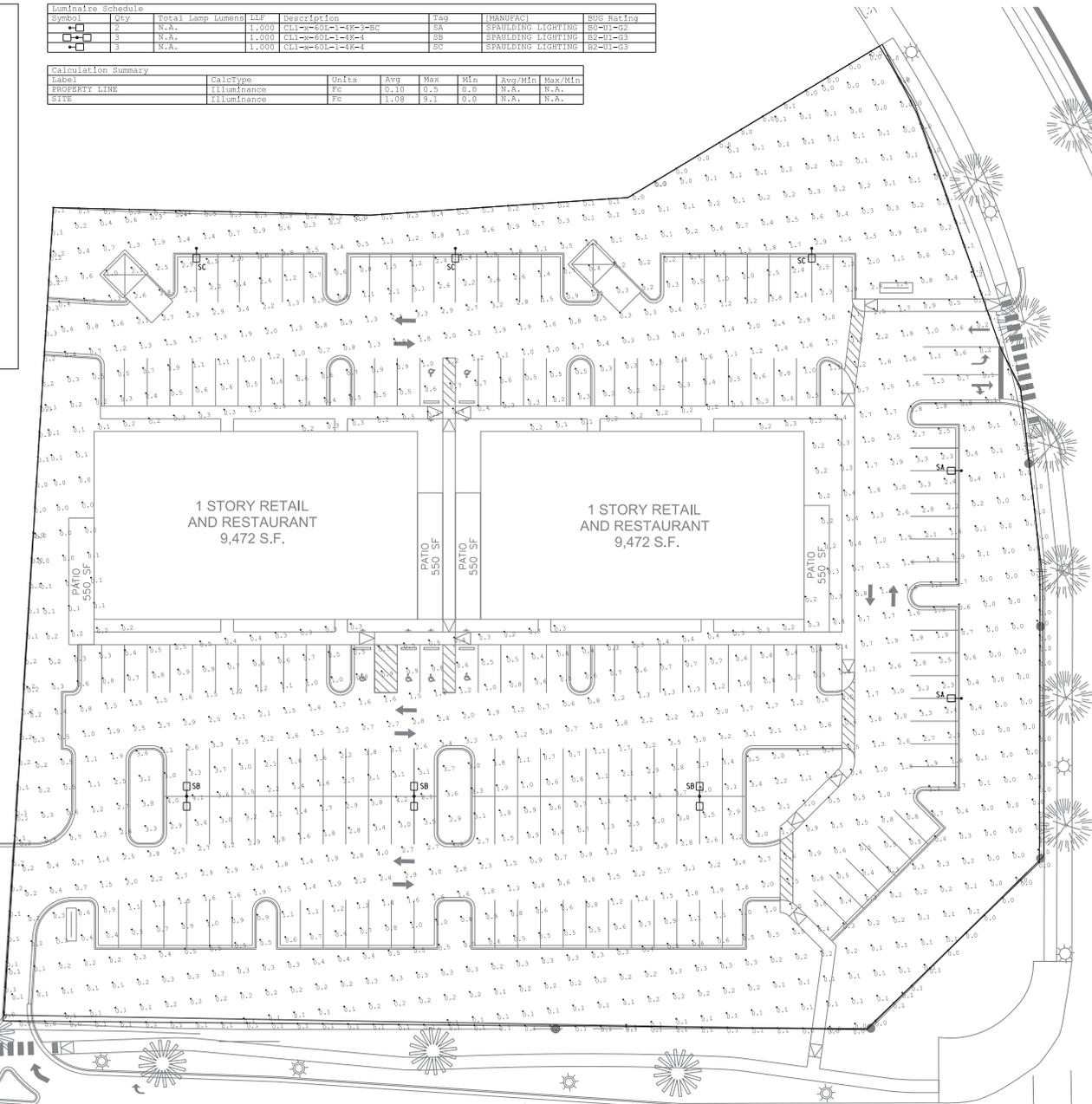
	BRICK	GLASS	STONE
FRONT	51%	37%	12%
REAR	90%	0%	10%
PLAZA	53%	34%	13%
END	60%	27%	13%
TOTAL	65%	25%	10%

6/16/2016 10:50 AM
 1:47:29 PM



Luminaire Schedule							
Symbol	Qty	Total Lamp Lumens	LLF	Description	Tag	(MANUFAC)	BUG Rating
SA	2	N.A.	1.000	CLI-x-SOL-1-4K-3-SC	SA	SPALDING LIGHTING	B2-01-G2
SB	3	N.A.	1.000	CLI-x-SOL-1-4K-4	SB	SPALDING LIGHTING	B2-01-G3
SC	3	N.A.	1.000	CLI-x-SOL-1-4K-4	SC	SPALDING LIGHTING	B2-01-G3

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	FC	0.10	0.5	0.0	N.A.	N.A.
SITE	Illuminance	FC	1.08	3.1	1.0	N.A.	N.A.



- GENERAL NOTES:**
- ALL SITE LIGHTING POLES SHALL HAVE A MAXIMUM HEIGHT OF 20'-0" ABOVE FINISHED GRADE. POLES ARE TO BE STEEL STRAIGHT SQUARE AND DARK BRONZE.
 - ALL EXTERIOR FIXTURES SHALL BE LED LIGHT WITH A WHITE COLOR TEMPERATURE.

LOT 6

MEDICAL CENTER PKWY.
(SOUTH SIDE)

PHOTOMETRIC SITE PLAN
SCALE: 1" = 20'-0"



**Southeast Venture
DESIGN SERVICES**

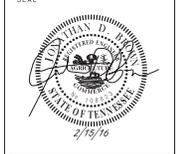
4011 ARMORY OAKS DRIVE
NASHVILLE, TENNESSEE 37204
(615) 833-9716 FAX: (615) 751-0483



PROJECT 15094

**Rose Corner Development
for Capital Corporation**

Medical Center Parkway, Murfreesboro, TN



ISSUED	DATE
REVISION	DATE

E001
PHOTOMETRIC
SITE PLAN

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
FEBRUARY 17, 2016**

5.b. Henley Station Phase 2 [2016-3033 & 2016-6003] final design review & site plan review for 177 dwelling unit multi-family development on 11.5 acres zoned MU, RS-15, PUD, and GDO-1 located along Robert Rose Drive and Willowoak Trail, Lifestyle Communities developer.

This is the initial design review for a new 177 dwelling unit multi-family development on 11.5 acres located adjacent to the existing Henley Station PUD along Robert Rose Drive and Willowoak Trail. The property is zoned MU (10.3 acres), RS-15 (0.35 acres), and PUD (0.79 acres). This is a proposed phase 2 of the Henley Station multi-family development; however it will be maintained as a separate lot and will meet standards as such. The proposed use is permitted by right within the MU and GDO-1 districts and this property exceeds the 5 acre minimum for multiple-family developments. The maximum density permitted in the MU district is 25 dwelling units per acre; this site falls below the maximum permitted density (17. d.u./a). There are various types of building elevations which are a mix of townhouse style construction (some with parking garages on the first floor) and flats. The proposed buildings are three stories and consist of brick and cementitious siding. A turbine park is located in the center of the site. The plan also proposes work to be done on the adjacent property.

The design team and the developer should address all GDO comments prior to final design review at the Planning Commission. Staff recommends any approval of the final design review be made subject to all staff comments.



GDO Comments

1) The developer needs to submit a list of all variances that will be required for the plan, if any, and be prepared to justify them during initial design review with the Planning Commission. *None requested*

2) The GDO provides a framework for the basic palette of architectural materials as follows:

❖ **Primary materials:** [1] Brick, [2] cementitious composition siding [3] natural stone-limestone granite or cultured stone [4]dimensional composition roof shingles

The structures' primary materials are cementitious composition siding and brick, which are consistent with the GDO standards.

3) Residential (single family and multiple family) design specifics are as follows.

[1] Variation in building elevations is desirable. Repetition of similar designs should be avoided. *The structures have multiple brick/cementitious siding and offsets. Also, the proposed porches vary in size & design.*

[2] All dwelling units with attached garages shall have garages accessed from either the side or rear. Front loading garages shall be prohibited. Houses with garages that project substantially in front of the rest of the dwelling unit shall be prohibited. *Garages are rear loading.*

[3] The incorporation of usable porches is encouraged. *The architectural rendering have been revised to add useable porches.*

[4] Dwellings shall have raised foundations. The first floor elevation shall be a minimum of one foot above the finished grade, unless a special accessibility requirement dictates otherwise. *This is being met.*

4) The architect needs to provide a breakdown of the amount, in percentage, of all exterior building materials proposed for this project (including glass). Please note that the information must be provided for the overall project as well as for each elevation.

5) Final architectural elevations showing all exterior building elevations indicating building height, materials fenestrations and details must be submitted to the Planning Department prior to final design review. Any visible roof projections and visible mechanical equipment must be shown. *Provided on sheets A1.01- A8.01. These sheets should identify the building materials.*

6) If there are any roof mounted units, then demonstrate on the architectural plans how they will be properly screened. Mechanical, utilities or other building elements that must be roof mounted shall be located and screened so they are not visible from any point six feet above ground level or from any public right of way. The appurtenances shall be grouped and enclosed by screens that are designed to be compatible with the building architecture. The screens shall be set back from the roof edge a distance of no less than one and one half times their height.

7) Prior to final design review, provide a compliant building materials board with colored architectural renderings must be submitted to the Planning Department. *This revised board needs to be provided and revised color renderings need to be submitted.*

- 8) Prior to Final Design Review, the applicant must provide drawings and/or visual aids illustrating all exterior signage graphics, art, lighting, and furniture. When incorporated into the site, streetscape furnishings such as benches, receptacles, light fixtures, bollards, etc. shall create a uniform theme throughout the site. This entails the selection and specifications of products based on a harmonious design and compatibility with the architecture of the site and in conformance with standards adopted by the City. *Details of the proposed benches and trash receptacles have been provided on page L5.0 and signage on a separate page.*
- 9) The site must comply with the Gateway Streetscape Master Plan. *Please revise the landscape plan to utilize Nuttall Oaks as the required street tree along Robert Rose Drive. Decorative street lights are shown on page P1.00; please identify them on the site plan as well.*
- 10) A minimum of 10 feet is required between the proposed buildings and the parking lot/access with the exception of vehicular access doors. *This appears to be met.*
- 11) A minimum of 15 feet is required between the parking and adjacent property. *This appears to be met.*
- 12) Provided calculations of required and provided open space and an area plan identifying areas proposed to be counted as open space. Verify that what is being counted toward the minimum open space requirements meets the criteria to be considered as open space, as specified in the GDO regulations. *Calculations & an area plan are provided on page L5.00- the site is providing 28 % open space. Please be aware that phased developments must provide the minimum 20% required with each phase. The phasing plan will need to take this in consideration.*
- 13) Provided calculations of required and provided formal open space and an area plan identifying areas proposed to be counted as formal open space. Verify that what is being counted toward the minimum formal open space requirements meets the criteria to be considered as formally designed landscape areas which may include hardscape improvements, street furnishings and amenity structures (i.e., gazebos, arbors, bandshells, etc.). Formal open space has a minimum area of 5,000 square feet. *Calculations & an area plan are provided on page L5.00. The turbine park in the center has a gazebo, benches, and sidewalks. The areas between the fronts of the units and public rights of way are enhanced with trellis structures, benches, and decorative trash receptacles.*
- 14) All parking areas shall be screened and buffered from public right of way by berms or planting (or a combination thereof) which shall have a minimum height of three feet at the time of installation. *The majority of parking spaces are being screened by the proposed buildings. Please confirm the angled parking off Willowoak Trail is screened.*
- 15) Show the required front landscaping yards (20' along collector). *This area is shown.*
- 16) The GDO regulations call for existing trees to be preserved where possible. Provide a tree survey for all existing trees that can be preserved. *None proposed.*
- 17) Articulation of main entries should be emphasized and reinforced by creating a focal point with specimen plant material. Seasonal color can be considered wherever possible for special interest areas. *This has not been done; please propose plantings on both sides of all ingress and egress*

- 18) Prior to Final Design Review, submit an irrigation plan indicating the location and extent of automatic underground irrigation systems including the location of any connection to the City's repurified water system; *Please revise the current irrigation coverage plan to cover all areas within the ROW extended to the property line in the northern corner of the lot.*
- 19) The Landscape Architect should contact all utility providers to locate any above ground structures that will be required for the site. After they have been located, adequate screening should be provided.
- 20) Show the locations of all site utilities, such as solid waste elements, utility boxes and HVAC units, on the site plan and landscape plan and demonstrate how the negative impacts of utilities such as electrical transformers and other mechanical equipment will be screened either with evergreen planting, building and equipment orientation, fencing, screening walls, grading and/or berming. Grouping these items together will usually make treatment more efficient and effective. *A compactor is identified along the TVA easement; please ensure the enclosure does not encroach within the easement. A screen detail has been provided on page C4.01. Will the compactor be roofed?*
- 21) Provide a lighting plan with specifications of site lighting layout, fixture selection, fixture height (including the base), and fixture photometric. Shoebox-style lighting fixtures shall not be used for poles of sixteen feet or less in height. White light is required and low-sodium lighting is prohibited. All lighting fixtures and poles will be reviewed for aesthetic quality and compatibility. *Provided on page P1.00. Provide a detail of the proposed decorative wall mounted lights on the fronts of the structures and the wall mounted lights located within the motor courts.*
- 22) The applicant must provide a construction facilities plan and schedule to include the location and description of temporary signage, construction trailers and materials staging in storage area, construction access locations and parking. *This needs to be provided.*
- 23) Prior to construction beginning on any site within the GDO district, the owner, or owner's authorized agent shall provide the Planning and Engineering Department with seventy-two hours advance written notice. The Planning and Engineering staff may conduct on-site inspections as development and construction proceeds to monitor compliance with these design regulations and to assure that the construction is proceeding in accordance with the previously approved plans. *Informational comment.*
- 24) Submission of utility drawings. At the end of the construction period, by phase, the owner shall submit to the Planning and Engineering Department reproducible copies of record drawing (as-builts) showing the actual locations of all underground utilities and irrigation system. *Informational comment.*

Staff Comments:

- 1) A phasing plan must be submitted and approved prior to the issuance of any permit.
- 2) Provide details of the dimensions of the proposed garages. The detail should demonstrate a vehicle can fit within the garages.
- 3) The location sketch map should identify the affected drainage basin
- 4) Please revise the current irrigation coverage plan to cover all areas within the ROW extended to the property line in the northern corner of the lot.

- 5) Please provide SDVT at the intersection of Willow Oak Trail and Robert Rose Drive.
- 6) Please move landscape note no. 34 to a more prominent location on the landscape plan.
- 7) TVA will need to approve any plantings within their easement. The existence of TVA's easement doesn't alleviate the developer's requirements for tree/shrub plantings. Alternative plantings will need to be proposed. http://www.tva.gov/power/rightofway/trees_shrubs.htm provides accepted plants for TVA's easement. Prior to building permit release, documentation will need to be provided showing TVA's approval of the City's approved landscape plan.
- 8) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov. *Informational comment.*
- 9) The existing inbound lane at the main entrance must be widened to allow the Fire Department to use the entrance. These improvements must be complete prior to any building permits being issued in this phase. Please contact Carl Peas with Murfreesboro Fire Department for questions. *Provide a detail of the improvements*
- 10) Provide a construction phase plan prior to any building permit.
- 11) Provide an area onsite for parking during construction. Parking in the public Right of Way will not be permitted.
- 12) The public sidewalks along Robert Rose Drive and Willow Oak Trail need to be located in the public Right of Way.
- 13) All cross walks in the public right of way should be standard crosswalks (2 parallel lines)
- 14) Dimension lane widths at all entrances.
- 15) A mandatory referral will be required to relocate the drainage easement across the site. Action is required by both the Planning Commission and City Council to take abandon a public easement.
- 16) Show paver underdrains on the grading and drainage plan.
- 17) Provide top and bottom elevations of the proposed retaining wall. Final design will be required prior to a building permit being issued.

Stormwater Comments:

- 1) New development and redevelopment involving increase of 10,000 square feet of impervious area, on a lot or within a common plan of development of at least one acre must comply with the city's stormwater quality design standards.
- 2) This site is required to comply with the City Stormwater Quality requirements. Demonstrate how this is being accomplished.
- 3) The EPSC plan for SWPPP should be in at least 3 phases.
- 4) Prior to the issuance of the first building permit, a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements must be submitted to and approved by the Engineering Department.
- 5) Prior to the issuance of the first building permit, a Stormwater Management Record Sheet must be submitted to the Planning and Engineering Department.

- 6) Prior to the issuance of the final Certificate of Occupancy, submit an Engineer's Certification of Stormwater Quality Controls.
- 7) Prior to the issuance of the final certificate of occupancy, a Stormwater Facilities Operation and Maintenance plan must be submitted to and approved by the Engineering Department.
- 8) Prior to the issuance of final certificate of occupancy, submit a signed Stormwater Facilities Operation and Maintenance Agreement to the Planning and Engineering Department.
- 9) As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City Engineer prior the city issuing a Land Disturbance Permit.
- 10) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 11) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

Standard Staff Comments:

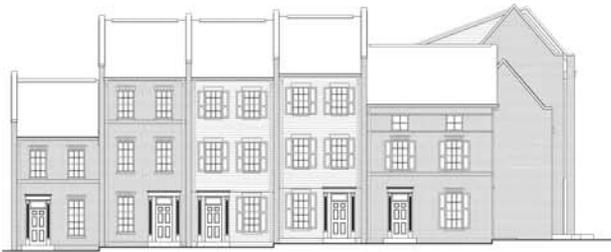
- 1) This site plan is not affected by the Major Thoroughfare Plan.
- 2) Per the design engineer's certification on this plan, this property lies in Zones X, areas designated as outside the floodway and 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department. For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 4) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

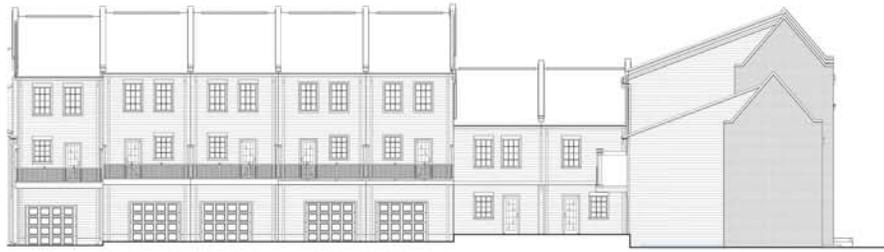
- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
 - Overhead – 40ft. 20ft either side of nearest power pole

- Down Guys – 5ft x 30ft
 - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
 - 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
 - 7) All fire hydrants must be located 4ft from nearest electric facility.
 - 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
 - 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
 - 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
 - 11) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
 - 12) A CUDRC Developer's Packet; which includes an overview of the construction process and required submittals, can be found online at cudrc.com.
 - 13) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
 - 14) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial.
 - 15) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@cudrc.com.
 - 16) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
 - 17) Submit a completed CUDRC "Meter Application and Fixture Count Submittal Form" along with plumbing plans to subdivisions@cudrc.com. The form can be found at <http://www.cudrc.com/docs/METER-APPLICATION-FIXTURE-UNIT-FORM.aspx>
 - 18) All backflow preventers are to be located outside and in an aboveground hotbox.
 - 19) Owner(s) must submit a notary signed CUDRC Landscaping Agreement to CUDRC if landscaping is within a CUDRC Easement.
 - 20) TDEC approved plans from CUDRC and a "Construction Start Notification" letter are to be issued to the contractor from CUDRC prior to the start of any water line construction.
 - 21) Developer is required to submit a "Private Fire System Agreement" with the City of Murfreesboro to CUDRC for signature.
 - 22) Show correct location of the existing CUD 16" water line along Willow Oak Trail.

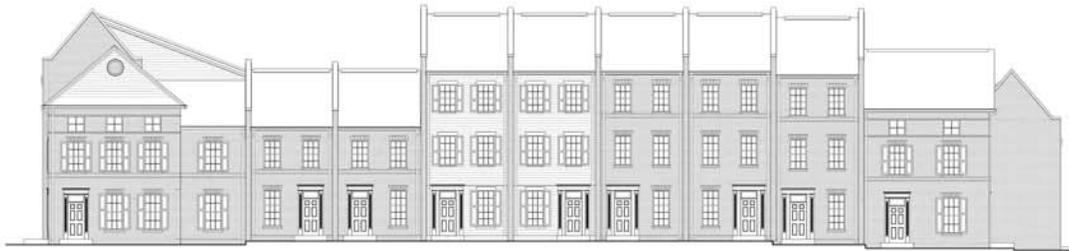
- 23) Remove the tapping tee and valve from the plans. Utilize the existing 12" stub-out onto this property from Robert Rose Drive.
- 24) Remove the water meter size from the plans. CUDRC will size the meter(s) for this project.
- 25) Refer to IFC 2012 Table 903.2 for occupancies to be sprinklered.
- 26) Show fire department connection (FDC).
- 27) Submit a Utility Site Plan for FMO review and approval.
- 28) A 'Private Water Agreement' with CUD must be filed and recorded PRIOR to Permitting.
- 29) All buildings and access roads must be identified throughout project (Temporary signage permitted). IFC 505.
- 30) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.
- 31) Building addresses, numbers, lettering and placement must be reviewed and approved by FMO. IFC 505.
- 32) An approved Knox StorzGuard FDC with a 30 degree elbow and locking cap sized 5" Storz x 4" NPT is required by MFRD.
- 33) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
- 34) An exterior electric horn/strobe (NOT a Water Motor Gong) is required above the FDC by MFRD.
- 35) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 36) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 37) Resubmit two sets of plans to MWSD for the review of the sewer and repurified water.
- 38) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 39) MWSD must receive contract prior to approving the plans.
- 40) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 41) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
- 42) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 43) On-site private cleanouts must use the details found at the following link:
<http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 44) Submit a copy of the final Site Lighting Plan to MWSD.
- 45) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 46) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 47) Building permits are not to be issued until fees are paid. .



5 EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



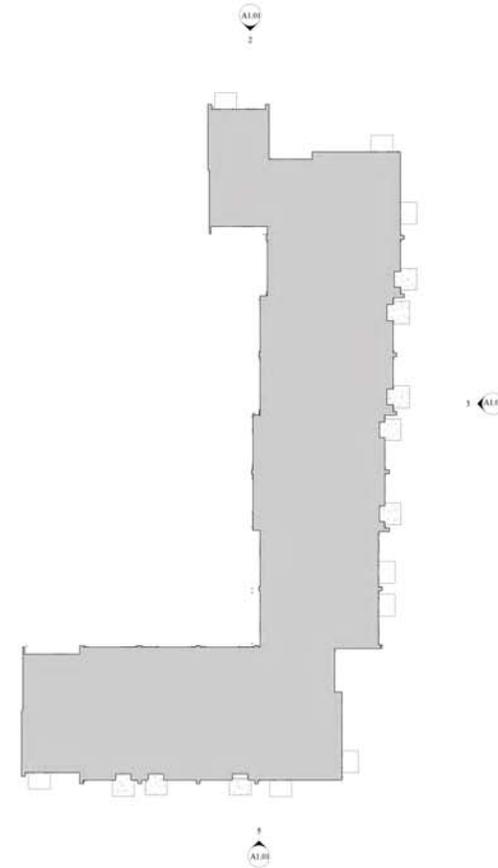
4 EXTERIOR ELEVATION - WEST
SCALE: 3/32" = 1'-0"



3 EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



1 BUILDING 1 FLOOR PLAN
SCALE: 1/16" = 1'-0"

LC HENLEY STATION
PHASE II
MURFREESBORO, TN

PROJECT NO.: 15036

ISSUED:

DATE: 2/23/2016

REVISIONS

PLANS AND
ELEVATIONS

A1.01

NOT FOR
CONSTRUCTION

2/23/2016

THIS DOCUMENT IS AN UNREVISED PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DESIGN SHALL BE MADE BY A SEPARATE SET OF REVISED DRAWINGS. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**LC HENLEY STATION
PHASE II**
MURFREESBORO, TN

PROJECT NO.: 15036

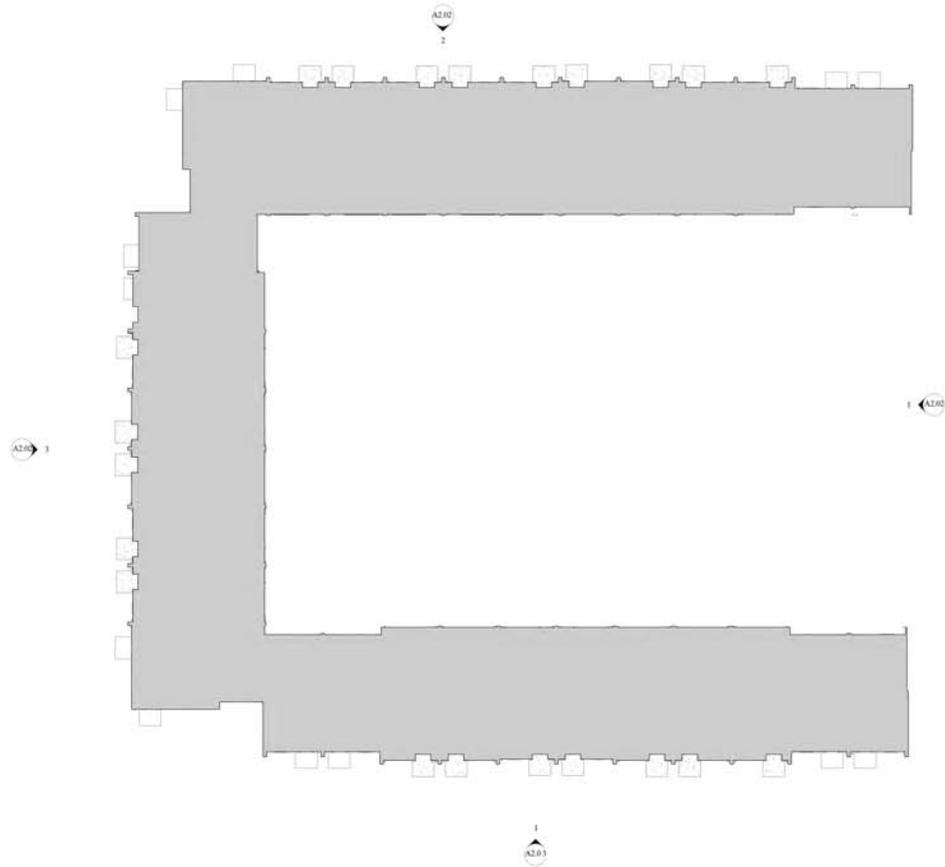
ISSUED:

DATE: 2/23/2016

△ REVISIONS

PLANS AND
ELEVATIONS

A2.01



1 BUILDING 2 FLOOR PLAN
SCALE: 1/16" = 1'-0"

NOT FOR
CONSTRUCTION

2/23/2016

ALL ARCHITECTS ARE AND SHALL REMAIN THE PROPERTY OF BATES & MELECA ARCHITECTS, LLC. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BATES & MELECA ARCHITECTS, LLC.

LC HENLEY STATION
 PHASE II
 MURFREESBORO, TN

PROJECT NO.: 15036

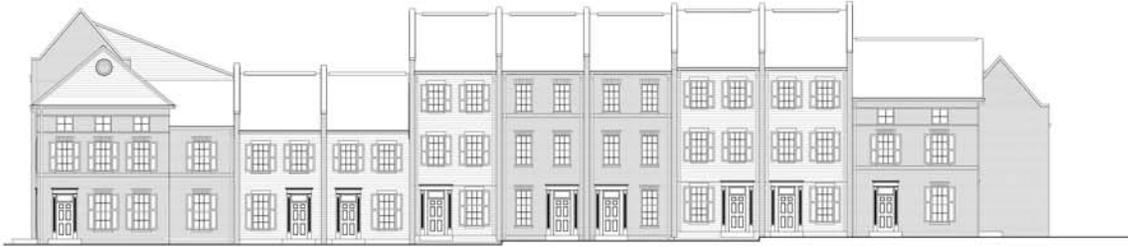
ISSUED:

DATE: 2/23/2016

△ REVISIONS

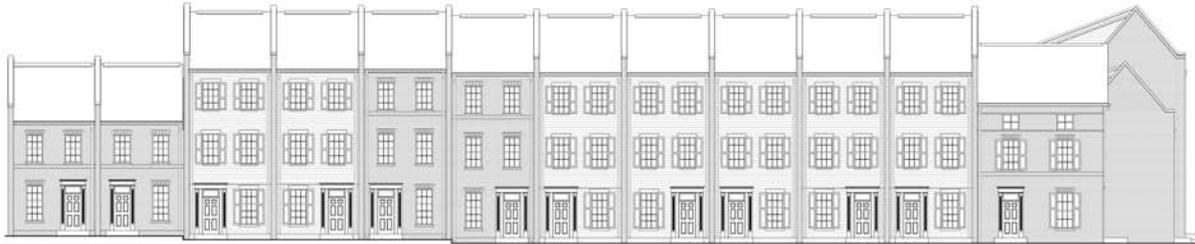
PLANS AND
ELEVATIONS

A2.02



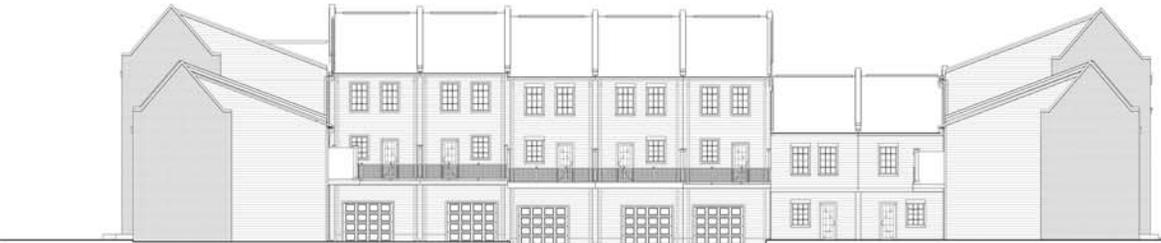
3 EXTERIOR ELEVATION - WEST

SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - NORTH

SCALE: 3/32" = 1'-0"



1 EXTERIOR ELEVATION - EAST

SCALE: 3/32" = 1'-0"

NOT FOR
CONSTRUCTION

2/23/2016

THIS DOCUMENT IS THE PROPERTY OF MELECA ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND DATE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF MELECA ARCHITECTS, LLC IS STRICTLY PROHIBITED.

**LC HENLEY STATION
PHASE II**
MURFREESBORO, TN

PROJECT NO.: 15036

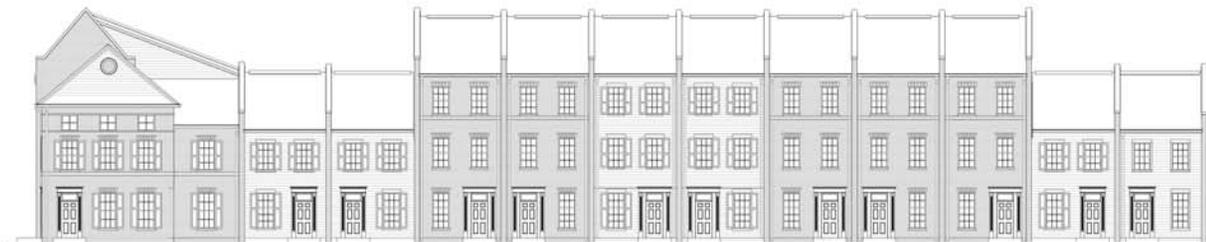
ISSUED:

DATE: 2/23/2016

△ REVISIONS

PLANS AND
ELEVATIONS

A2.03



1 EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"

NOT FOR CONSTRUCTION

2/23/2016

ALL RIGHTS ARE RESERVED BY MELECA ARCHITECTS, LLC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

LC HENLEY STATION
PHASE II
 MURFREESBORO, TN

PROJECT NO.: 15036

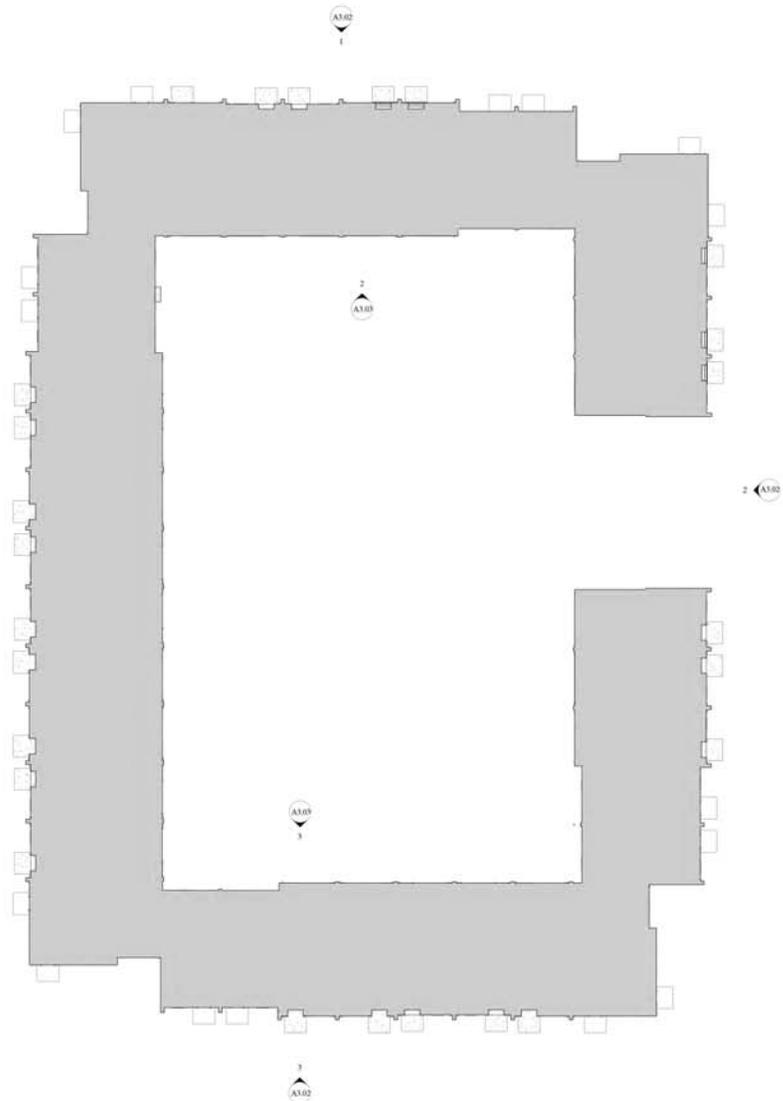
ISSUED:

DATE: 2/23/2016

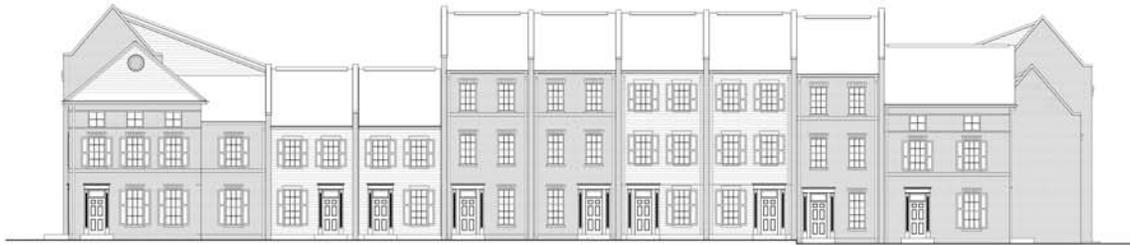
△ REVISIONS

PLANS AND ELEVATIONS

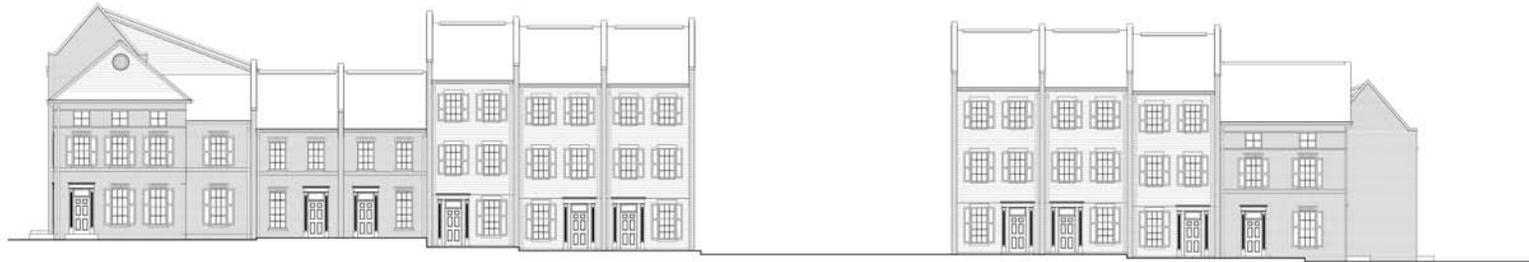
A3.01



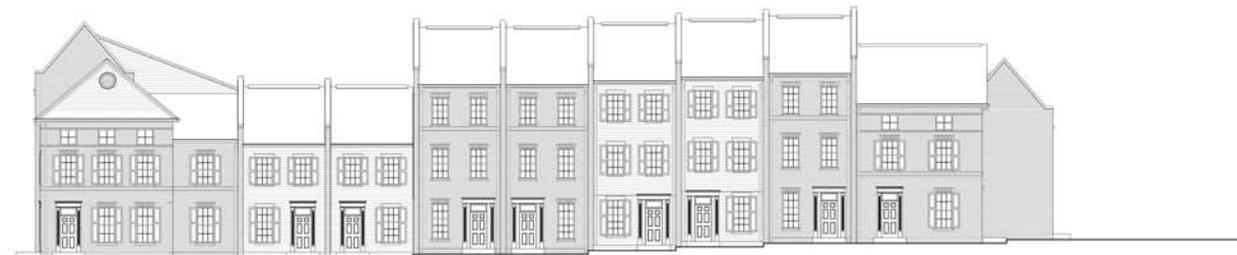
① BUILDING 3 FLOOR PLAN
 SCALE: 1/16" = 1'-0"



③ EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



② EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"



① EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"

LC HENLEY STATION
PHASE II
MURFREESBORO, TN

PROJECT NO.: 15036

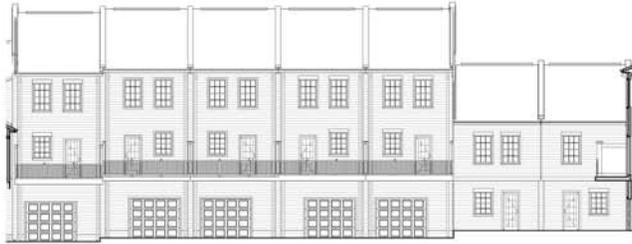
ISSUED:

DATE: 2/23/2016

△ REVISIONS

PLANS AND
ELEVATIONS

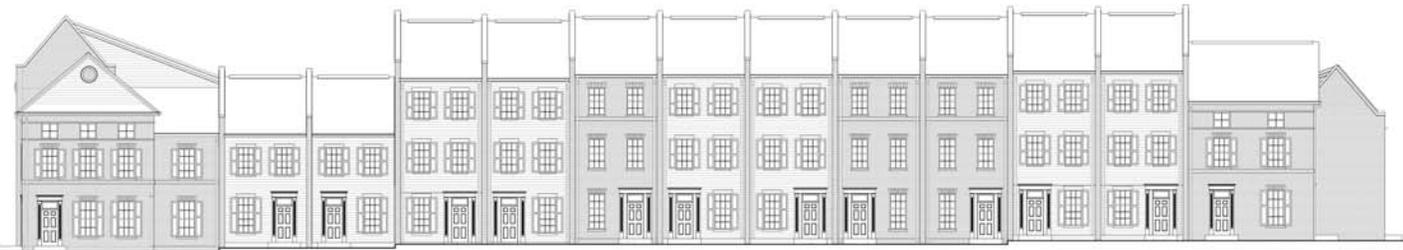
A3.02



③ ELEVATION - SOUTH (REAR)
SCALE: 3/32" = 1'-0"



② ELEVATION - NORTH (REAR)
SCALE: 3/32" = 1'-0"



① EXTERIOR ELEVATION - WEST
SCALE: 3/32" = 1'-0"

LC HENLEY STATION
PHASE II
MURFREESBORO, TN

PROJECT NO.: 15036

ISSUED:

DATE: 2/23/2016

△ REVISIONS

PLANS AND
ELEVATIONS

A3.03

NOT FOR CONSTRUCTION

2/23/2016

ALL DRAWINGS ARE THE SOLE PROPERTY OF BATES & MELECA ARCHITECTS, LLC. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM BATES & MELECA ARCHITECTS, LLC.

LC HENLEY STATION
PHASE II
 MURFREESBORO, TN

PROJECT NO.: 15036

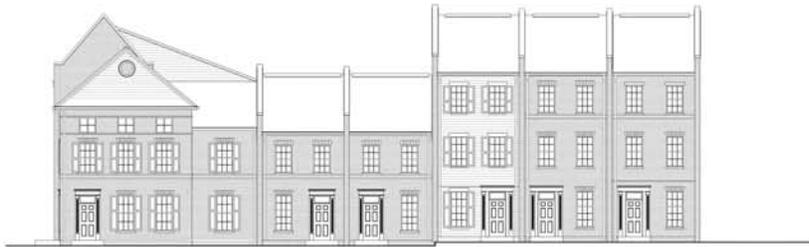
ISSUED:

DATE: 2/23/2016

 REVISIONS

PLANS AND ELEVATIONS

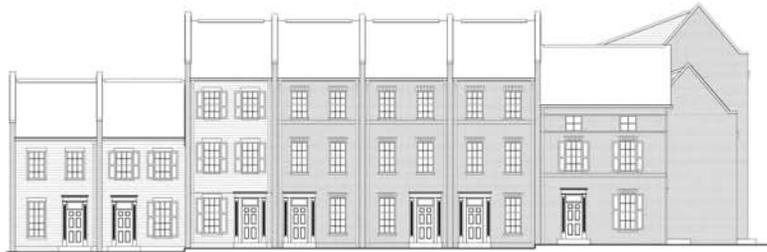
A4.01



5 EXTERIOR ELEVATION - SOUTH
 SCALE: 3/32" = 1'-0"



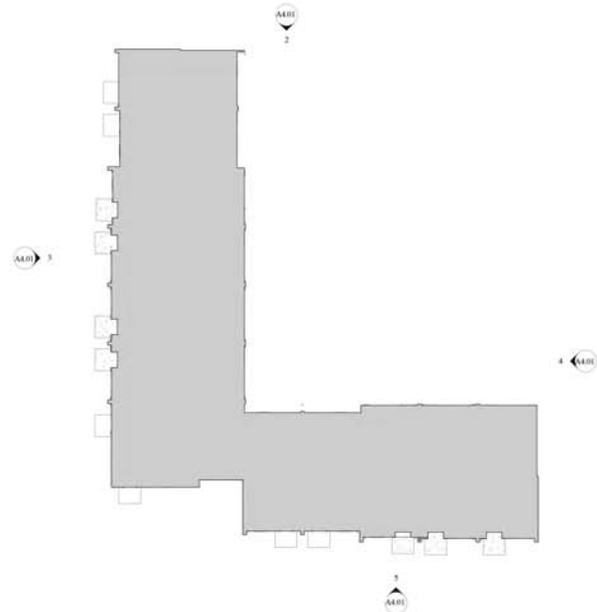
4 EXTERIOR ELEVATION - EAST
 SCALE: 3/32" = 1'-0"



3 EXTERIOR ELEVATION - WEST
 SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
 SCALE: 3/32" = 1'-0"



1 BUILDING 4 FOUNDATION PLAN
 SCALE: 1/16" = 1'-0"



5 EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



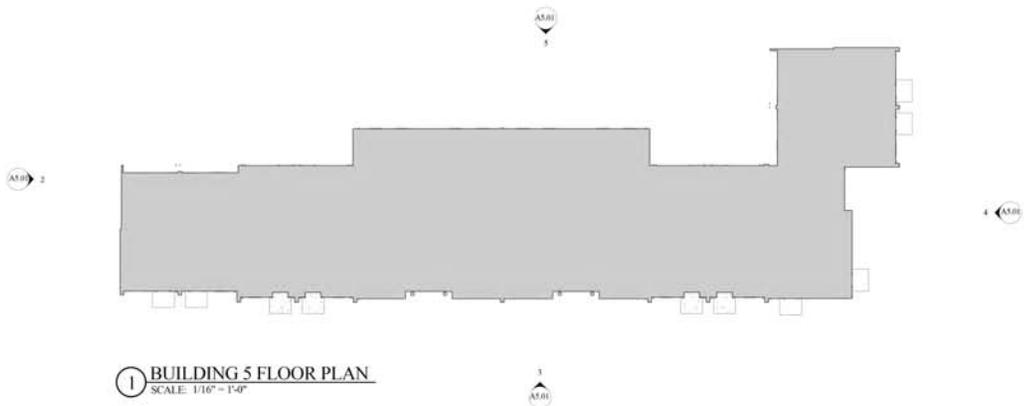
4 EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - WEST
SCALE: 3/32" = 1'-0"



1 BUILDING 5 FLOOR PLAN
SCALE: 1/16" = 1'-0"

STATE OF
MELECA
ARCHITECTS, LLC
124 EAST HENRY STREET
GALLATON, MISSISSIPPI 39232
TEL: 662.226.1234
FAX: 662.226.1235
WWW.MELECACLIC.COM

NOT FOR
CONSTRUCTION

2/23/2016
ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION FROM MELECA ARCHITECTS, LLC.

LC HENLEY STATION
PHASE II
MURFREESBORO, TN

PROJECT NO.: 15036
ISSUED:
DATE: 2/23/2016
REVISIONS

PLANS AND ELEVATIONS

A5.01

2/23/2016 10:45 AM

NOT FOR CONSTRUCTION

2/23/2016

ALL ARCHITECTS AND ALL OTHER DESIGNERS ARE PROHIBITED FROM REPRODUCING OR TRANSMITTING IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM MELECA ARCHITECTS, LLC.

LC HENLEY STATION
PHASE II
 MURFREESBORO, TN

PROJECT NO.: 15036

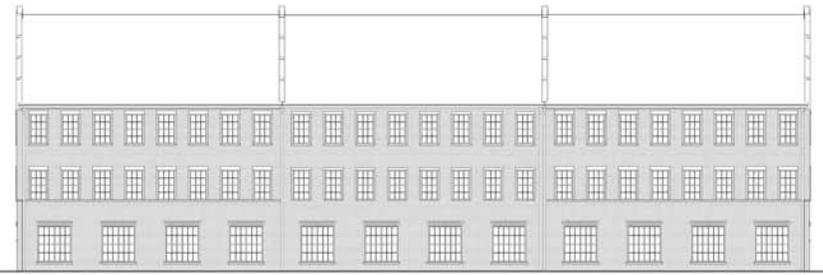
ISSUED:

DATE: 2/23/2016

REVISIONS

PLANS AND ELEVATIONS

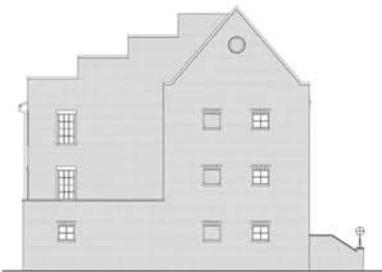
A6.01



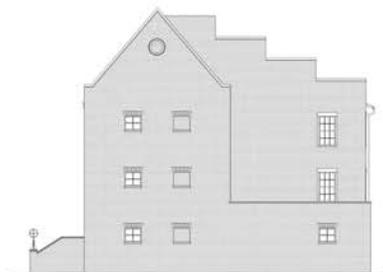
5 EXTERIOR ELEVATION - SOUTHEAST
SCALE: 3/32" = 1'-0"



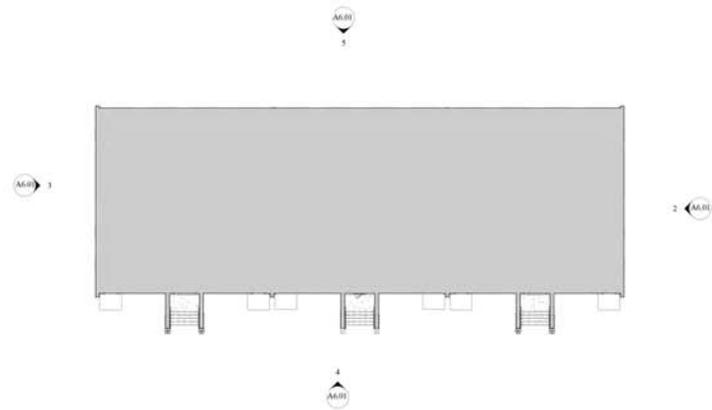
4 EXTERIOR ELEVATION - NORTHWEST
SCALE: 3/32" = 1'-0"



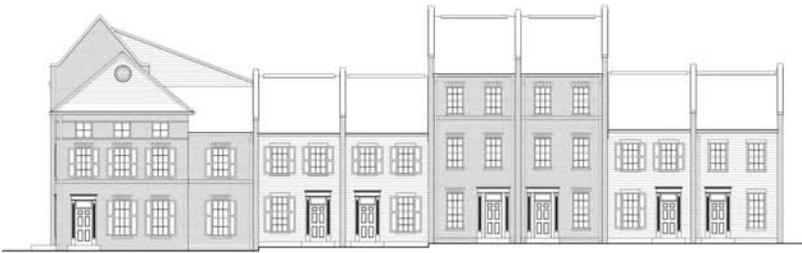
3 EXTERIOR ELEVATION - NORTHEAST
SCALE: 3/32" = 1'-0"



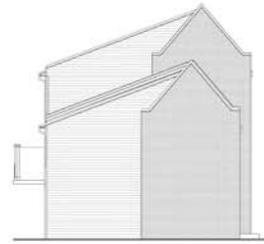
2 EXTERIOR ELEVATION - SOUTHWEST
SCALE: 3/32" = 1'-0"



1 BUILDING 6 FLOOR PLAN
SCALE: 1/16" = 1'-0"



5 EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



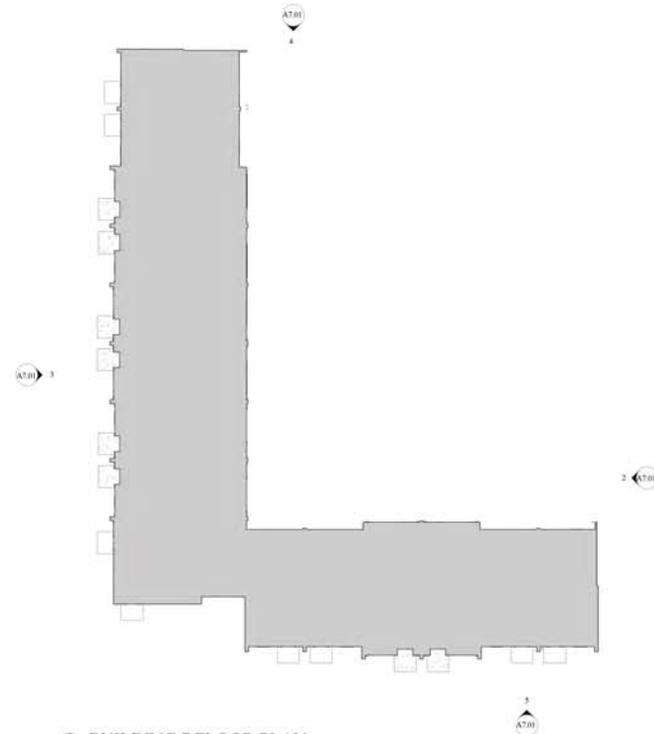
4 EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



3 EXTERIOR ELEVATION - WEST
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"



1 BUILDING 7 FLOOR PLAN
SCALE: 1/16" = 1'-0"



LC HENLEY STATION
PHASE II
MURFREESBORO, TN

PROJECT NO.: 15036
ISSUED:
DATE: 2/23/2016

REVISIONS

PLANS AND ELEVATIONS

A7.01



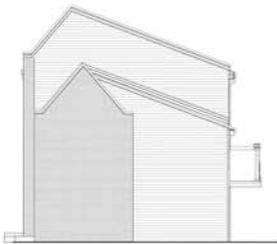
5 EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"



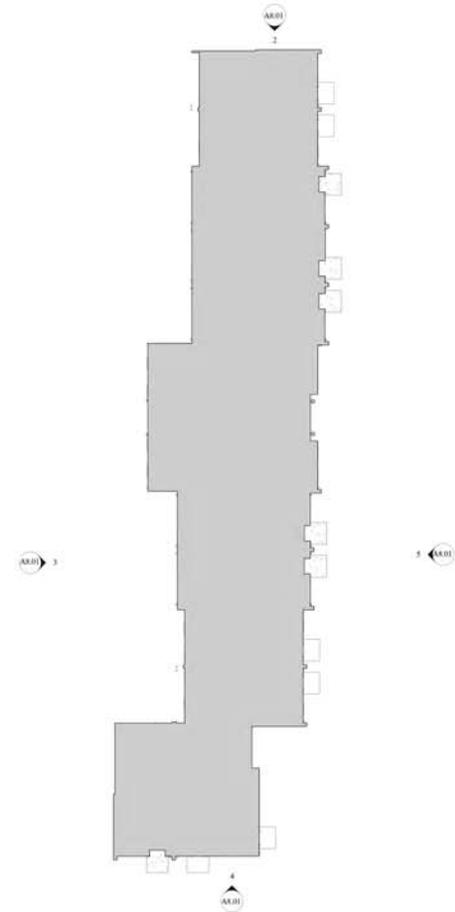
4 EXTERIOR ELEVATION - WEST
SCALE: 3/32" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



1 BUILDING 8 FLOOR PLAN
SCALE: 1/16" = 1'-0"

NOT FOR
CONSTRUCTION

2/23/2016

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION FROM MELECA ARCHITECTS, LLC OR THE CLIENT.

LC HENLEY STATION
PHASE II
MURFREESBORO, TN

PROJECT NO.: 15036

ISSUED:

DATE: 2/23/2016

REVISIONS

PLANS AND
ELEVATIONS

A8.01



MAP 92, PARCEL B.07
 CH. GATTON TRUSTEE
 D.B. 1369, PG. 3728, R.O.R.C., TN.
 ZONED: GDD-1

ROBERT ROSE DRIVE
 (60 R.O.W. - COMMUNITY COLLECTOR)

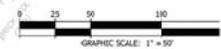
MAP 92, PARCEL B.08
 VILLAGES AT HENLEY STATION, LLC
 D.B. 1157, PG. 2893, R.O.R.C., TN.
 NORTH CHURCH LLC, SEC. 1
 LOT 1
 P.B. 36, PG. 293-294, R.O.R.C., TN.
 ZONED: PUD WITHIN GDD-1 OVERLAY

- Brick Front Units - ■
- Stansbury - 48
- Bentley Flat - 9
- Bentley Town - 11
- Greystone 1 BR - 3
- Greystone 2 BR - 3
- Cementitious Composition Siding Front Units - ■
- Stansbury - 45
- Bentley Flat - 21
- Bentley Town - 0
- Greystone 1 BR - 0
- Greystone 2 BR - 0

Front Facing Material Breakdown:
 Brick - 67%
 Siding - 33%

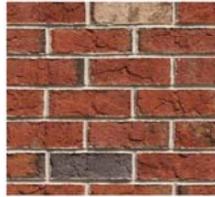
Total Materials:
 Brick - 26%
 Siding - 61%
 Glazing - 13%

Note: This exhibit is to be used for design intent only. Actual locations of Brick may differ.

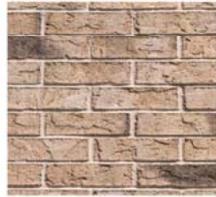


LC Henley Station Design Submission
 Murfreesboro, Tennessee

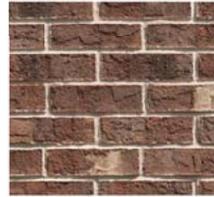
Site Plan



Old Colony



Southampton



Northampton

Manufacturer: Triangle
Product: Modular Size

Brick Palette



Granite Peak



Rookwood Dark Green



Colonial Revival Green Stone



Library Pewter



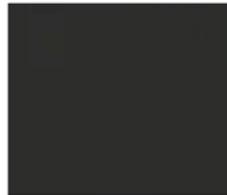
Empire Gold

Manufacturer: CemBoard
Product: Cementitious Siding
Product #: SW6250, SW2816,
SW7045 SW0038, SW2826,
SW6150

Cementitious Composition Siding Palette



Thunderous



Tricorn Black



Rookwood Red

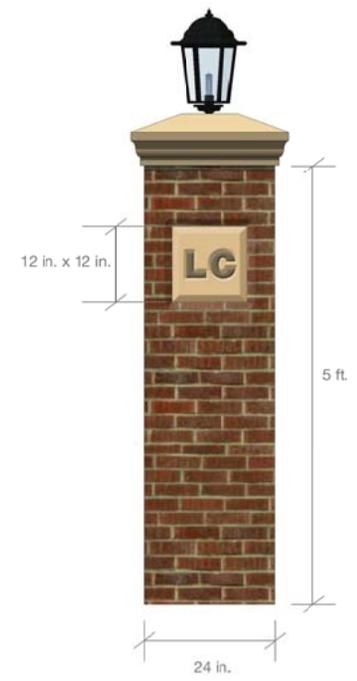


Courtyard



Sea Serpent

Door Palette



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

5.c. Home 2 Suites & Tru Dual Flag [2016-3049 & 2016-6005] initial design review for 85,080 ft² hotel on 3.3 acres zoned L-I & GDO-1 located along North Thompson Lane, Boro Hotel Partners, LLC developer.

This is the initial design review for a new 85,080 square foot dual flag hotel located along North Thompson Lane, just north of the Tangerine salon and south of On Target shooting range. The site backs up to undeveloped property located along Van Cleve Lane. The proposed use “hotel” is permitted by right within the L-I and GDO-1 districts. The proposed building is a four story structure (60’ 3”) with two hotel brands- Home 2 Suites and Tru. The Planning Commission approved a 91 room Home 2 Suites on this site with a potential restaurant in 2015. The developer now wishes to construct the dual brand hotel and eliminate the proposed restaurant. The hotel will share common areas, but will be divided into 2 wings, each of which will represent a different brand. A total of 154 rooms are proposed. The Planning Commission should discuss the architectural design to determine if its architectural character is in keeping with the GDO standards. The building’s exterior architectural expression and design should be compatible with neighboring projects. The size, massing, spatial relationships, organization, architectural style, detail, color and material are some to the criteria to determine if the architectural treatments and character are appropriate. The architectural design must provide an appropriate level of interest in the roofline, relate the building’s features or articulation to the assets of the site, emphasize architectural detailing for curb appeal and positive visual impact (esp. related to entrances), and create interest in site design in keeping with the intended character and quality of the GDO district.

The design team and the developer should address all GDO comments prior to initial design review at the Planning Commission. Standard staff comments and other staff comments have been provided as a courtesy to the design engineer. This review should not be construed as a full site-plan review by the Planning and Engineering staff. Full site-plan review will be undertaken after initial design review is complete. Staff recommends any approval of the initial design review be made subject to all staff comments.



GDO Comments

- 1) The developer needs to submit a list of all variances that will be required for the plan, if any, and be prepared to justify them during initial design review with the Planning Commission.
None requested
- 2) Commercial Building design must meet the following criteria:
 - Buildings shall not be designed to have long uninterrupted facades. Variations in the roof line or the wall plane shall be used to break up the mass of the building.
 - Buildings shall have a defined base and cap.
 - All facades visible from public access ways shall be similar to the primary facade in material and design.
 - Roof forms shall be appropriate to the building's design and scale
- 3) The GDO provides a framework for the basic palette of architectural materials as follows:
 - ❖ **Primary materials:** Brick, Pre-cast architectural concrete, or Natural stone-limestone granite or cultured stone
 - ❖ **Secondary materials:** Stucco or synthetic stucco, Glazed curtain walls, Integrally colored split-face concrete block, and cementitious composition siding may be a secondary material

The structure's primary materials should be consistent with the GDO standards. Please review the north elevation to determine if this elevation, which is visible from N. Thompson Lane, is a primary material as noted above.
- 4) The primary elevation (from North Thompson Lane) has several brightly colored materials (bright yellow, blue checkers, and green). The green reveal for the Home 2 Suites was more earth toned green in the plans approved last year. Staff recommends the yellow EFIS be removed and the blue checkerboard be a solid blue band to tie into the sign.
- 5) The architect needs to provide a breakdown of the amount, in percentage, of all exterior building materials proposed for this project (including glass). Please note that the information must be provided for the overall project as well as for each elevation.
- 6) Final architectural elevations showing all exterior building elevations indicating building height, materials fenestrations and details must be submitted to the Planning Department prior to final design review. Any visible roof projections and visible mechanical equipment must be shown.
- 7) Provide a detail of the proposed solid waste enclosure. The screening detail should appropriately screen the solid waste elements (minimum of 8 feet tall), made of a masonry enclosure to match the proposed building, with an opaque gate.
- 8) If there are any roof mounted units, then demonstrate on the architectural plans how they will be properly screened. Mechanical, utilities or other building elements that must be roof mounted shall be located and screened so they are not visible from any point six feet above ground level or from any public right of way. The appurtenances shall be grouped and enclosed by screens that are designed to be compatible with the building architecture. The screens shall be set back from the roof edge a distance of no less than one and one half

times their height. *Provide a Line of Sight study that demonstrates the rooftop mounted equipment is not visible.*

- 9) Prior to final design review, provide a compliant building materials board with colored architectural renderings must be submitted to the Planning Department.
- 10) The applicant must provide drawings and/or visual aids illustrating all exterior signage graphics, art, lighting, and street furniture. When incorporated into the site, streetscape furnishings such as benches, receptacles, light fixtures, bollards, etc. shall create a uniform theme throughout the site. This entails the selection and specifications of products based on a harmonious design and compatibility with the architecture of the site and in conformance with standards adopted by the City. *This needs to be provided with the Final Design Review submittal.*
- 11) Provide a detail of the proposed retaining wall.
- 12) The proposed fencing around the pool appears to brick. Will there be additional fencing (on top of the retaining wall around the detention pond)? If yes, then provide details of the proposed fencing.
- 13) The site must comply with the Gateway Streetscape Master Plan. *This includes sidewalks, decorative lighting and street trees.*
- 14) A minimum of 10 feet is required between the proposed buildings and the parking lot/access drives. *This is met.*
- 15) A minimum of 15 feet is required between the parking and adjacent property. *This is met*
- 16) Provided calculations of required and provided open space and an area plan identifying areas proposed to be counted as open space. Verify that what is being counted toward the minimum open space requirements meets the criteria to be considered as open space, as specified in the GDO regulations. *An open space plan has been provided on page L.2. Label the size of the areas in square feet to determine they meet minimum size requirements.*
- 17) Provided calculations of required and provided formal open space and an area plan identifying areas proposed to be counted as formal open space. Verify that what is being counted toward the minimum formal open space requirements meets the criteria to be considered as formally designed landscape areas including elements such as plaza areas, furnishings, recreation improvements, etc, as specified in the GDO regulations. *An open space plan has been provided on page L.2. Also provide the percentage area being provided (in addition to square feet on the calculation table). Prior to Final Design Review, provide details of the formal open space amenity areas as noted above. Provide a detail of the paved surface, which should be treated in a manner to make it a part of the formal open space (colored, stamped, textured, etc.).*
- 18) A 5 foot minimum width landscape strip shall be provided along the front and sides adjacent to the base of buildings or separated from buildings by a sidewalk. Such strip shall be planted with shrubs, trees, or other landscape materials. *This has been done*

- 19) All parking areas shall be screened and buffered from public right of way by berms or planting (or a combination thereof) which shall have a minimum height of three feet at the time of installation.
- 20) Show the required front landscaping yards (25' along arterials). *This has been done*
- 21) The GDO regulations call for existing trees to be preserved where possible. Provide a tree survey for all existing trees that can be preserved. *None proposed to be preserved*
- 22) Articulation of main entries should be emphasized and reinforced by creating a focal point with specimen plant material. Seasonal color can be considered wherever possible for special interest areas.
- 23) All plant material is required to be irrigated. All landscape plans should indicate diagrammatically the limits of proposed areas to be irrigated. The area of irrigation must extend from the back of curb into the site. *This has been provided. The irrigation area needs to extend to the back of curb along N. Thompson Ln.*
- 24) Prior to Final Design Review, submit an irrigation plan indicating the location and extent of automatic underground irrigation systems including the location of any connection to the City's repurified water system;
- 25) The Landscape Architect should contact all utility providers to locate any above ground structures that will be required for the site. After they have been located, adequate screening should be provided.
- 26) Show the locations of all site utilities, such as solid waste elements, utility boxes and HVAC units, on the site plan and landscape plan and demonstrate how the negative impacts of utilities such as electrical transformers and other mechanical equipment will be screened either with evergreen planting, building and equipment orientation, fencing, screening walls, grading and/or berming. Grouping these items together will usually make treatment more efficient and effective.
- 27) Prior to Final Design Review, provide a lighting plan with specifications of site lighting layout, fixture selection, fixture height (including the base), and fixture photometric. Shoebox-style lighting fixtures shall not be used for poles of sixteen feet or less in height. White light is required and low-sodium lighting is prohibited. All lighting fixtures and poles will be reviewed for aesthetic quality and compatibility.
- 28) Outdoor display or sale of merchandise is prohibited. *None shown.*
- 29) The applicant must provide a construction facilities plan and schedule to include the location and description of temporary signage, construction trailers and materials staging in storage area, construction access locations and parking. *Provided on page C1.0.*
- 30) Prior to construction beginning on any site within the GDO district, the owner, or owner's authorized agent shall provide the Planning and Engineering Department with seventy-two hours advance written notice. The Planning and Engineering staff may conduct on-site inspections as development and construction proceeds to monitor compliance with these design regulations and to assure that the construction is proceeding in accordance with the previously approved plans. *Informational comment.*

31) Submission of utility drawings. At the end of the construction period, by phase, the owner shall submit to the Planning and Engineering Department reproducible copies of record drawing (as-builts) showing the actual locations of all underground utilities and irrigation system. *Informational comment.*

Staff Comments:

- 1) The developer should consider installing electric vehicle charging stations. If proposed, these elements should be shown on the plan.
- 2) Will there be any banquet space and meeting area? If yes, they are required 1 regular parking space for each 400 ft² of area.
- 3) Will there be any accessory uses such as restaurants and lounges? If yes, then parking needs to be provided (at 75% of what would otherwise be required).
- 4) Canopy needs to provide at least 13'6" of clearance to provide proper fire circulation around the site.
- 5) On the site plan show the location of streets and driveways that intersect the adjoining public rights of ways adjacent to or across from the development tract.
- 6) The developer may want to consider a second driveway connection onto Thompson Ln.
- 7) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov.
- 8) Show how roof drains will connect to drainage system.
- 9) Final retaining wall design will be required prior to the release of building permit.

Stormwater Comments:

- 1) New development and redevelopment involving increase of 10,000 square feet of impervious area, on a lot or within a common plan of development of at least one acre must comply with the city's stormwater quality design standards. This development is required to comply with the City Stormwater Quality requirements.
- 2) Specify what type of water quality units will be used.
- 3) Two details are shown for detention pond outlet structures; which one is to be used?
- 4) Plan shows a 15 inch reinforced concrete pipe leaving the pond which does not match either detail shown.
- 5) A right of Way Permit and bond may be required for work in the right of way. Please contact Danny Lowe in the Engineering Department at 615-893-6441 for additional details.
- 6) As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City Engineer prior to construction progressing.
- 7) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 8) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for

erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

- 9) Prior to a building permit, the Stormwater Management Plan must be submitted, reviewed and approved.
- 10) Prior to a building permit, submit a Stormwater Management Record Sheet.
- 11) Prior to certificate of occupancy, submit a Stormwater Facilities Operation and Maintenance Plan.
- 12) Prior to certificate of occupancy, submit a Stormwater Facilities Maintenance Agreement signed by the owner.
- 13) Prior to certificate of occupancy, submit an Engineer's Certification of the construction of the stormwater management facilities.

Standard Staff Comments:

- 1) This site plan is not affected by the Major Thoroughfare Plan.
- 2) Per the design engineer's certification on this plan, this property lies in Zone X, areas designated as outside the floodway and 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department. For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 4) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
 - Overhead – 40ft. 20ft either side of nearest power pole
 - Down Guys – 5ft x 30ft
 - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a

12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.

- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.
- 12) Fire access roads must have an unobstructed vertical clearance of not less than 13 feet 6 inches. IFC 503.
- 13) Show turn radius template for fire department apparatus through site. IFC 503.
- 14) An approved Knox StorzGuard FDC with a 30 degree elbow and locking cap sized 5" Storz x 4" NPT is required by MFRD.
- 15) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
- 16) An exterior electric horn/strobe (NOT a Water Motor Gong) is required above the FDC by MFRD.
- 17) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 18) Resubmit two sets of plans to MWSD for the review of the water and sewer.
- 19) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 20) Building permits are not to be issued until grease interceptor is approved.
- 21) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
- 22) All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
- 23) Submit calculations for grease interceptor sizing approval by MWSD. Minimum required size is 1000 gallons and must meet MWSD specifications.
- 24) The FOG applications must be completed and submitted to MWSD.
- 25) MWSD must receive contract prior to approving the plans.

- 26)The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 27)The owner/developer must sign a Sign within a City Easement Agreement with MWSD.
- 28)All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 29)Submit construction details of the signage to MWSD regarding its proximity to the water/sewer main(s).
- 30)Submit a copy of the final Site Lighting Plan to MWSD.
- 31)Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 32)Submit a copy of the final Grading & Drainage Plan to MWSD.
- 33)Submit MED plans.



1 EAST ELEVATION (FROM NORTH THOMPSON LANE)
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"

BORO HOTEL PARTNERS, LLC

HOME 2 SUITES & TRU DUAL FLAG

N. THOMPSON LANE | MURFREESBORO, TN 37129

FEBRUARY 25, 2016

river street architecture llc
architecture planning interiors



1 WEST ELEVATION
1/16" = 1'-0"



2 SOUTH ELEVATION
1/16" = 1'-0"

BORO HOTEL PARTNERS, LLC

HOME 2 SUITES & TRU DUAL FLAG
N. THOMPSON LANE | MURFREESBORO, TN 37129

FEBRUARY 25, 2016

river street architecture llc
architecture planning interiors



1 VIEW @ PORTE COCHERE & ENTRY CANOPIES



2 PORTE COCHERE - AERIAL VIEW

MAP 92, PARCEL 8.05
BEN WOMACK
R.B. 1344, PG. 3631
Zoned: RS-15

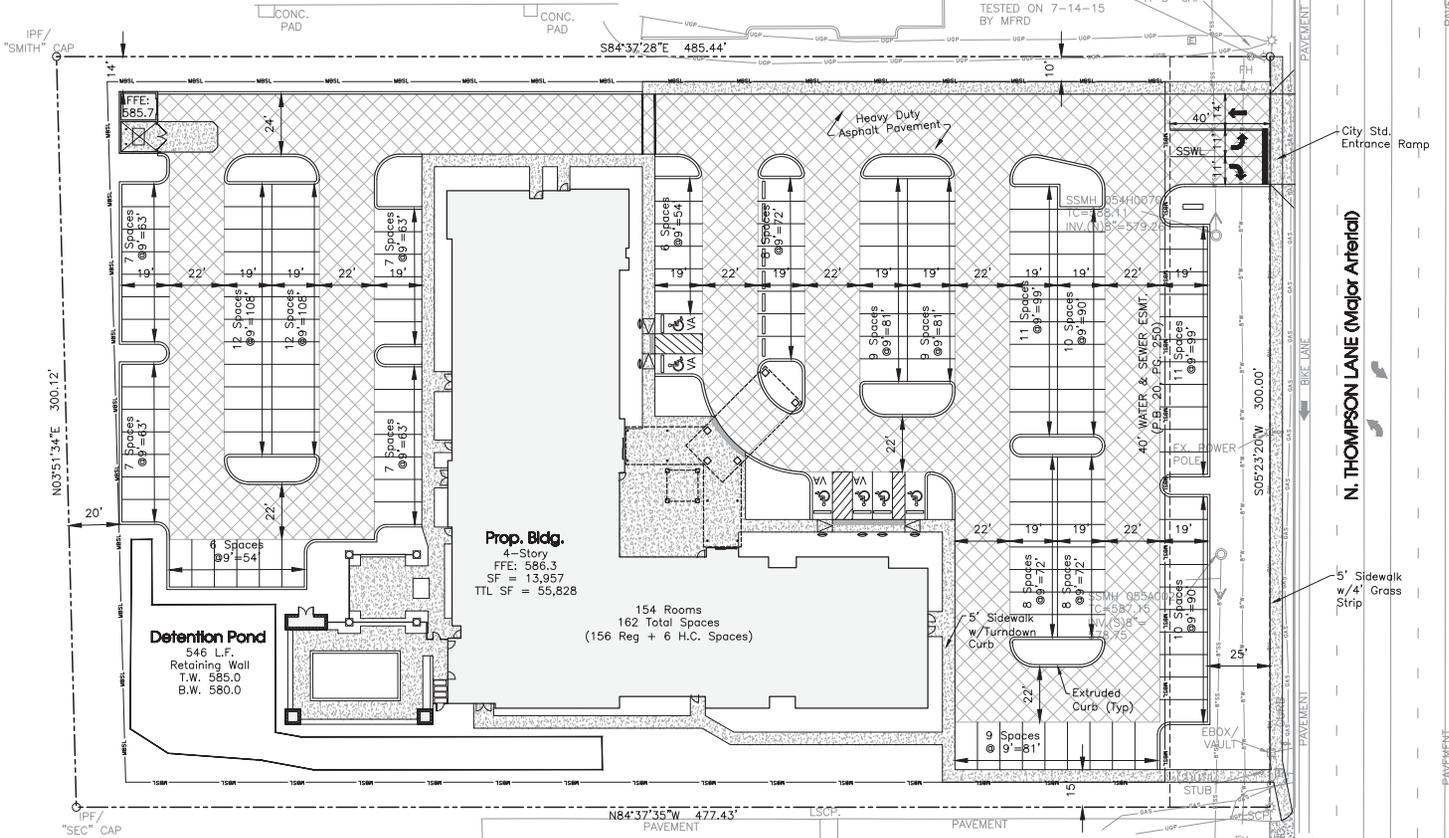
EXIST. BLDG.
FFE=587.7±

MAP 92, PARCEL 27.23
DARRELL SCARLETT
R.B. 1344, PG. 3631
P.B. 25, PG. 40
Zoned: L-1

EX. FH 2531
STATIC=74PSI
RESIDUAL=70PSI
2.5" FLOW=1398GPM
TESTED ON 7-14-15
BY MFRD

SCI
TC=585.01
INV.(NE)18"=580.07

IPF/ "H-S" CAP



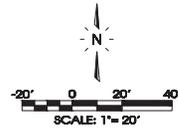
IPF/ "SEC" CAP

Prop. Bldg.
4-Story
FFE: 586.3
SF = 13,957
TTL SF = 55,828

154 Rooms
162 Total Spaces
(156 Reg + 6 H.C. Spaces)

Detention Pond
546 L.F.
Retaining Wall
T.W. 585.0
B.W. 580.0

MAP 92, PARCEL 27.22
MARK AND DONNA McCARRALL
R.B. 1077, PG. 2503
LOT 7
ELGIN OLIVER TRUST
SUBDIVISION
P.B. 23, PG. 53
Zoned: L-1



Legend

EXIST. CONCRETE PAVEMENT	BENCHMARK
IRON PIN SET (F.P.S.)	HANDICAP PARKING SYMBOL
IRON PIN FOUND (F.P.F.)	V.A. VAIL ACCESSIBLE HANDICAP DESIGNATION
EXIST. SIGN POST	HC SIGN
EXIST. SEWER CLEWOUT (ELEV. W/PROBE)	PROPOSED SIGN POST
EXIST. GATEWAY SIGN (SIGN SENSE)	CONCRETE BOLLARD
EXIST. WATER/GAS VALVE	WHEEL STOP
EXIST. TELEPHONE RISER	CONCRETE SIDEWALK
EXIST. GAS RISER	EXTRUDED CURB
ELECTRICAL ENCLOSURE	CURB & GUTTER
EXIST. WATER METER	TRAFFIC LIGHT
EXIST. UTILITY POLE	TURN LANE ARROWS
EXIST. FIRE HYDRANT	REGION NUMBER
BLOW OFF VALVE	DRAINAGE STRUCTURE DESIGNATION
REDUCER	RIP RAP
REINFORCING BAR	RUNOFF FLOW ARROW
CONCRETE TRUST BLOCK	INLET FILTER PROTECTION
DOUBLE DETECTOR (A.I.S.)	PROPOSED SPOT ELEVATION
FIRE DEPT. CONNECTION	EXIST. SPOT ELEVATION
FIRE HYDRANT	SEWER/SKIM FLOW
GATE VALVE & BOX	CATCH BASIN
WATER METER	CURB INLET
GAS METER	AREA DRAIN
GREASE TRAP	HEADWALL
EXTERIOR CLEWOUT	WINGED HEADWALL
MANHOLE	CONCRETE SWALE
EXISTING PHONE	TYPE - X - HEADWALL
EXISTING ELECTRIC	
PROPERTY LINE	
EASEMENTS	
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	EEL EEL EEL
EXISTING TRAILLINE	
EXISTING FENCELINE	X X X
MINIMAL BUILDING SETBACK LINE	MSL
PHASE BOUNDARY	
EXISTING GAS LINE	GAS GAS
PROPOSED GAS LINE	GAS GAS
EXISTING STORM	STW STW
PROPOSED STORM	STW STW
EXISTING CONTOUR LINES	55 55
PROPOSED CONTOUR LINES	401
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
TREE PROTECTION	TP TP TP

Owner/Developer:
Boro Hotel Partners, LLC
140 Dixie Ave.
Lebanon, TN 37090
Contract: BoroHotel
Deed Reference:
R.B. 1416, Pg. 1675
P.B. 20, Pg. 260
13th Civil District in Rutherford County
Map 92, Group 1 - Parcel 27.20
Yard Requirements:
Front: 42'
Side: 10'
Rear: 20'
Intended Use:
Hotel
Land Use Data:
Zoned: L-1, CDD-1
4-Story Building
Building Height: 60'-3"
Total Floor Area: 85,080 Sq.Ft.
Total Land Area: 3.32± Acres
Parking Requirements:
156 x 154 Rooms = 154 Required Spaces
Provided: 156 Regular & 6 H.C. = 162 Total Spaces
Flood Map No.:
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47148C250H dated January 5, 2007



river street architecture
architecture planning interiors
714 cherry street, chattanooga, tennessee 37402
p-423.634.0806 f-423.752.8489 www.river-street-architecture.com



BORO HOTEL PARTNERS LLC
HOME 2 SUITES & TRU DUAL FLAG
N. THOMPSON LANE | MURFREESBORO, TN 37129



Release Date: 2-25-16
Project No.: 84999
Site Plan

S.E.C. Inc.
SITE ENGINEERING CONSULTANTS
SURVEYING • DESIGN • LAND PLANNING
860 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37169
NO PORTION OF THIS DRAWING MAY BE REPRODUCED
WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

C2.0

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

5.d. Zaxby's [2016-3060 & 2016-6006] initial design review for 3,650 ft² restaurant 1.6 acres zoned CH & GDO-1 located along Fortress Boulevard, Duck River Properties, LLC developer.

This is the initial design review for a new 3,650 square foot Zaxby's Restaurant (70 seats) located along Fortress Boulevard, just north of Manson Pike. The proposed use "carry out restaurant" is permitted by right within the CH and GDO-1 districts. The proposed building is a one story structure (20') and consists of EIFS and brick with a pitched metal roof. The Planning Commission should discuss the architectural design to determine if its architectural character is in keeping with the GDO standards. The building's exterior architectural expression and design should be compatible with neighboring projects. The size, massing, spatial relationships, organization, architectural style, detail, color and material are some to the criteria to determine if the architectural treatments and character are appropriate. The architectural design must provide an appropriate level of interest in the roofline, relate the building's features or articulation to the assets of the site, emphasize architectural detailing for curb appeal and positive visual impact (esp. related to entrances), and create interest in site design in keeping with the intended character and quality of the GDO district.

The design team and the developer should address all GDO comments prior to initial design review at the Planning Commission. Standard staff comments and other staff comments have been provided as a courtesy to the design engineer. This review should not be construed as a full site-plan review by the Planning and Engineering staff. Full site-plan review will be undertaken after initial design review is complete. Staff recommends any approval of the initial design review be made subject to all staff comments.



GDO Comments

- 1) The developer needs to submit a list of all variances that will be required for the plan, if any, and be prepared to justify them during initial design review with the Planning Commission. *None requested.*
- 2) The GDO provides a framework for the basic palette of architectural materials as follows:
 - ❖ **Primary materials:** Brick, Pre-cast architectural concrete, or Natural stone-limestone granite or cultured stone
 - ❖ **Secondary materials:** Stucco or synthetic stucco, Glazed curtain walls, Integrally colored split-face concrete block, and cementitious composition siding may be a secondary material

The structure's primary materials are not consistent with the GDO standards. The building needs to increase the use of Brick/Stone or add pre-cast architectural concrete to comply. EIFS and cementitious composition siding is permitted as a secondary material.

- 3) Commercial Building design must meet the following criteria:
 - Buildings shall not be designed to have long uninterrupted facades. Variations in the roof line or the wall plane shall be used to break up the mass of the building. *This building does not have long, uninterrupted facades.*
 - Buildings shall have a defined base and cap. *This base and cap appear to be defined.*
 - All facades visible from public access ways shall be similar to the primary facade in material and design. *The design appears to be similar.*
 - Roof forms shall be appropriate to the building's design and scale. *The roof design is not flat and adds interest to the building. Provide staff with additional information on the proposed galvalume finish corrugated metal roof. Galvanized metal typically is not a material that is consistent with GDO character & standards.*
- 4) The architect needs to provide a breakdown of the amount, in percentage, of all exterior building materials proposed for this project (including glass). Please note that the information must be provided for the overall project as well as for each elevation. *To be provided.*
- 5) Final architectural elevations showing all exterior building elevations indicating building height, materials fenestrations and details must be submitted to the Planning Department prior to final design review. Any visible roof projections and visible mechanical equipment must be shown. *To be provided.*
- 6) Provide a detail of the proposed solid waste enclosure. The screening detail should appropriately screen the solid waste elements (minimum of 8 feet tall), made of a masonry enclosure to match the proposed building, with an opaque gate. *This has been provided.*
- 7) If there are any roof mounted units, then demonstrate on the architectural plans how they will be properly screened. Mechanical, utilities or other building elements that must be roof mounted shall be located and screened so they are not visible from any point six feet above

ground level or from any public right of way. The appurtenances shall be grouped and enclosed by screens that are designed to be compatible with the building architecture. The screens shall be set back from the roof edge a distance of no less than one and one half times their height. *Rooftop mounted equipment appears to be screened with the parapet.*

- 8) Prior to final design review, provide a compliant building materials board with colored architectural renderings must be submitted to the Planning Department.
- 9) The applicant must provide drawings and/or visual aids illustrating all exterior signage graphics, art, lighting, and furniture. When incorporated into the site, streetscape furnishings such as benches, receptacles, light fixtures, bollards, etc. shall create a uniform theme throughout the site. This entails the selection and specifications of products based on a harmonious design and compatibility with the architecture of the site and in conformance with standards adopted by the City. *To be provided.*
- 10) The site must comply with the Gateway Streetscape Master Plan. *The sidewalk should be located within the public right of way. Please add the decorative street lights and revise the landscape plan to provide the required Willow Oaks as the street tree along Fortress Blvd*
- 11) Show the required front landscaping yards (25' along arterials). *This area is identified.*
- 12) A minimum of 15 feet is required between the parking and adjacent property. *This is not met along the 50' ingress/egress easement. The adjacent landscape island should be a minimum of 15' wide.*
- 13) A minimum of 10 feet is required between the proposed buildings and the parking lot/access drives. *This appears to be met except along the southern side of the building, along the pick-up window.*
- 14) A 5 foot minimum width landscape strip shall be provided along the front and sides adjacent to the base of buildings or separated from buildings by a sidewalk. Such strip shall be planted with shrubs, trees, or other landscape materials. *This appears to be met except along the southern side of the building, along the pick-up window.*
- 15) Provided calculations of required and provided open space *and* an area plan identifying areas proposed to be counted as open space. Verify that what is being counted toward the minimum open space requirements meets the criteria to be considered as open space, as specified in the GDO regulations.
- 16) All parking areas shall be screened and buffered from public right of way by berms or planting (or a combination thereof) which shall have a minimum height of 3 feet at the time of installation. *This has not been done.*
- 17) The GDO regulations call for existing trees to be preserved where possible. Provide a tree survey for all existing trees that can be preserved.
- 18) Articulation of main entries should be emphasized and reinforced by creating a focal point with specimen plant material. Seasonal color can be considered wherever possible for special interest areas. *This has not been done; please propose plantings on both sides of all ingress and egress.*

- 19) All plant material is required to be irrigated. All landscape plans should indicate diagrammatically the limits of proposed areas to be irrigated. The area of irrigation must extend from the back of curb into the site. *This needs to be provided prior to Initial Design Review. Irrigation coverage should start from back of curb and cover all planting and turf areas.*
- 20) Prior to Final Design Review, submit an irrigation plan indicating the location and extent of automatic underground irrigation systems including the location of any connection to the City's repurified water system;
- 21) The Landscape Architect should contact all utility providers to locate any above ground structures that will be required for the site. After they have been located, adequate screening should be provided.
- 22) Show the locations of all site utilities, such as solid waste elements, utility boxes and HVAC units, on the site plan and landscape plan and demonstrate how the negative impacts of utilities such as electrical transformers and other mechanical equipment will be screened either with evergreen planting, building and equipment orientation, fencing, screening walls, grading and/or berming. Grouping these items together will usually make treatment more efficient and effective.
- 23) Provide a lighting plan with specifications of site lighting layout, fixture selection, fixture height (including the base), and fixture photometric. Shoebox-style lighting fixtures shall not be used for poles of sixteen feet or less in height. White light is required and low-sodium lighting is prohibited. All lighting fixtures and poles will be reviewed for aesthetic quality and compatibility. *A photometric plan has been provided on page 11. Please provide a pole base detail, wall mounted fixtures (as shown on the architectural elevations), and the maximum mounting height for pole mounted fixture*
- 24) Outdoor display or sale of merchandise is prohibited. *No outdoor display is shown on the plans.*
- 25) The applicant must provide a construction facilities plan and schedule to include the location and description of temporary signage, construction trailers and materials staging in storage area, construction access locations and parking. *To be provided.*
- 26) Prior to construction beginning on any site within the GDO district, the owner, or owner's authorized agent shall provide the Planning and Engineering Department with seventy-two hours advance written notice. The Planning and Engineering staff may conduct on-site inspections as development and construction proceeds to monitor compliance with these design regulations and to assure that the construction is proceeding in accordance with the previously approved plans. *Informational comment.*
- 27) Submission of utility drawings. At the end of the construction period, by phase, the owner shall submit to the Planning and Engineering Department reproducible copies of record drawing (as-builts) showing the actual locations of all underground utilities and irrigation system. *Informational comment.*

Staff Comments:

- 1) A master plan, preliminary plat and final plat to create this lot must be reviewed prior to the issuance of a building permit.
- 2) The final plat must be recorded prior to the issuance of a Certificate of Occupancy.
- 3) Add the STANDARD NOTES listed in section 7. J. of the Zoning Ordinance to the site plan.
- 4) On the site plan, label the height of proposed structures in stories (height must be given in stories and feet).
- 5) On the site plan note centerlines, medians, median openings and traffic lanes located within the adjoining public right-of-ways.
- 6) The width of the access aisles should be measured without including the gutter in the travel lane. Revise dimensions accordingly.
- 7) Note the angle, width and length of the proposed angled parking space.
- 8) The point of contact for the Engineering Dept. is Cey Chase at 615/893-6441 or cchase@murfreesborotn.gov.
- 9) Parking at northeast of the building should be angle parking; drive aisle width should be reduced to 15 ft.
- 10) Provide pedestrian connection from the sidewalk within the ROW to the building. This can be made at the handicap parking along the front.
- 11) Curbing at the extension of the access may need to be continued (based upon the master plan) and a 15' separation between parking & access may need to be added.
- 12) At southeastern corner provide additional pavement marking arrows to define two way drive aisle.
- 13) Provide service delivery truck and solid waste truck simulation.
- 14) Provide information and detail on the drainage structures O.C.S A-2 & O.C.S. B-2.
- 15) A ROW Excavation permit and bond will be required before beginning any work in the right of way i.e. sidewalk, decorative street lamps and any utility work that may affect the public right of way.
- 16) A demolition permit may be required for removal of existing structures.
- 17) Significant information is missing from this plan. Additional comments may follow once all required information is provided.
- 18) Landscape designer should review the material selections on the landscape plan and revise them to include materials that will survive in the transition zone.
- 19) Please revise planting details to specify shredded hardwood bark mulch.
- 20) Please revise the plant materials schedule on the landscape plan to utilize the City of Murfreesboro Standard Tree Specifications. Specifications can be found at <http://www.murfreesborotn.gov/index.aspx?NID=276>
- 21) Please add the required ANSI note on landscape plan.
- 22) Please include a definition of "Matched" in the planting notes section of the landscape plan. Trees of the same species shall have the following characteristics: matched by branching

height, caliper, height of tree, spread of branches and branching structure, and overall canopy shape.

- 23) Zoning Ordinance Section 27(J)(3)(b)[1] is not applicable inside the GDO overlay. Please revise the frontage landscape design accordingly.
- 24) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.
- 25) Please add a note and a typical diagram to the landscape plan that all service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Please identify what screening material will be used. Plant materials must meet or exceed the height of the structure that is to be screened.
- 26) All parking rows are required to be originated and terminated with a landscape island and a shade tree.
- 27) Please revise landscape plan to provide required shade trees in all landscape parking islands.
- 28) Please show parking lot striping on landscape plan.
- 29) Please revise the landscape plan to provide the minimum required separation between canopy trees and all utility lines.
- 30) Please add a note to the landscape plan that Prior to installing any plant material in the ROW please contact the Urban Environmental Department (UED) at 895-8059 for a permit to plant in the ROW. Any trees installed in the City's ROW must be inspected by the UED prior to installation. Any materials not inspected prior to installation are subject to removal.
- 31) Please show calculations for meeting the 18" shrub requirements.
- 32) Ornamental trees are required to count for 25%-40% of required trees.
- 33) Please submit an irrigation plan for staff review. Irrigation coverage should start from back of curb and cover all planting and turf areas.
- 34) Please revise the landscape plan to provide curvilinear beds with multiple layers of interest along Fortress Blvd.
- 35) Please revise the landscape plan to show all calculations for 2, 3 and 4 inch materials.

Stormwater Comments:

- 1) The stormwater runoff from all new impervious surface must meet City stormwater requirements.
- 2) This site must meet the City's Stormwater Quality requirements.
- 3) Identify who will be responsible for the long term operation and maintenance of this stormwater facility. A long-term operation and maintenance plan and agreement (<http://www.murfreesborotn.gov/index.aspx?NID=500>) for the stormwater facilities must be signed and notarized prior to issuance of certificate of completion.

- 4) Erosion and sediment control plans (EPSC) should be in 2 phases prior to a land disturbance permit. And should include any utility construction offsite for the benefit of this development.
- 5) Discharges of stormwater associated construction activities on sites that disturb one acre or more and including sites less than 1 acre that are part of a larger common plan of development or sale will require a NPDES Stormwater Construction General Permit (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>). Provide a copy of the NPDES Notice of Coverage or Notice of Intent (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) to the Engineering Dept prior to starting any construction activities and prior to issuance of a land disturbance permit.
- 6) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application (<http://www.murfreesborotn.gov/index.aspx?nid=499>) and 2 copies of the SWPPP/EPSC/NOC must be submitted to the Engineering Department.
- 7) Prior to the issuance of a land disturbance permit and building permit, submit to the Engineering Dept. three (3) hard copies of the site plan, 1 hard copy of the stormwater report with design and calculations and 1 hard copy of the stormwater management record sheet, long-term operation and maintenance plan and agreement for the stormwater facilities (<http://www.murfreesborotn.gov/index.aspx?NID=441>).
- 8) A final construction stormwater inspection certification, CN-1173 and/or Notice of Termination (NOT), CN-1175 (<http://www.tennessee.gov/environment/article/permit-water-npdes-stormwater-construction-permit>) will be required prior to certificate of occupancy (CO).
- 9) An Engineer's Certification of the construction of the stormwater facilities (<http://www.murfreesborotn.gov/index.aspx?NID=441>) will be required prior to certificate of occupancy (CO). Provide information on existing, proposed and net impervious surface on the site plan.

Standard Staff Comments:

- 1) This site plan is affected by the Major Thoroughfare Plan, as Fortress Boulevard has been identified.
- 2) Per the design engineer's certification on this plan, this property lies in Zone X, areas designated as outside the floodway and 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department. For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 4) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

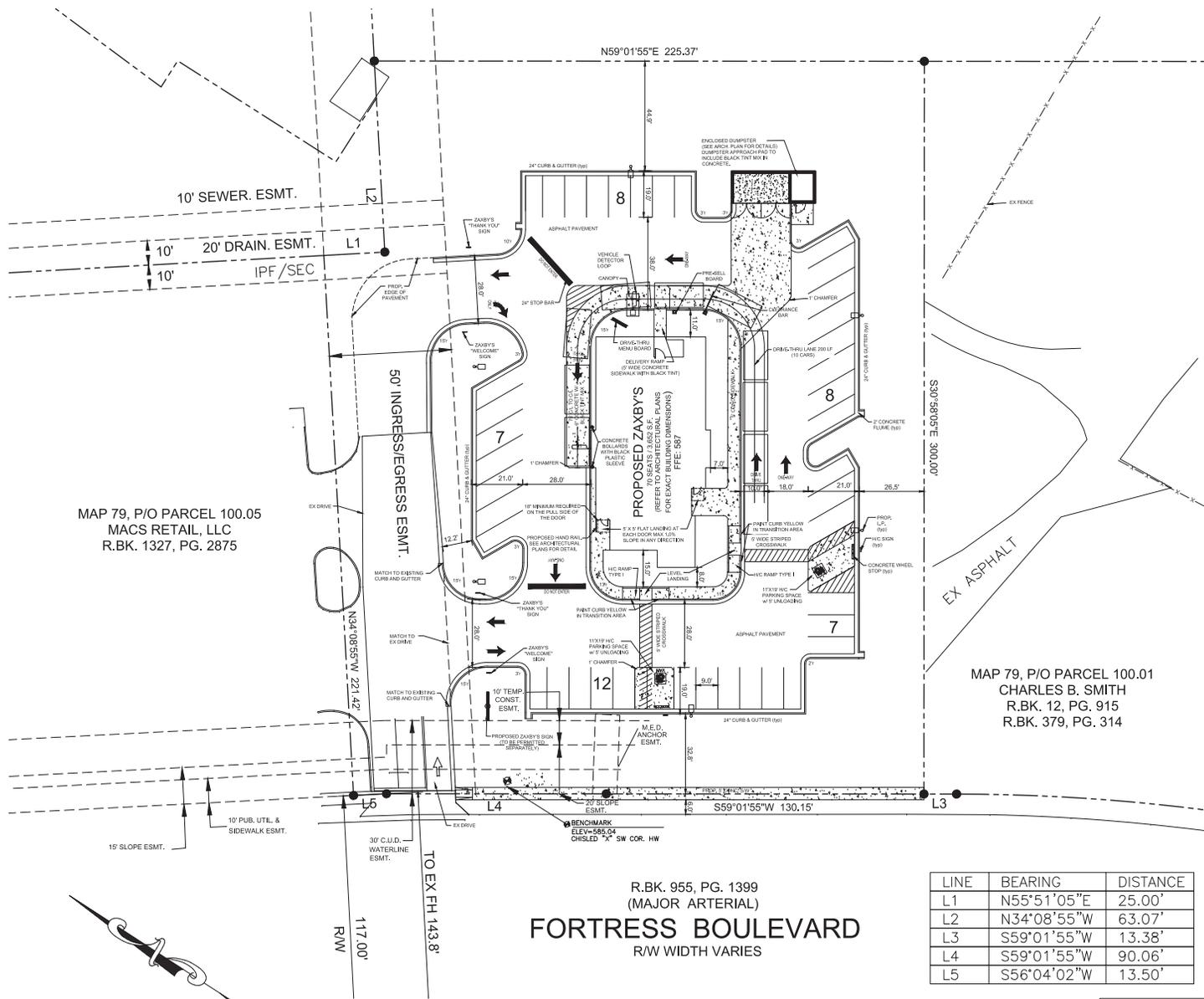
Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
 - Overhead – 40ft. 20ft either side of nearest power pole
 - Down Guys – 5ft x 30ft
 - Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 12) A CUDRC Developer's Packet; which includes an overview of the construction process and required submittals, can be found online at cudrc.com.
- 13) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
- 14) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial.
- 15) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@cudrc.com.
- 16) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
- 17) All main water line taps are to be made by CUDRC.

- 18) Submit a completed CUDRC "Fire Hydrant Request Application". The form can be found online at <http://www.cudrc.com/docs/FH-Application.aspx>
- 19) All backflow preventers are to be located outside and in an aboveground hotbox.
- 20) Owner(s) must submit a notary signed CUDRC Landscaping Agreement to CUDRC if landscaping is within a CUDRC Easement.
- 21) Field locate and show existing water lines on plans.
- 22) Remove the water meter size from the plans. CUDRC will size the meter(s) for this project.
- 23) Show existing fire hydrant locations.
- 24) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.
- 25) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 26) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 27) Property is within the Overall Creek assessment district. Add this note to the plan.
- 28) Resubmit two sets of plans to MWSD for the review of the sewer.
- 29) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 30) Building permits are not to be issued until fees are paid and grease interceptor is approved.
- 31) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
- 32) All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
- 33) Submit calculations for grease interceptor sizing approval by MWSD. Minimum required size is 1000 gallons and must meet MWSD specifications.
- 34) The FOG applications must be completed and submitted to MWSD.
- 35) Add the Release & Covenant Not to Sue note to the plan.
 - Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- 36) MWSD must receive contract, surety and offsite easement prior to approving the plans.
- 37) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 38) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.

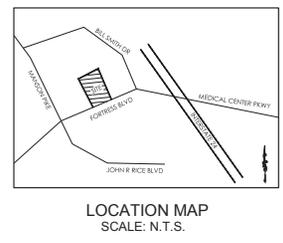
- 39) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 40) On-site private cleanouts must use the details found at the following link:
<http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 41) Submit a copy of the final Site Lighting Plan to MWSD.
- 42) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 43) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 44) All new sanitary sewer taps, connections, and manhole adjustments are to be per MWSD specifications and be made under MWSD supervision by a MU licensed utility contractor.
- 45) Sewer must be 8" with 30' easement.

MAP 79, P/O PARCEL 100.05
MACS RETAIL, LLC
R.B.K. 1327, PG. 2875



R.B.K. 955, PG. 1399
(MAJOR ARTERIAL)
FORTRESS BOULEVARD
R/W WIDTH VARIES

LINE	BEARING	DISTANCE
L1	N55°51'05"E	25.00'
L2	N34°08'55"W	63.07'
L3	S59°01'55"W	13.38'
L4	S59°01'55"W	90.06'
L5	S56°04'02"W	13.50'

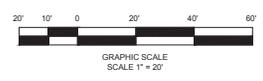


PROJECT NOTES:
OWNER / DEVELOPER: DUCK RIVER PROPERTIES, LLC
111 Main Boulevard
Rome, GA 30165
Contract No. 15000000
Tel. (770) 5260485
ENGINEER: Carter Engineering Consultants, Inc.
3603 Mainville Road, Suite 2000
Wadsworth, GA 30077
Contract No. 15000000
Tel. (770) 725-1300
www.carterengineering.com
Property located at Fortress Blvd, Marietta, GA 30159
Current zoning: C41 Overlay: GDD
Setback: Front 42' Rear 10' Side 20'
Proposed use is a restaurant with drive thru
Proposed building height is 20'
Boundary and topographic information obtained from 1/16/16 survey by Site Engineering Consultants, Inc. (Sheet: 02/24/16 Phase: 010-00000)
Project total contains 142 acres, disturbed area = 1.4 acres
Contour interval is 1 foot (NAVD 83)
The property shown herein does not lie within a 100 year flood plain according to Flood Insurance Risk Map RETRO-CORRECTED - dated January 5, 2002, by Site Engineering Consultants, Inc. Survey No. 1416.
The underground utilities shown herein have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown are correct. It is the responsibility of the contractor to verify the location of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.
It is the responsibility of the contractor to verify the location of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

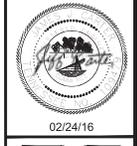
UNDERGROUND UTILITIES DISCLAIMER
Information regarding the reported presence, size, character and location of existing underground utilities and structures related to underground utilities is shown herein. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown herein may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and the contractor shall hereby be deemed to understand that the surveyor is not responsible for the completeness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown herein.

SITE DATA:
TOTAL SITE AREA = 1.62 ACRES
EX IMPERVIOUS AREA = 0.37 AC
EX COVERAGE = 23%
BUILDING AREA = 3,662 S.F.
PROPOSED IMPERVIOUS AREA = 0.91 ACRES
PROPOSED IMPERVIOUS COVERAGE = 56.2%
DISTURBED AREA = 1.4 ACRES

PARKING CALCULATIONS:
- 1 SPACE FOR EVERY 100 S.F. OF BUILDING S.F.
3,662 S.F. / 100 = 36.62 = 37 SPACES REQUIRED
- 42 SPACES PROPOSED
(40 REGULAR, 2 HANDICAP)
- PLUS 10 QUEUE SPACES FOR ANY DRIVE THRU
10 SPACES PROPOSED



REVISION BLOCK	
1	DATE / DESCRIPTION
4	02/18/16 INITIAL SUBMITTAL



CARTER ENGINEERING CONSULTANTS
Carter Engineering Consultants, Inc.
3603 Mainville Road, Suite 2000
Wadsworth, GA 30077
P: 770.725.1300
F: 770.725.1318
www.carterengineering.com

SITE DEVELOPMENT PLANS
for
DUCK RIVER PROPERTIES, LLC
FORTRESS BLVD, MARIETTA, GA 30159

PROJECT NAME:
ZAXBY'S
SHEET TITLE:
SITE PLAN
SHEET NUMBER:
3
PROJECT NUMBER:
15197ZAX
DATE:
02/18/16

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 5.e. North Church Section 1 Phase 2A [2016-2023] final plat for 1 lot on 3.4 acres zoned MU and GDO-1 located along Fortress Boulevard, Duck River Properties developer.

This is the final plat review for North Church Section 1 Phase 2A commercial resubdivision located along Medical Center Parkway. The property is zoned MU and GDO-1. The purpose of this plat is to combine two existing lots. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Resubmit plan at a 1" = 50' scale, zooming in on the subject lot in question.
- 2) If no new utility or drainage easements are proposed, then the City Engineer and MED signature blocks can be removed.
- 3) Change the word "combination" to "resubdivision" in the title block.
- 4) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is affected by the City's Major Thoroughfare Plan, as Medical Center Parkway has been constructed.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Show MED easement.
- 2) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 3) Submit plat to CUDRC for review and comment.
- 4) The developer is financially responsible for providing repurified water and sewer service to each lot.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND ACCURATE HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DESIGNATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREON, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____
 RECORD BOOK 348, PAGE 2035 C.M. GATTSON, TRUSTEE
 RECORD BOOK 349, PAGE 2466 TRUSTEE OF THE C.M. GATTSON TRUST
 UNDER AGREEMENT DATED JANUARY 7, 1995

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE MEASUREMENTS IS 1 TO 10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

REG. NO. _____
 DATE: _____ REGISTERED SURVEYOR

TENN. P.L.S. NO. _____

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT; AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURVEY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITHIN THE COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA TO ASSURE COMPLETION OF SAME.

DATE: _____
 CONSOLIDATED UTILITY DISTRICT
 OF RUTHERFORD COUNTY OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA FOR SEWER WORKS; (2) THAT A SURVEY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITHIN THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWER SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: _____ MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL OF REPAIRED WATER SYSTEMS

CITY OF MURFREESBORO WATER SERVICE JURISDICTION

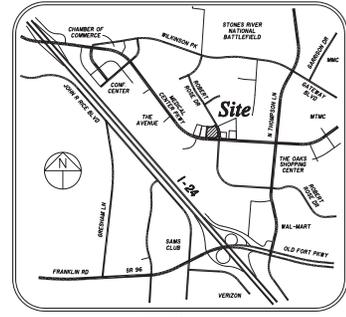
I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA; OR (2) THAT A SURVEY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITHIN THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: _____ MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING

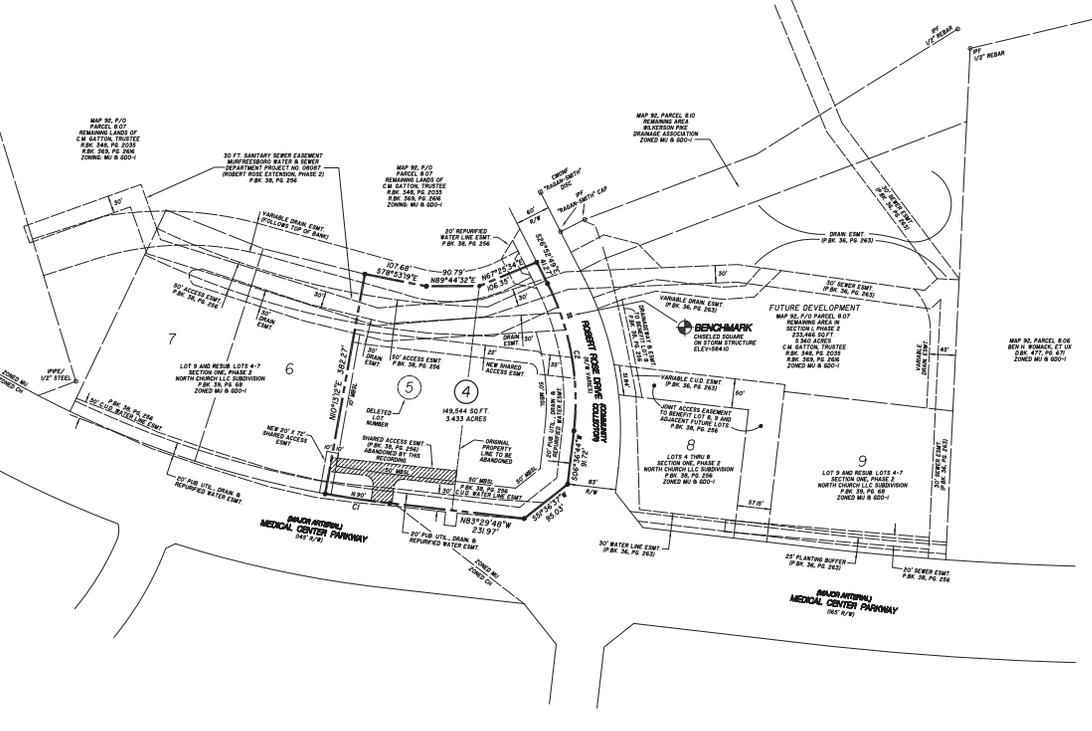
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH PARCELS, IF ANY, AS ARE HEREIN IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE: _____ PLANNING COMMISSION SECRETARY



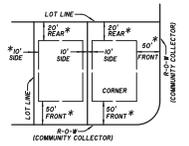
LOCATION MAP
N.T.S.

- GENERAL NOTES**
- THE PURPOSE OF THE FINAL PLAT IS TO COMBINE LOTS 4 AND 5 INTO 1 LOT.
 - SET ANGLE LOT NUMBER 4 AND SETTING LOT NUMBER 5.
 - REARWARD SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIES TO CITY OF MURFREESBORO URBAN GRID OR BOUNDARY MONUMENT CORNER (05) (14) (15) (16).
 - THIS PROPERTY LIES WITHIN ZONE 2, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM FLOOD ELEVATION RECORDS FROM FEMA MAPS FOR RUTHERFORD COUNTY, MAP NO. 4780002-N, EFFECTIVE DATE JANUARY 5, 2007. ADDITIONALLY, THIS PROPERTY IS LOCATED IN AN UNDEVELOPED LOW AREA (LCA) ZONING DISTRICT DATE APRIL 23, 2000.
 - ANY MINIMUM FINISHED FLOOR ELEVATION (MFF) SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
 - THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE UTILITIES IN THE SITE. PUBLIC RECORDS AND MAPS PREPARED BY OTHER SURVEYORS MAKE NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
 - NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
 - SUBJECT PROPERTY IS ZONED M1. MINIMUM BUILDING SETBACKS FOR THIS SITE: MIN. FRONT YARD IS 5 FT. UNLESS ADJUTING ATTORNEY OR COLLECTOR STREETS, THEN IT IS 50 FT. MIN. REAR YARD IS 5 FT. UNLESS ADJUTING SINGLE FAMILY ZONING, THEN IT IS 20 FT. PLUS ADDITIONAL 10 FT. FOR EACH STORY OVER 2. MIN. SIDE YARD IS 5 FT. UNLESS ADJUTING SINGLE FAMILY ZONING, THEN IT IS 50 FT. PLUS ADDITIONAL 10 FT. FOR EACH STORY OVER 2.
 - THE SOIL MATERIALS IN THIS SUBDIVISION MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUYER OF ANY PROPERTY SHOWN HEREON SHALL INVESTIGATE THE SOILS CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OF OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
 - IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT SURFACE WATER WITHOUT POONDS IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
 - PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, COMMUNICATIONS LIGHTING, CABLE TELEVISION SERVICES AND OTHERS.
 - UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER CONNECTION AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKFLOW VALVE PER THE PLUMBING CODE AND RECORD A RELEASE OF INDemnIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
 - ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
 - THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION FOR OR NOTICE TO THE OWNER OF THE LOTS IN THE SUBDIVISION.
 - EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNLESS FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
 - A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
 - ANY COMMON AREAS SHOWN ON THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE OWNERS ASSOCIATION TO MAINTAIN.
 - PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - PROPERTY IS WITHIN THE OVERALL CHECK AND MEDICAL CENTER PARKWAY ASSESSMENT DISTRICTS.
 - WATER SERVICE, DOMESTIC AND FIRE, IS PROVIDED BY C.U.D.C.

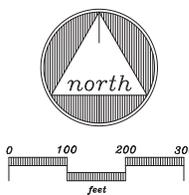


CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	57°42'41"	1792.50'	111.90'	65.93'	111.90'	N61°57'27"W
C2	53°28'46"	444.91'	259.97'	133.81'	256.29'	E107°02'39"E



- LEGEND**
- IRON PIN (FOUND)
 - IRON PIN SET (NEW)
 - CONC. MONUMENT (FOUND)



THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERSEDES THE RECORDING OF LOTS 4 AND 5 ON A FINAL PLAT ENTITLED "NORTH CHURCH LLC SUBDIVISION, SECTION ONE, PHASE 2, LOT 9 AND RESUB LOTS 4-7", AS RECORDED IN PLAT BOOK 39, PAGE 68, R.O.R.C., TN.

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK _____, PAGE _____

OWNER:
 C.M. GATTSON, TRUSTEE
 1000 WEST STATE STREET
 BRISTOL, TN 37623
 RECORD BOOK 348, PG. 2035, R.O.R.C.
 RECORD BOOK 349, PG. 2466, R.O.R.C.
 MAP 30, PARCEL, 907

DEVELOPER:
 NORTH CHURCH LLC
 CONTACT: THOMAS E. SMITH
 123 NORTH CHURCH STREET
 P.O. BOX 5035
 MURFREESBORO, TN 37135-5035

SITE DATA:
 TOTAL AREA = 3.433 ACRES
 NO. OF LOTS = 1
 MINIMUM LOT SIZE = 1 ACRE
 ZONING = MU 8 600-1

FINAL PLAT

Resubdivision of Lots 4 & 5
Section One, Phase 2
North Church LLC
SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
 13th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC, Inc. **SITE ENGINEERING CONSULTANTS**

ENGINEERING • SURVEYING • LAND PLANNING
 550 MOULD TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37629
 PHONE (615) 890-7501 • FAX (615) 895-2567

PROJ # 18260 DATE: 2-10-16 DRAWN BY: ACAD/AVG SCALE: 1" = 100' SHEET 1 OF 1
 REV: 3-10-16 FILE: NCLL-049-16 REVISED: 3/10/16

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

5.f. Ben H. Womack Subdivision Lot 1 [2016-2029] final plat for 1 lot on 6.4 acres zoned RS-15, MU & GDO-1 located along Van Cleve Lane, Ben H. Womack developer.

This is the final plat review for Ben H. Womack subdivision located along Van Cleve Lane. The property is zoned RS-15 and MU. The purpose of this plat is to create a 1 lot subdivision. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments:

- 1) Revise the title to state "Final Plat, Ben H. Womack Subdivision Lot 1".
- 2) Provide a more legible location map.
- 3) Add a purpose note.
- 4) Increase the font of the typical setback diagram and setback table to make them easier to read.
- 5) Add zoning classifications for abutting properties on final plat.
- 6) Show MU and GDO-1 zoning boundary on final plat.
- 7) Show and label MU MBSLs on final plat.
- 8) Add typical setback diagram and setback table for MU on final plat. The setback table should include the MU setback footnotes in Section 15 of the Zoning Ordinance.
- 9) Add required signature blocks for MED and the City Engineer.
- 10) The FIRM note is outdated. The latest FIRM map is from 2007. Please update.
- 11) The FIRM note says that the property is located in Zones AE and X. Is this correct?
- 12) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Standard Staff Comments:

- 1) Per the engineer's certification on this plan, the property lies in Zones AE and X, partially inside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro. However, a review of the City's GIS maps show that the subject property appears to be located in Zone X.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) Send a copy of the entire set of staff-approved plans in pdf format to mgreen@murfreesborotn.gov. Send dwg and dgn layers to glee@murfreesborotn.gov with the projection in Tennessee State Plane, NAD 83 (U.S. feet) per Gerald Lee. For additional questions contact Gerald Lee.
- 4) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

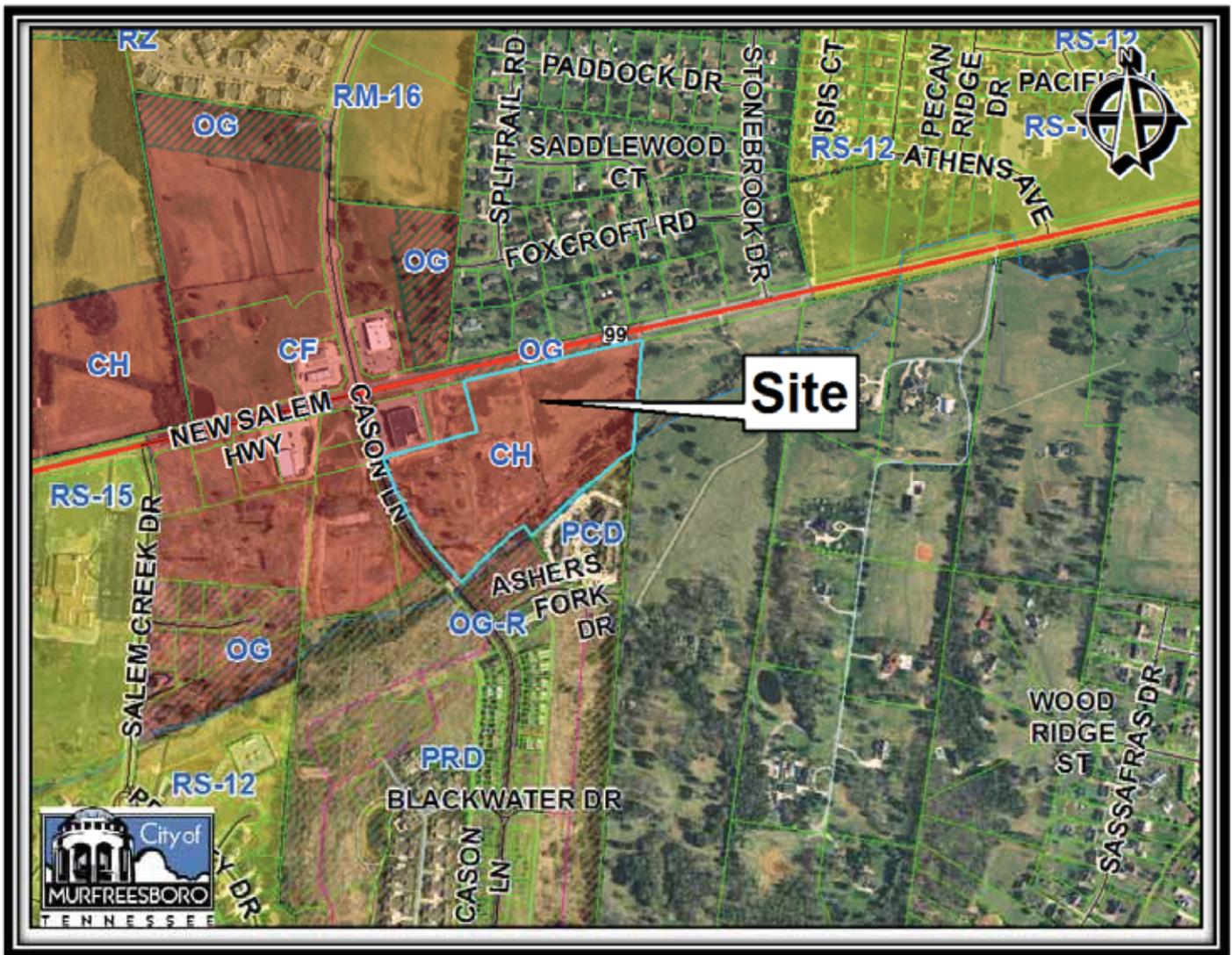
Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 3) All subdivision lots involved must have documentation for approved soil sites from State Environmental.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

- 6.a. Three Rivers Commercial Property [2016-1009] master plan for 5 lots on 19.6 acres zoned CH located along New Salem Highway and Cason Lane, Bart and Leslie Gordon developer.

This is the master plan review for 5 lots on 19.6 acres zoned CH. This master plan shows proposed lot configurations and access points. If the master plan is approved, then the next step will be for the developer to submit a preliminary plat. The preliminary plat will be required to be consistent with the approved master plan. Staff recommends that any approval of this master plan be subject to all staff comments.



Staff Comments:

- 1) Revise the name of Hwy 99 from New Salem Road to New Salem *Highway*.
- 2) Revise the access drive at the rear of the lots to be wide enough for three lanes.
- 3) Lot C3 is zoned CH (not CF). Please correct.
- 4) Denote the zoning of the subject property on the master plan.
- 5) Confirm that the owner of Lot C3 is aware of the need for the shared access drive at the rear of his lot.
- 6) Provide a FEMA FIRM note.
- 7) Show the Water Quality Protection Area and its accompanying notes along Spence Creek.
- 8) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

Stormwater Comments:

- 1) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations www.murfreesborotn.gov/planning and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.

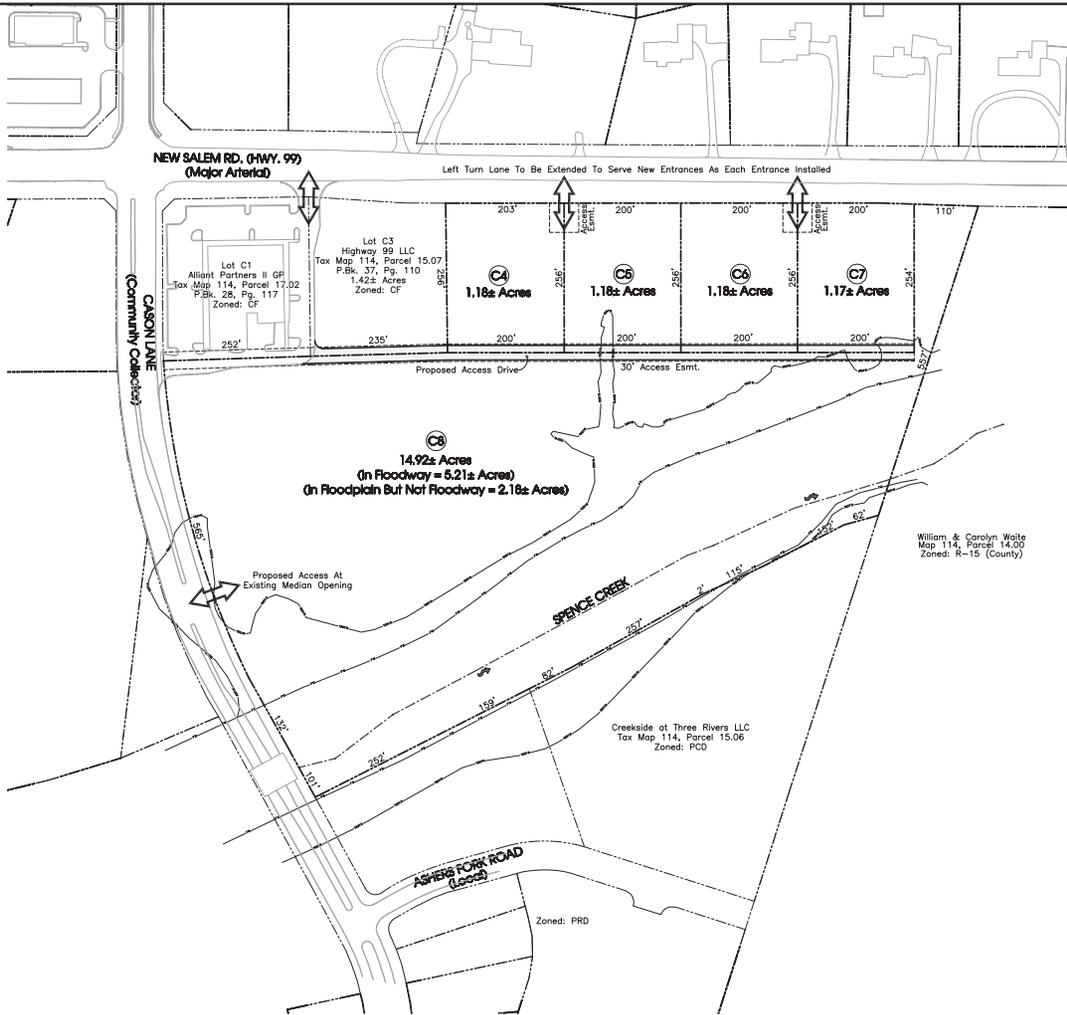
Standard Staff Comments:

- 1) This master plan is affected by the City's Major Thoroughfare, as New Salem Highway is planned to be improved to a 5-lane cross-section.
- 2) Per the engineer's certification on this plan, the property lies in Zones X and AE, partially within areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 2) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
- 3) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@ cudrc.com.
- 4) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.

- 5) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 6) Property is within the Salem/Barfield assessment district. Add this note to the plat.
- 7) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 8) Add the Release & Covenant Not to Sue note to the plat.
 - a. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- 9) MWSD must receive contract and surety prior to signing the plat.
- 10) The developer is financially responsible for providing water and sewer service to each lot.



William & Carolyn Waite
Map 114, Parcel 14.00
Zoned: R-15 (County)

Creekside at Three Rivers LLC
Tax Map 114, Parcel 15.06
Zoned: PCD

Zoned: PRD

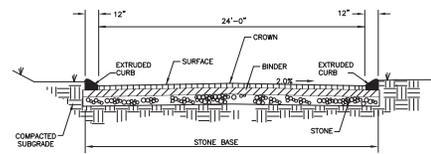
NEW SALEM RD. (HWY. 99)
(Major Arterial)

CAYSON LANE
(Community Collector)

Lot C1
Alliant Partners II GP
Tax Map 114, Parcel 17.02
P.Bk. 28, Pg. 117
Zoned: CF

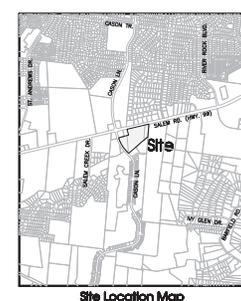
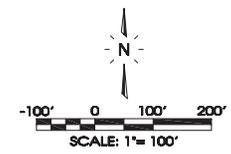
Lot C3
Highway 99 LLC
Tax Map 114, Parcel 15.07
P.Bk. 37, Pg. 110
1.42± Acres
Zoned: CF

14.92± Acres
(In Floodway = 5.21± Acres)
(In Floodplain But Not Floodway = 2.18± Acres)



TYPICAL PRIVATE DRIVE SECTION
SCALE: NONE

- Stormwater To Be Met At Site Plan Review
- Shared Access Drive To Be Constructed By 1st Parcel To Develop
- Proposed Rear Private Access Drive To Be Constructed As Lots Are Developed At Site Plan Phase
- Turn Lane Improvements To Hwy 99 To Be Constructed At Site Plan Phase



Site Location Map

Legend:	
□	EXIST. CONCRETE MONUMENT
●	IRON PIN SET (I.P.S.)
○	IRON PIN FOUND (I.P.F.)
+	EXIST. SIGN POST
○	EXIST. SEWER CLEANOUT
⊕	EXIST. MANHOLE (SEWER & PHONE)
⊕	EXIST. CATCH BASIN (STORM SEWER)
⊕	EXIST. WATER/GAS VALVE
⊕	EXIST. TELEPHONE RISER
⊕	EXIST. GAS RISER
⊕	ELECTRICAL ENCLOSURE
⊕	EXIST. WATER METER
⊕	EXIST. UTILITY POLE
⊕	EXIST. FIRE HYDRANT
⊕	BENCHMARK
⊕	BLOW OFF VALVE
⊕	CONCRETE BOLLARD
⊕	CATCH BASIN
⊕	CURB INLET
⊕	AREA DRAIN
⊕	CONCRETE THRUST BLOCK
⊕	DOUBLE DETECTOR CHECK VALVE
⊕	FIRE DEPT. CONNECTION
⊕	FIRE HYDRANT
⊕	GAS METER
⊕	GATE VALVE & BOX
⊕	EXTERIOR CLEANOUT
⊕	EXISTING PHONE
⊕	EXISTING ELECTRIC
⊕	PROPERTY LINE
⊕	EASEMENTS
⊕	RIGHT OF WAY
⊕	EROSION CONTROL SILT FENCE
⊕	EXISTING TREELINE
⊕	EXISTING FENCELINE
⊕	MINIMUM BUILDING SETBACK LINE
⊕	PHASE BOUNDARY
⊕	EXISTING GAS LINE
⊕	PROPOSED GAS LINE
⊕	EXISTING STORM
⊕	PROPOSED STORM
⊕	EXISTING CONTOUR LINES
⊕	PROPOSED CONTOUR LINES
⊕	EXISTING SANITARY SEWER
⊕	PROPOSED SANITARY SEWER
⊕	EXISTING WATER
⊕	PROPOSED WATER
⊕	INLET PROTECTION FILTER
⊕	HANDICAP PARKING SYMBOL
⊕	HC SIGN
⊕	HEADWALL
⊕	WINGED HEADWALL
⊕	MANHOLE
⊕	PROPOSED SPOT ELEVATION
⊕	EXIST. SPOT ELEVATION
⊕	POST INDICATOR VALVE
⊕	REDUCER
⊕	RENAME FIRE DEPT. CONNECTION
⊕	REVISION NUMBER
⊕	RIP RAP
⊕	RUNOFF FLOW ARROW
⊕	SEWER/STORM FLOW DIRECTION
⊕	TRAFFIC ARROW
⊕	TURN LANE ARROWS
⊕	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	WATER METER
⊕	WHEEL STOP
⊕	GREASE TRAP
⊕	DRAINAGE STRUCTURE DESIGNATION
⊕	DRAINAGE PIPE DESIGNATION
⊕	CONCRETE SIDEWALK
⊕	EXTRUDED CURB
⊕	CURB & GUTTER
⊕	CONCRETE SIDEWALK

OWNER/DEVELOPER:	Bart Gordon Etux Leslie 2442 Belmont Rd. N.W. Washington, DC 20008 Contact: John Harney (P): 615-542-0715
DEED REFERENCE:	R, Bk. 1432, Pg. 1212 12th Civil District in Rutherford County Tax Map 114, Parcels 15.01 & 15.04, A Portion of Tax Map 114, Parcel 15.00
LAND USE DATA:	5 Additional Lots Total Land Area: 19.63± Acres (1,002,583 S.F.)

SEC Inc
SITE ENGINEERING CONSULTANTS
LANDSCAPE ARCHITECTURE
ENGINEERING SURVEYING LAND PLANNING
1000 W. MAIN ST. SUITE 200
MURFREESBORO, TN 37132
TEL: 615-895-2887
FAX: 615-895-2887
WWW.SECINC.COM

TAYLOR
REGISTERED PROFESSIONAL ENGINEER
No. 10000
Tennessee

REVIEWED
(Not Internet Ready)

Three Rivers
Commercial Property
Master Plan
Murfreesboro, Tennessee

DATE:	2-25-18
CHECKED:	
MAT:	
FILE NAME:	MasterPlan
SCALE:	1" = 100'
JOB NO.:	07106
SHEET:	

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 6.b. Kingdom Crest [2015-1047] master plan & preliminary plat for 58 lots on 11.7 acres zoned RZ located along Jack Byrnes Drive & Charity Lane, Swanson Development developer.

This is the master plan and preliminary plat review for 58 lots on 11.69 acres zoned RZ. (The master plan refers to the Kingdom Crest Subdivision only and not the remainder of the development tract.) The purpose of this preliminary plat is to create a 58 lot subdivision. These lots have a minimum lot size of 3,000. Preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends that any approval of this preliminary plat be made subject to all staff comments.



Staff Comments:

- 1) Revise the plans so that the alley is located in a common area instead of in an easement on the lots themselves.
- 2) The design engineer should contact Ram Balachandran to determine the correct roadway classification of Otter Trail.
- 3) The design engineer needs to confirm with the developer/builder whether or not the building envelope on Lot 47 is adequate for a proposed single-family home. Any hardships for variance requests on this lot will be self-created.
- 4) Because of the density of the development, Staff believes that Lots 47-58 should be alley-loaded as well. This will reduce the number of driveways onto the public street and reduce the number of driveway conflicts for the vehicles that will be parking on-street.
- 5) Lots 25-30 will back up to Otter Trail. Provide an appropriate interface (e.g., landscaping, berming, fencing, etc...) from the rear of these lots to Otter Trail. Landscaping has been provided. However, staff recommends fencing and berming as well not only to screen Otter Trail from the backs of the houses on these lots but also to provide privacy for the backs of these lots from the public street.
- 6) Please complete the Plant Schedule. Provide all information and provide the correct spelling of all plant materials proposed with this plan.
- 7) Lots 31-33 will face Otter Trail. How will the transition be made from these lots to the lots 25-30, which will face inward? Staff recommends creating the transition of the landscape design at the property line between lot 30 & Lot 31 instead of mid-way through lot 31.
- 8) As the houses on lots 31 & 32 will face Otter Trail staff suggests a more formalized planting with curvilinear beds and multiple layers of interest to better fit in with a residential surrounding.
- 9) Please show defined bed lines on the landscape plan.
- 10) Please revise the plant materials schedule on the landscape plan to utilize the City of Murfreesboro Standard Tree Specifications. Specifications can be found at <http://www.murfreesborotn.gov/index.aspx?NID=276>
- 11) Staff suggests using a broad growing evergreen in place of American Holly. American Holly perform poorly in this area.
- 12) Please specify woody ornamental shrubs as container (no gallon sizes) or B&B and specify a minimum height.
- 13) Please revise the Tree and Shrub planting details to specify the type of mulch proposed with the landscape plan.
- 14) Landscape designer should review the plant material locations and confirm that all plant materials are meeting the required separation from the respective utilities.
- 15) The current design proposes planting within multiple easements. The developer must obtain permission from the easement holders to plant in these areas.
- 16) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov.

- 17) Show both the proposed and existing detention ponds on the master plan.
- 18) Provide detail of concrete outlet structure.
- 19) Proposed contours for the proposed regional pond should tie back into existing contours.
- 20) Regional stormwater pond needs to be completed and certified by the engineer prior to signing the final plat.
- 21) Ditch along Jack Byrnes Drive should be removed since water from hill side is being intercepted by drainage ditch to the rear of lots 7-24, Charity Lane, and the private alley. Subdivision regulations prohibit ditches in front and side yards.
- 22) Provide a separate grading and drainage plan to clear up clutter on preliminary plat.
- 23) Grading on lots must be complete before release of building permits.
- 24) Geotechnical reports on lots with fill will be required prior to release of building permits.
- 25) Construction plans must be approved by the City Engineer as outlined in the Subdivision Regulations www.murfreesborotn.gov/planning and shall be submitted to the City Engineer's office for review and approval for all subdivisions requiring construction of streets, drainage ditches or pipes, and/or public utilities.
- 26) As with all developments of more than one acre, this development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit.
- 27) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
- 28) This development is required to comply with the City's Stormwater Quality requirements.
- 29) Prior to any permit, submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements.
- 30) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Management Record Sheet.
- 31) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 32) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement.

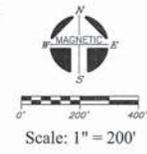
Standard Staff Comments:

- 1) This preliminary plat is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed

underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) All fire hydrants must be located 4ft from nearest electric facility.
- 5) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 6) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@ cudrc.com.
- 7) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@ cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
- 8) All main water line taps are to be made by CUDRC.
- 9) TDEC approved plans from CUDRC and a "Construction Start Notification" letter are to be issued to the contractor from CUDRC prior to the start of any water line construction.
- 10) Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
- 11) A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to subdivisions@ cudrc.com.
- 12) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 13) Resubmit two sets of plans to MWSD for the review of the sewer.
- 14) MWSD must receive contract and surety prior to signing the plat.
- 15) Submit a copy of the final Grading & Drainage Plan to MWSD.



OWNER: Swanson Developments, LP
 Attn: Joe Swanson, Jr.
 ADDRESS: 1188 Park Avenue
 Murfreesboro, TN 37129
 Tax Map 93, Part of Parcel 70.00
 Part of Record Book 811, Page 2367

THESE LOTS ARE NOT LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP #20168, PANEL NO. 0350 H, ZONE: X, DATED: 07/09/07.

NO.	DATE	DESCRIPTION
0	02-24-16	Section 1 Issue



MASTER PLAN
KINGDOM CREST
 City of Murfreesboro, Rutherford County, Tennessee
 Date: February, 2016 Scale: 1"=200' Sheet 1 of 6

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

6.c. The Crossings at Victory Station [2016-3056] site plan for 183,925 ft² assisted care living facility on 9.7 acres zoned PUD located along Fortress Boulevard, Murfreesboro IL-AL Investors developer.

This is the site plan review for a new assisted care living facility located within the Victory Station PUD along Fortress Boulevard. This portion of the PUD was amended in 2015 to allow this particular use. While the configuration of the building has changed slightly, the overall design is generally consistent with the approved PUD. Staff recommends that any approval of this site plan be made subject to all staff comments.



Staff Comments:

- 1) Please label all adjacent property zoning and provide any required buffers. Per the 2015 PUD zoning plan, a 10'-wide Type A buffer is required along the north, south, and west property lines. Label the Type A buffer on the plans and confirm that the minimum required 10' buffer width is maintained along the entire west property line.
- 2) Please remove caliper sizes from all evergreen plant materials.
- 3) Canopy trees should be spaced no closer than 40 feet.
- 4) Foundation plantings are required on the front and two sides of a building with a 3' planting bed. Please add the required plantings and bed space.
- 5) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.
- 6) Please show how the storm water management areas are being screened on the landscape plan. Detention or retention areas shall be landscaped by use of a combination of vegetation, earth berm, walls, or other materials.
- 7) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.
- 8) Please add a note and a typical diagram to the landscape plan that all service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Please identify what screening material will be used. Plant materials must meet or exceed the height of the structure that is to be screened.
- 9) Due to local maintenance practices, Crape Myrtles cannot receive credit as ornamental trees. Please choose another tree for ornamental tree credit.
- 10) Please include a tree preservation detail. Please see Section 24, Article III (E) (6) and Section 27 (Q) of the zoning ordinance for proper tree protection.
- 11) Please add a note to the landscape plan that Prior to installing any plant material in the ROW please contact the Urban Environmental Department (UED) at 895-8059 for a permit to plant in the ROW. Any trees installed in the City's ROW must be inspected by the UED prior to installation. Any materials not inspected prior to installation are subject to removal.
- 12) Please add something in the plant material schedule to draw the contractor's attention to the tree specifications provided below the schedule.
- 13) Please identify the street trees on the landscape plan. Any trees found to not be healthy and in good condition at the time of inspection will need to be replaced prior to the issuance of a certificate of occupancy.
- 14) Per the 2000 PUD zoning plan, all shade trees provided on-site must be a minimum of 3" caliper.
- 15) The bar scale on the landscape plan is different from the scale in the title block. Please reconcile.
- 16) Freestanding wall signs in easements must get easement holder & BZA approval.

- 17) The Engineering Department point of contact for this project is Katie Noel. She can be reached at 615-893-6441 or KNoel@MurfreesboroTN.gov. Planning point of contact is Matthew Blomeley at (615)-893-6441 or mblomeley@murfreesborotn.gov.
- 18) Dimension lane widths at main entrance.
- 19) Add stop bars at each entrance
- 20) Remove stop bar at intersection with the future access drive. The future drive should have the stop condition.
- 21) Right of Way permits and bonds will be required for both entrances on Fortress Boulevard. Please contact Danny Lowe in the engineering department for additional details.
- 22) Final retaining wall will be required prior to building permit being issued.
- 23) Details for both light duty and heavy duty pavement are shown; specify where each will be used on the site.
- 24) Staff has some concerns about the ribbon curb at the bump out and slope into detention area on the north side of the site. Consider adding post curb to prevent vehicles from entering the slope.
- 25) Check elevations at the outlet structure details. There appear to be some discrepancies between the details and the structure tables. Be sure to account for the 8 inch top.
- 26) Show grading at the future access easement.
- 27) Label check dams as temporary
- 28) Provide an emergency spillway for the north detention pond.
- 29) Provide details for the bioretention areas.
- 30) New development and redevelopment involving increase of 10,000 square feet of impervious area, on a lot or within a common plan of development of at least one acre must comply with the city's stormwater quality design standards. Demonstrate how those requirements are being met. Many areas on the site appear only to be treated by dry detention ponds which do not achieve the 80% tss removal that is required.
- 31) As with all developments of more than one acre, a State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided to the City Engineer prior to construction progressing.
- 32) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 33) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
- 34) Prior to a building permit, the Stormwater Management Plan must be submitted, reviewed and approved.
- 35) Prior to a building permit, submit a Stormwater Management Record Sheet.

- 36) Prior to certificate of occupancy, submit a Stormwater Facilities Operation and Maintenance Plan.
- 37) Prior to certificate of occupancy, submit a Stormwater Facilities Maintenance Agreement signed by the owner.
- 38) Prior to certificate of occupancy, submit an Engineer's Certification of the construction of the stormwater management facilities.
- 39) In the parking calculations, specify the number of beds for each type of housing.
- 40) For the total number of parking spaces provided, separate the number of handicapped spaces from the number of non-handicapped spaces.
- 41) Provide a detail of the solid waste enclosure. It should be a minimum of 8' tall and should have a façade that matches the building materials.
- 42) Call out the surface material of the fire lane behind the building. It must be constructed to withstand the weight of a fire truck. Per the 2000 PUD zoning plan, all travel surfaces must be asphalt or concrete.
- 43) Per the 2000 PUD zoning plan, 6" stand-up curb and gutter should be used in the parking lot.
- 44) Per the 2000 PUD zoning plan, there is a 15' parking setback from the front property line. No parking should encroach into this 15'. Revise plans accordingly.
- 45) Per the 2015 PUD, a dog park is included in this development. Show and label the proposed dog park.
- 46) Show HVAC locations and provide required landscape screening.
- 47) The photometric lighting plan should be revised to demonstrate no more than 0.5 footcandles beyond the property line.
- 48) Sufficient information should be provided to demonstrate compliance with the lighting requirements in Section 18 of the Zoning Ordinance as well as the lighting standards in the 2000 PUD zoning plan.
- 49) Label the building height on the architectural elevations.

Standard Staff Comments:

- 1) This site plan is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.

- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.
- 8) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

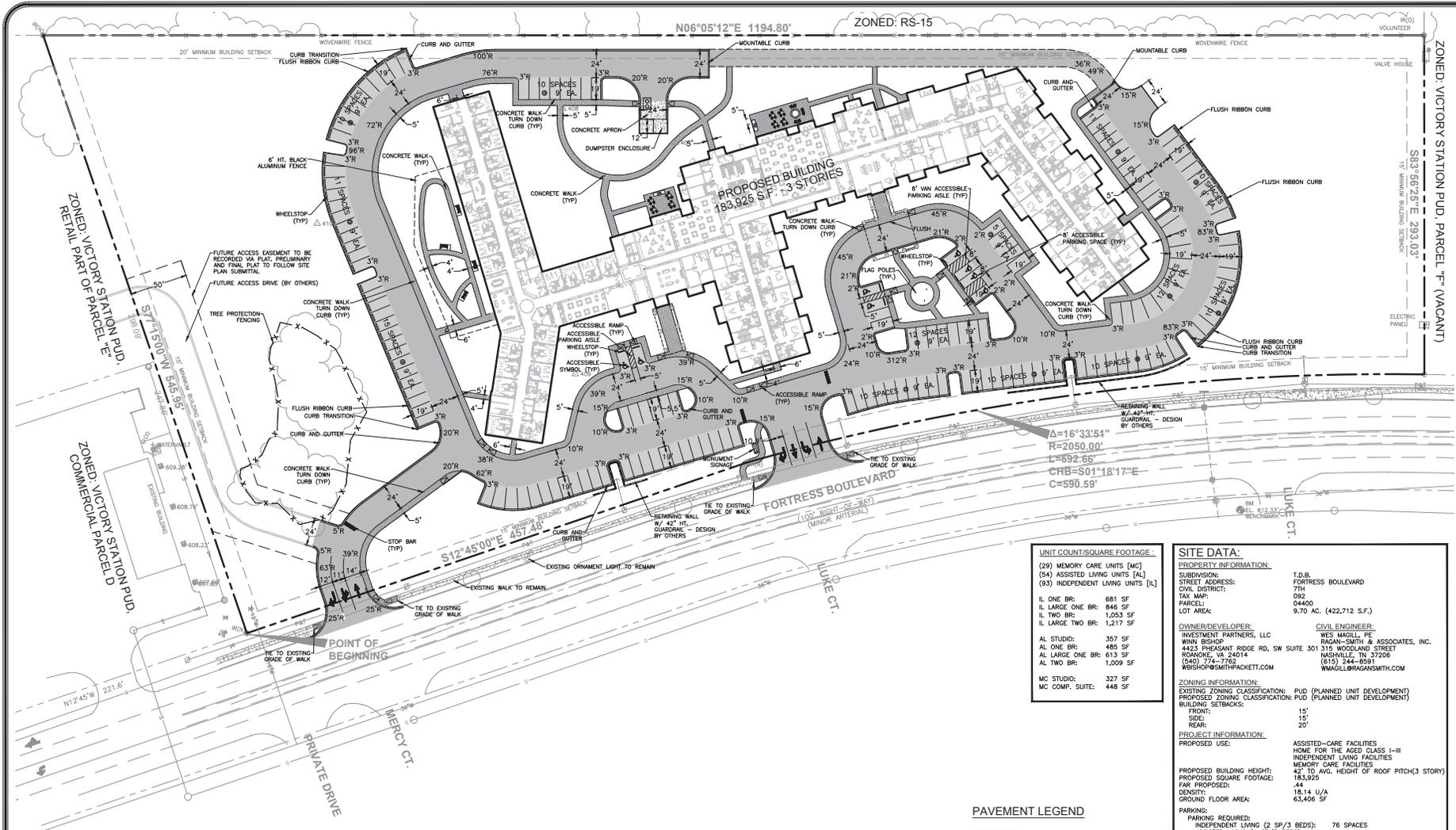
- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
Overhead – 40ft. 20ft either side of nearest power pole
Down Guys – 5ft x 30ft
Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.

- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 12) A CUDRC Developer's Packet; which includes an overview of the construction process and required submittals, can be found online at cudrc.com.
- 13) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
- 14) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial.
- 15) A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@cudrc.com.
- 16) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
- 17) All main water line taps are to be made by CUDRC.
- 18) Submit a completed CUDRC "Meter Application and Fixture Count Submittal Form" along with plumbing plans to subdivisions@cudrc.com. The form can be found at <http://www.cudrc.com/docs/METER-APPLICATION-FIXTURE-UNIT-FORM.aspx>
- 19) Owner(s) must submit a notary signed CUDRC Landscaping Agreement to CUDRC if landscaping is within a CUDRC Easement.
- 20) TDEC approved plans from CUDRC and a "Construction Start Notification" letter are to be issued to the contractor from CUDRC prior to the start of any water line construction.
- 21) Developer is required to submit a "Private Fire System Agreement" with the City of Murfreesboro to CUDRC for signature.
- 22) Remove the water meter size from the plans. CUDRC will size the meter(s) for this project.
- 23) Show fire department connection (FDC).
- 24) Fire hydrant must be located within 150 feet of FDC.
- 25) A 'Private Water Agreement' with CUD must be filed and recorded PRIOR to Permitting.
- 26) Fire access road widths must be no less than 20 feet and unobstructed and capable of withstanding fire apparatus weight. IFC 503.
- 27) Fire access roads must have an unobstructed vertical clearance of not less than 13 feet 6 inches. IFC 503.
- 28) An approved Knox StorzGuard FDC with a 30 degree elbow and locking cap sized 5" Storz x 4" NPT is required by MFRD.

- 29) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
- 30) An exterior electric horn/strobe (NOT a Water Motor Gong) is required above the FDC by MFRD.
- 31) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 32) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 33) Property is within the Overall Creek assessment district. Add this note to the plan.
- 34) Resubmit two sets of plans to MWSD for the review of the sewer.
- 35) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 36) Building permits are not to be issued until fees are paid and grease interceptor is approved.
- 37) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
- 38) All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
- 39) Submit calculations for grease interceptor sizing approval by MWSD. Minimum required size is 1000 gallons and must meet MWSD specifications.
- 40) The FOG applications must be completed and submitted to MWSD.
- 41) Add the Release & Covenant Not to Sue note to the plan.

Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- 42) MWSD must receive contract prior to approving the plans.
- 43) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 44) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
- 45) All dumpsters/dumpster pads connecting to the sanitary sewer must be covered and completely enclosed on all sides except for one that opens for hauling.
- 46) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 47) On-site private cleanouts must use the details found at the following link:
<http://www.murfreesborotn.gov/DocumentCenter/View/279>

- 48) Submit a copy of the final Site Lighting Plan to MWSD.
- 49) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 50) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 51) Delete note 4 on page C4.1.



UNIT COUNT/SQUARE FOOTAGE:

(29) MEMORY CARE UNITS (MC)	
(54) ASSISTED LIVING UNITS (AL)	
(03) INDEPENDENT LIVING UNITS (IL)	
IL ONE BR:	681 SF
IL LARGE ONE BR:	846 SF
IL TWO BR:	1,053 SF
IL LARGE TWO BR:	1,217 SF
AL STUDIO:	327 SF
AL ONE BR:	485 SF
AL LARGE ONE BR:	613 SF
AL TWO BR:	1,009 SF
MC STUDIO:	327 SF
MC COMP. SUITE:	448 SF

SITE DATA:

PROPERTY INFORMATION:

SUBDIVISION:	T.O.B.
STREET ADDRESS:	FORTRESS BOULEVARD
CIVIL DISTRICT:	7TH
TAX MAP PARCEL:	04400
LOT AREA:	9.70 AC. (422.712 S.F.)

OWNER/DEVELOPER: INVESTMENT PARTNERS, LLC
CIVIL ENGINEER: WES MAGILL, P.E.
 RAGAN-SMITH & ASSOCIATES, INC.
 313 WOODLAND STREET
 NASHVILLE, TN 37206
 (615) 244-8591
 WAGILL@RAGANSMITH.COM

ZONING INFORMATION:
 EXISTING ZONING CLASSIFICATION: PUD (PLANNED UNIT DEVELOPMENT)
 PROPOSED ZONING CLASSIFICATION: PUD (PLANNED UNIT DEVELOPMENT)
 BUILDING SETBACKS:
 FRONT: 15'
 SIDE: 15'
 REAR: 20'

PROPOSED USE: ASSISTED-CARE FACILITIES
 HOME FOR THE AGED CLASS I-III
 INDEPENDENT LIVING FACILITIES
 MEMORY CARE FACILITIES

PROPOSED BUILDING HEIGHT: 42' TO AVG. HEIGHT OF ROOF PITCH(3 STORY)
PROPOSED SQUARE FOOTAGE: 188,925
FAR PROPOSED: 44
DENSITY: 18.14 U/A
GROUND FLOOR AREA: 63,406 SF

PARKING:
 PARKING REQUIRED:
 INDEPENDENT LIVING (2 SP/3 BEDS): 76 SPACES
 ASSISTED LIVING (1 SP/3 BEDS): 33 SPACES
 TOTAL: 109 SPACES
 LOTSPACE PER MAX EMPLOYEE: 30 SPACES
 3.9 SPACES

PARKING PROVIDED: 162 SPACES
ACCESSIBLE PARKING PROVIDED: 9 SPACES
IMPERVIOUS AREA: 39.7%

SURVEY INFORMATION:
 BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOCIATES

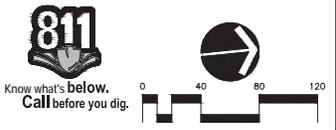
GEOTECHNICAL NOTE:
 1. A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS SITE BY EGS DATED OCTOBER 11, 2015. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE GEOTECHNICAL REPORT AND SHALL INCORPORATE ALL GEOTECHNICAL CONSIDERATIONS, RECOMMENDATIONS AND SPECIAL NOTES INTO THE CONSTRUCTION AND STABILIZATION OF THIS PROJECT.

FLOOD INFORMATION:
 FEMA MAP # 47149C0225H
 MAP REVISED DATE: JAN. 06, 2007
 BY SCALED MAP LOCATION AND GRAPHIC FLOODING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47149C0225H, WITH A REVISION DATE OF JANUARY 3, 2007, WHICH MAKES US A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 470168, PANEL NO. 0225, SHEET H, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PAVEMENT LEGEND

[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	LIGHT DUTY ASPHALT PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	CONCRETE WALK

- SIGNAGE NOTES**
- THE FOLLOWING STANDARD NOTE SHALL APPEAR ON ALL SITE PLANS: "ALL SIGNAGE, INCLUDING FLAGS AND FLAGPOLES, IS SUBJECT TO INDEPENDENT REVIEW BY THE BUILDING AND CODES DEPARTMENT. ALL SIGNAGE MUST CONFORM TO THEIR REQUIREMENTS AND REQUIRE SEPARATE SIGN PERMITS."
 - FOR ANY WORK PROPOSED IN THE PUBLIC RIGHT-OF-WAY, THE FOLLOWING NOTE SHOULD BE ADDED TO THE PLANS: "CONTRACTOR TO COORDINATE WITH THE TRAFFIC ENGINEER IN THE CITY TRANSPORTATION DEPARTMENT PRIOR TO COMMENCEMENT OF WORK IN THIS AREA TO AVOID DAMAGE TO TRAFFIC SIGNAL DEVICES."
 - THE FOLLOWING STANDARD NOTE SHALL APPEAR ON ALL SITE PLANS WITH FRONTAGE ALONG A STATE HIGHWAY: "A TDOT PERMIT MAY BE REQUIRED. EVIDENCE OF TDOT APPROVAL IS REQUIRED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS."



FOR

THE CROSSINGS AT VICTORY STATION

MURFREESBORO IL-AL INVESTORS, LLC

C1.1

SITE LAYOUT PLAN

REVISIONS

DATE	2/26/2016
SCALE	1"=40'
DRAWN	D/BERNARD
DESIGNED	W/MAGILL
CHK'D	W/MAGILL
DATE	01/31/16
NO.	0133
CHK'D	W/MAGILL
DATE	01/31/16
NO.	0133

LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 CHARTERED PROFESSIONAL ENGINEERS
 1000 W. WOODLAND STREET
 NASHVILLE, TN 37206
 (615) 244-8591
 WWW.RAGANSMITH.COM

THIS DOCUMENT IS THE PROPERTY OF RAGAN-SMITH & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RAGAN-SMITH & ASSOCIATES, INC.

DIMENSIONAL ASPHALT
COMPOSITION SHINGLE

FIBER CEMENT LAP
SIDING



ELEVATION A - EAST - AL ENTRY

MODULAR
BRICK

INSULATED VINYL
WINDOW

DIMENSIONAL ASPHALT
COMPOSITION SHINGLE

FIBER CEMENT LAP
SIDING

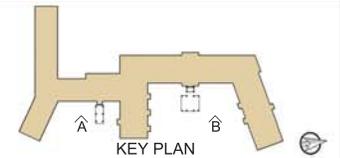


ELEVATION B - EAST - IL ENTRY

MODULAR BRICK

INSULATED VINYL
WINDOW

THE CROSSINGS AT VICTORY STATION
SENIOR LIVING COMMUNITY





DIMENSIONAL ASPHALT
COMPOSITION SHINGLE

FIBER CEMENT LAP
SIDING

ELEVATION C - WEST

MODULAR
BRICK

INSULATED VINYL
WINDOW



DIMENSIONAL ASPHALT
COMPOSITION SHINGLE

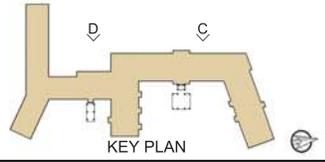
FIBER CEMENT LAP
SIDING

ELEVATION D - WEST

MODULAR BRICK

INSULATED VINYL
WINDOW

THE CROSSINGS AT VICTORY STATION
SENIOR LIVING COMMUNITY



KEY PLAN



DIMENSIONAL ASPHALT
COMPOSITION SHINGLE

FIBER CEMENT LAP
SIDING

ELEVATION E - SOUTH

MODULAR
BRICK

INSULATED VINYL
WINDOW



DIMENSIONAL ASPHALT
COMPOSITION SHINGLE

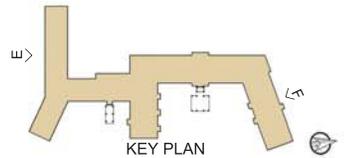
FIBER CEMENT LAP
SIDING

ELEVATION F - NORTH

MODULAR
BRICK

INSULATED VINYL
WINDOW

THE CROSSINGS AT VICTORY STATION
SENIOR LIVING COMMUNITY



MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

6.d. Dill Lane Townhomes [2016-3052] site plan for a 20 unit multi-family development on 1.64 acres zoned RM-12 located along Dill Lane, Randy Friedsam developer.

This is the site plan review for a new townhome development located along the west side of Dill Lane. This property was rezoned from RS-15 to RM-12 earlier in 2016. Staff recommends that any approval of this site plan be made subject to all staff comments.



Staff Comments:

- 1) Please revise planting details to specify shredded hardwood bark mulch.
- 2) Please revise the landscape plan to provide the required Type C buffer along the southern perimeter planting yard where the subject property abuts RS15. Is this a TVA easement? If so, label it as such on the landscape plan. The existence of the electrical easement does not elevate the responsibility to include the required buffer in this area.
- 3) Label the required Type A buffer adjacent to the Harrell and Steagall properties to the west and north, respectively.
- 4) Foundation plantings are required on the front and two sides of a building with a 3' planting bed. Please add the required plantings and bed space.
- 5) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.
- 6) Please revise the landscape plan to include the required plantings along the frontage of the site.
- 7) Please correct the adjacent property zoning classifications on the landscape plan.
- 8) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.
- 9) Please add a note and a typical diagram to the landscape plan that all service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Please identify what screening material will be used. Plant materials must meet or exceed the height of the structure that is to be screened.
- 10) Please add the required ANSI note on landscape plan.
- 11) Foundation plantings should consist of evergreen shrub materials. Liriope is not adequate for a foundation planting.
- 12) Show freestanding wall signs on Site Plan.
- 13) Any sign in easements must get easement holder & BZA approval.
- 14) Engineering point of contact for this project is Jay Bradley 615-893-6441 or jbradley@murfreesborotn.gov. Planning point of contact is Matthew Blomeley at (615)-893-6441 or mblomeley@murfreesborotn.gov.
- 15) This development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit
- 16) Submit drainage calculations.
- 17) Provide a detail for the outfall box.

- 18) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer
- 19) This development is required to comply with the City's Stormwater Quality requirements.
- 20) Prior to any permit, submit a Stormwater Management Plan that demonstrates compliance with the City's Stormwater Quality requirements
- 21) Prior to C of O, submit a Stormwater Management Record Sheet
- 22) Prior to C of O, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance
- 23) Prior to C of O, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement
- 24) Verify F.F.E elevation for 3 bedroom units
- 25) Harrell Court is misspelled. Label Harrell Court as private.
- 26) Provide property owner and zoning information for the Harrell property to the west. It is zoned CH.
- 27) The Stroop property and the Daily property to the west is zoned RM-12, not CH.
- 28) Label the roadway classification for Dill Lane.
- 29) Provide a photometric lighting plan and any other information necessary to demonstrate compliance with the lighting requirements in Section 18 of the Zoning Ordinance.
- 30) The site and utility plans should be on separate sheets.
- 31) The architectural elevations do not demonstrate compliance with minimum building orientation requirements. The developer should contact Matthew Blomeley of the Planning Department to discuss.
- 32) The parking calculations should say 1.1 space per bedroom (instead of 2.2).
- 33) If garages are to be counted toward minimum parking requirements, then they cannot be used for household storage, boat storage, RV storage, etc... and they can only be used for the parking of motor vehicles. A note committing to these restrictions should be included on the site plan.
- 34) Add sidewalk along the entire length of the southernmost row of parking spaces. This sidewalk should connect these parking spaces with the sidewalk in front of the back units.
- 35) Continue the mountable curb around the south side of the rear-entry garages at the center of the site.
- 36) Provide sidewalk in front of the units at the rear of the site. Continue the mountable curb in front of these units to better define the edge of the travel lane.
- 37) Label the TVA/electric easement.
- 38) Show and label HVAC units and provide required landscape screening.
- 39) Provide information on how solid waste will be managed. A private hauler is required to be used, per the Zoning Ordinance, since this development is greater than 15 units.

40) Will there be patios at the back of the units? If so, show and label them.

Standard Staff Comments:

- 1) This site plan is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, this property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or Freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.
- 8) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
Overhead – 40ft. 20ft either side of nearest power pole
Down Guys – 5ft x 30ft

Underground – 15ft x total underground trench length

- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) All fire hydrants must be located 4ft from nearest electric facility.
- 7) Show existing fire hydrant locations.
- 8) Additional fire hydrants will be required for this site.
- 9) Water lines servicing fire hydrants must be in place and operational prior to bringing combustibles on site.
- 10) Show turn radius template for fire department apparatus through site. IFC 503.
- 11) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 12) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 13) Resubmit two sets of plans to MWSD for the review of the water and sewer.
- 14) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 15) MWSD must receive contract, offsite easement, and surety prior to approving the plans.
- 16) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 17) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
- 18) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 19) On-site private cleanouts must use the details found at the following link:
<http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 20) Submit a copy of the final Site Lighting Plan to MWSD.
- 21) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 22) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 23) Show services to all units.



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



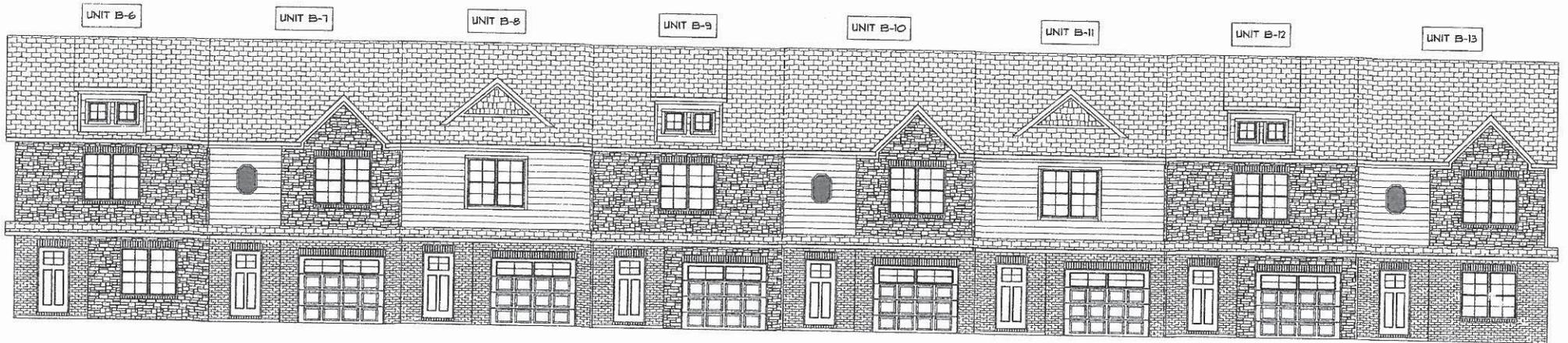
REAR ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

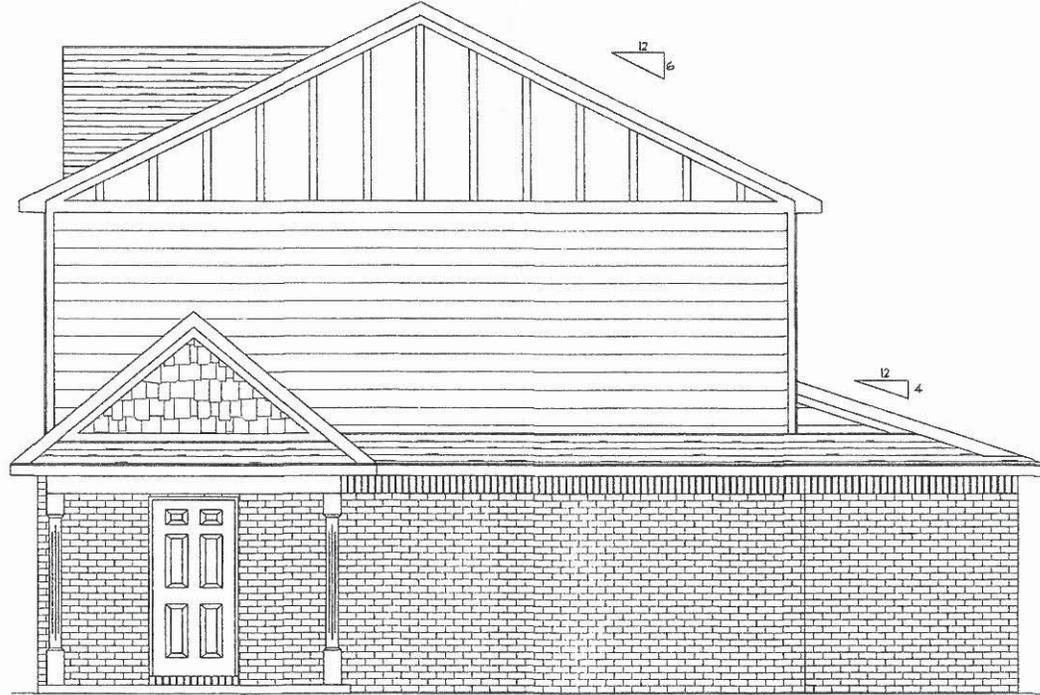
23

UNIT C-19
1145 SQ. FT.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION (DILL ST. SIDE)

SCALE: 1/4" = 1'-0"

Handwritten notes:
Dill St. side
16'-0"
12'-0"

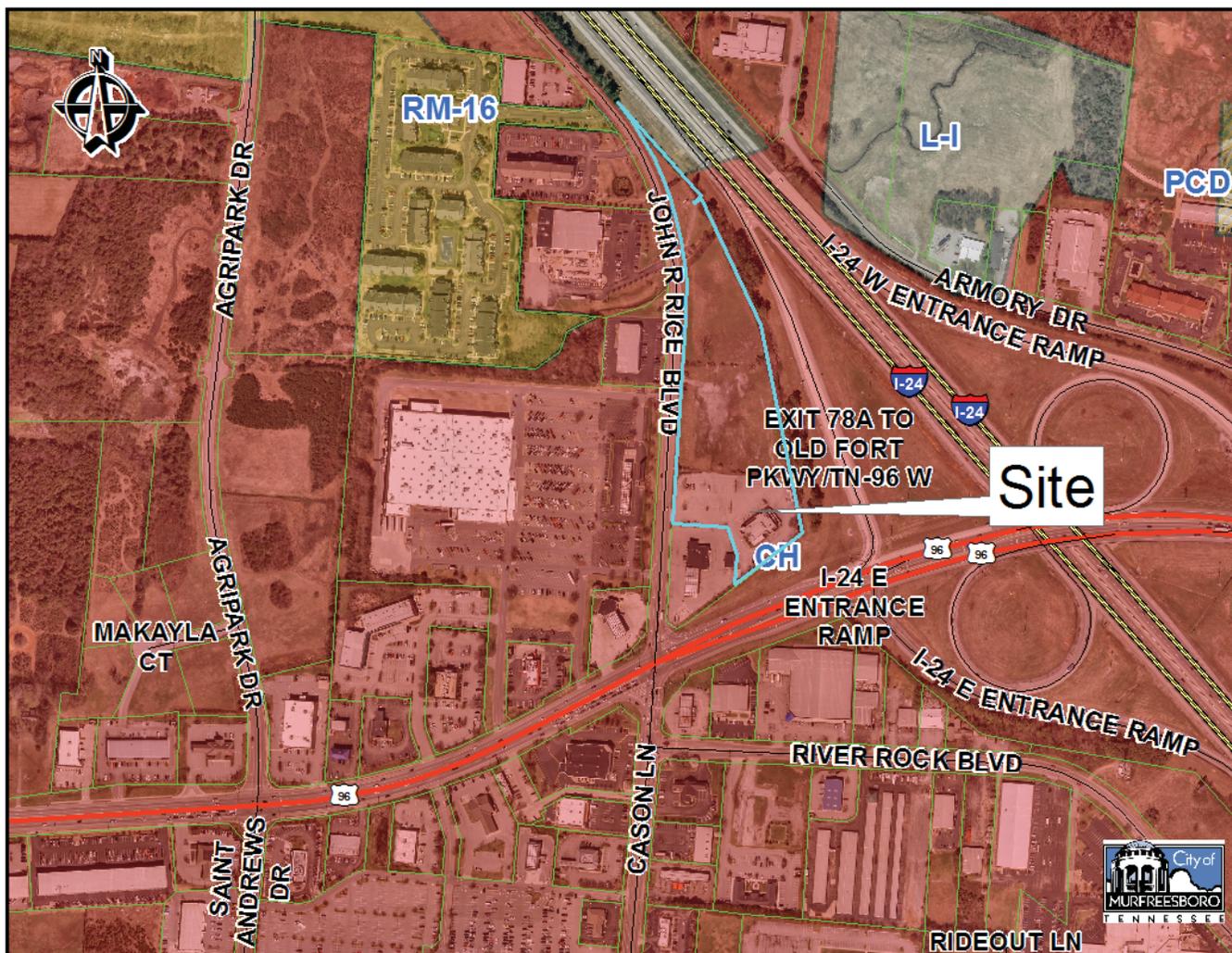
MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

- 6.e. Texas Roadhouse [2016-3055] site plan for 7,163 ft² restaurant on 2.3 acres zoned CH located at 116 John R Rice Boulevard, New Mountain, LLC developer.

This is the site plan review for a new restaurant located on the same property as the former's Corky's BBQ restaurant. The developer intends to demolish the existing restaurant building as well as the parking lot and construct a brand new building and parking lot. Staff recommends that any approval of this site plan be made subject to all staff comments.



Staff Comments:

- 1) Please add the required tree planting detail on landscape plan.
- 2) Please add the required shrub planting detail on landscape plan.
- 3) Please add the required mulch detail on landscape plan.
- 4) Please add the required ANSI note on landscape plan.
- 5) Please submit an irrigation plan for staff review. All properties 1.5 acres or greater are required to install an automated irrigation system.
- 6) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.
- 7) Please add a note and a typical diagram to the landscape plan that all service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Please identify what screening material will be used. Plant materials must meet or exceed the height of the structure that is to be screened.
- 8) All parking rows are required to be originated and terminated with a landscape island and a shade tree.
- 9) Please revise landscape plan to provide required shade trees in all landscape parking islands.
- 10) Please revise the plant materials schedule on the landscape plan to utilize the City of Murfreesboro Standard Tree Specifications. Specifications can be found at <http://www.murfreesborotn.gov/index.aspx?NID=276>
- 11) Staff suggests selecting another tree in place of the proposed red maples in parking lot islands due to the trees lack of tolerance of reflective heat from the pavement (sun scald).
- 12) Please revise the landscape plan to provide the minimum required separation between canopy trees and all utility lines.
- 13) Please provide the required trees along the side planting yard to the southwest.
- 14) Please submit a copy of the approved and recorded shared planting yard agreement prior to permits. If a shared planting yard agreement is not able to be obtained, then the width of the planting yard on the Texas Roadhouse property must be increased to 8'.
- 15) Please provide the required evergreen screening around the dumpster enclosure.
- 16) Show ground signs on Site/utility and Landscaping Plans.
- 17) Any sign in easements must get easement holder & BZA approval.
- 18) Engineering point of contact for this project is Jay Bradley 615-893-6441 or jbradley@murfreesborotn.gov. Planning point of contact is Matthew Blomeley at (615)-893-6441 or mblomeley@murfreesborotn.gov.
- 19) This development will require a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to

construction progressing. This development will require a State of Tennessee Construction General Permit

- 20) Submit drainage calculations.
- 21) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer
- 22) This development is NOT required to comply with the City's Stormwater Quality requirements.
- 23) The correct roadway classification is commercial collector (not community collector).
- 24) Show any driveway locations across John R Rice Boulevard.
- 25) Has the new owner of the Shell station lot consented to the closing of the back access drive? Provide documentation.
- 26) Provide a solid waste enclosure detail. Enclosure should be a minimum of 8' tall.
- 27) Provide a sidewalk connection from the proposed public sidewalk into the site.
- 28) Increase the throat distance at the two entrances at John R Rice Boulevard.
- 29) It is not desirable to create a frontage road at the very front of the site going from the Shell station lot to the proposed lot the north of the Texas Roadhouse. This will likely conflict with the traffic waiting to turn from the site onto John R Rice Boulevard. Revise the plan to make the interconnectivity between these lots more circuitous.
- 30) Continue the curb on the north side of the northernmost entrance for the entire length of the turn lane.
- 31) Provide required evergreen screening around three sides of the Dumpster enclosure.
- 32) Provide the height of the light fixtures. Maximum height is 20' from grade.
- 33) Demonstrate compliance with the requirement that light shall not be distributed beyond an angle of thirty-five degrees from a vertical plan onto surrounding properties.
- 34) Demonstrate compliance with the requirements that attached building or wall pack lighting shall be screened by the building's architectural features or contain a 35-degree cutoff shield.
- 35) Revise the south building elevation to better address Old Fort Parkway as a front. Staff recommends adding a faux entrance or a gable but is open to other creative solutions from the design team.

Standard Staff Comments:

- 1) This site plan is not affected by the City's Major Thoroughfare.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.

- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.
- 8) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
Overhead – 40ft. 20ft either side of nearest power pole
Down Guys – 5ft x 30ft
Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.

- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) An approved Knox StorzGuard FDC with a 30 degree elbow and locking cap sized 5" Storz x 4" NPT is required by MFRD.
- 12) An approved Knox 3200 Series surface or recess mounted locking box is required near the riser room access door by MFRD.
- 13) An exterior electric horn/strobe (NOT a Water Motor Gong) is required above the FDC by MFRD.
- 14) Water and/or sewer main construction drawings and hydraulics must be submitted to MWSD for detailed review and approval separate from planning commission review.
- 15) Owner, for budget purposes, should check with MWSD for connection fees, which may be substantial.
- 16) Resubmit two sets of plans to MWSD for the review of the sewer.
- 17) Building permits are not to be issued until water and sewer construction plans are approved by MWSD.
- 18) Building permits are not to be issued until grease interceptor is approved.
- 19) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
- 20) All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
- 21) Submit calculations for grease interceptor sizing approval by MWSD. Minimum required size is 1000 gallons and must meet MWSD specifications.
- 22) The FOG applications must be completed and submitted to MWSD.
- 23) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 24) The owner/developer must sign a Sign within a City Easement Agreement with MWSD.
- 25) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.

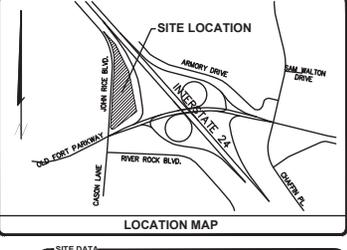
- 26) All dumpsters/dumpster pads connecting to the sanitary sewer must be covered and completely enclosed on all sides except for one that opens for hauling.
- 27) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 28) Submit construction details of the signage to MWSD regarding its proximity to the water/sewer main(s).
- 29) On-site private cleanouts must use the details found at the following link:
<http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 30) Submit a copy of the final Site Lighting Plan to MWSD.
- 31) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 32) Submit a copy of the final Grading & Drainage Plan to MWSD.

CITY OF MURFREESBORO STANDARD NOTES:

- IN ACCORDANCE WITH TCA SECTION 7-69-310(B)(1), COMPETITIVE CABLE AND VIDEO SERVICES ACT, IN CASES OF NEW CONSTRUCTION OR PROPERTY DEVELOPMENT WHERE UTILITIES ARE TO BE PLACED UNDERGROUND, THE DEVELOPER OR PROPERTY OWNER SHALL GIVE ALL PROVIDERS OF CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDERS' INSTALLATION OF CONDUIT, PEDISTALS OR WALLS, AND LATERALS, REFERRED TO AS "EQUIPMENT," TO BE PROVIDED AT EACH SUCH PROVIDERS' EXPENSE.
- ALL SIGNAGE, INCLUDING FLAGS AND FLAGPOLES, IS SUBJECT TO INDEPENDENT REVIEW BY THE BUILDING AND CODES DEPARTMENT. ALL SIGNAGE MUST CONFORM TO THEIR REQUIREMENTS AND REQUIRE SEPARATE SIGN PERMITS.
- A LAND DISTURBANCE PERMIT MAY BE REQUIRED. DETERMINATION WHETHER A LAND DISTURBANCE PERMIT IS REQUIRED SHALL BE MADE BY THE CITY ENGINEER. A SEPARATE LAND DISTURBANCE PERMIT APPLICATION SHALL BE MADE WITH THE OFFICE OF THE CITY ENGINEER FOR REVIEW AND UPON APPROVAL FOR ISSUANCE OF A LAND DISTURBANCE PERMIT.
- FOR ALL DEVELOPMENTS OF MORE THAN ONE ACRE, A STATE OF TENNESSEE CONSTRUCTION GENERAL PERMIT IS REQUIRED. EVIDENCE OF THIS PERMIT MUST BE PROVIDED TO THE OFFICE OF THE CITY ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT.
- CONTRACTOR CONTRACTOR TO COORDINATE WITH THE TRAFFIC ENGINEER IN THE CITY TRANSPORTATION DEPARTMENT PRIOR TO COMMENCEMENT OF WORK IN THIS AREA TO AVOID DAMAGE TO TRAFFIC SIGNAL DEVICES.
- A TDOT PERMIT MAY BE REQUIRED. EVIDENCE OF TDOT APPROVAL IS REQUIRED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
- A STORMWATER MANAGEMENT PLAN DEMONSTRATING THAT THE SITE PROVIDES FOR TREATMENT OF THE WATER QUALITY VOLUME AND PROVIDES FOR MANAGEMENT OF THE STREAMBANK PROTECTION VOLUME MUST BE PROVIDED.
- AN ENGINEERS CERTIFICATION OF THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES MUST BE PROVIDED TO THE CITY ENGINEER PRIOR TO ISSUANCE CERTIFICATE OF OCCUPANCY.
- A STORMWATER FEE CREDIT APPLICATION MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- A STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN AND A STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- THE STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	18" CONCRETE CURB & GUTTER
---	---	NUMBER OF PARKING SPACES PER ROW
---	---	SIGN
---	---	CONCRETE SIDEWALK
---	---	BLACK COLORED CONCRETE
---	---	STANDARD DUTY ASPHALT
---	---	HEAVY DUTY ASPHALT
---	---	HEAVY DUTY CONCRETE



REVISIONS	COMMENT
ISSUED	



CSS

402 East First Avenue
Eads, TN 37640
(615) 854-5200
www.css-eng.com

CURVE TABLE

CURVE	DELTA	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C2	118°43'29"	39.37	80.21	67.04	S68°47'37"E

SITE DATA:

SITE ADDRESS: 116 JOHN R RICE BOULEVARD
MURFREESBORO, TN 37129

CITY OF MURFREESBORO PARCEL #: 052-051-00-000

RUTHERFORD COUNTY MAP/GROUP/PARCEL #: 052/N/31

FEMA FIRM MAP #: 47149C0259H

TOTAL LOT SIZE: 7.48 AC

PROPOSED LOT SIZE (TEXAS ROADHOUSE): 2.27 AC

EXISTING IMPERVIOUS AREA: 2.11 AC (83%)

PROPOSED IMPERVIOUS AREA: 1.91 AC (84%)

ZONING: CH (HIGHWAY COMMERCIAL DISTRICT)

PROPOSED USE OF PROPERTY: RESTAURANT (7,163 SF)

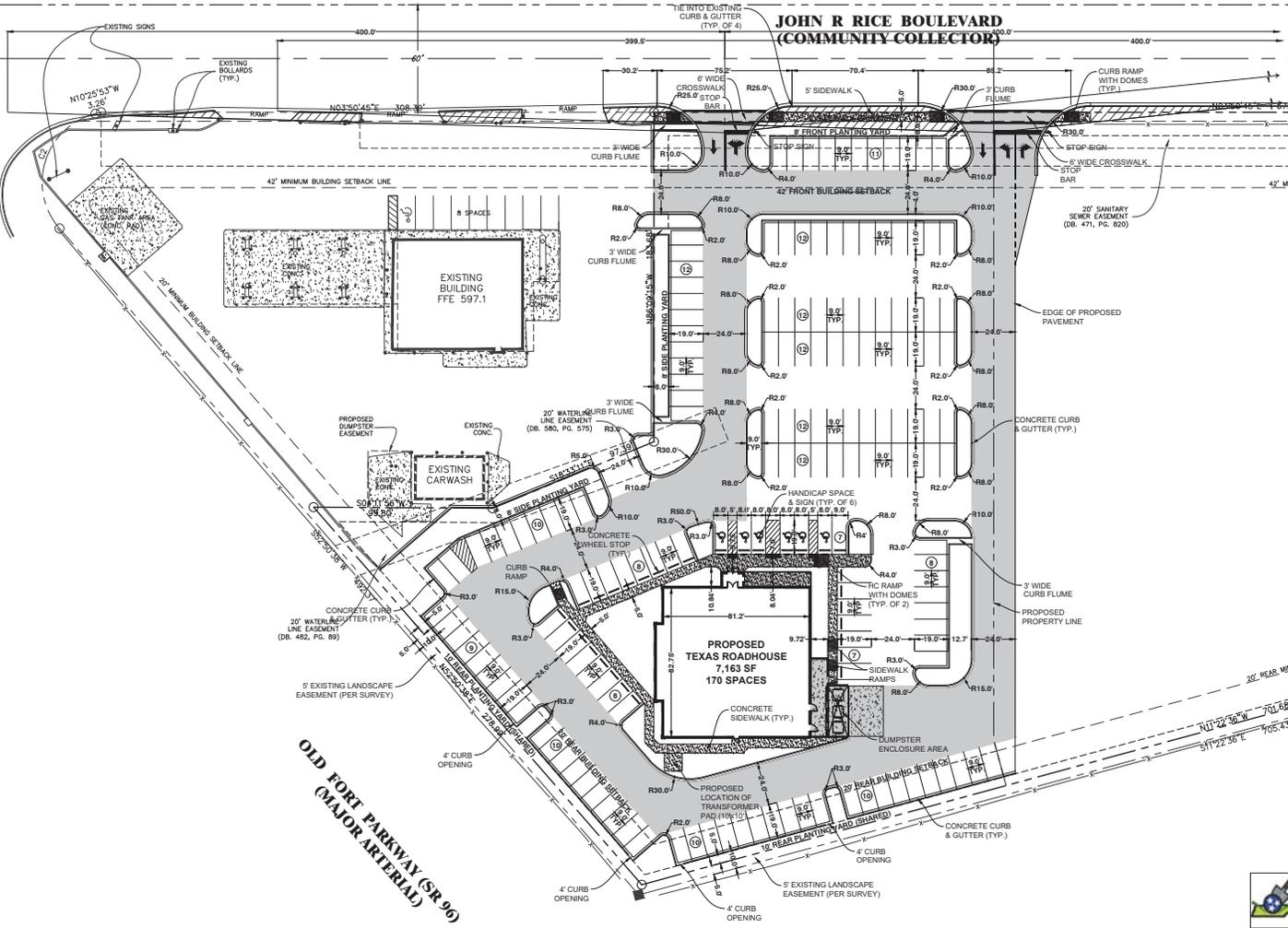
MAXIMUM BUILDING HEIGHT: 7'

BUILDING SETBACKS: FRONT-42'
SIDE-0'
REAR-20'

LANDSCAPE REQUIREMENTS:
8' WIDE PERIMETER PLANTING YARD (10' WIDE IF SHARED WITH ADJACENT PROPERTY)

PARKING REQUIRED: 1 SPACE / 2 SEATS (201 CAPACITY) = 146 SPACES

PARKING PROPOSED: 170 SPACES (INCLUDES 6 HC SPACES)



- GENERAL SITE NOTES:**
- ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO THE FACE OF CURB, FACE OF BUILDING (BLOCK), OR CENTERLINE OF PARKING BAY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL ENTRY/EXIT PORCHES AND PRECISE BUILDING DIMENSIONS.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER SITE DETAILS.
 - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL. APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SYMBOL (PAINTED ON THE ASPHALT) AND A HANDICAP SIGN. SPACES ADJACENT TO THE 8' STRIPED AISLE ARE TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE.
 - UNLESS OTHERWISE NOTED, ALL ON-SITE CURB SHALL BE 18" CURB AS SHOWN ON THE DETAIL SHEET.
 - STOP SIGNS SHALL MEET THE CRITERIA OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON THE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.

PREPARED FOR:

NEW MOUNTAIN, LLC

352 GEORGIA AVE.
NEW MOUNTAIN, TN 37130
CONTACT: TILM MORGAN
PH: 628-421-3616

SITE PLAN

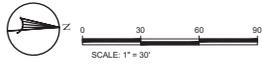
TEXAS ROADHOUSE

116 JOHN R RICE BLVD
MURFREESBORO, TN

Date: 2-24-18
Drawn: TFL
Checked: GDH

C-4.1

Sheet



MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

6.f. Waffle House [2016-3061] site plan for 1,875 ft² restaurant on 0.57 acres zoned PUD located along Lascassas Pike, Waffle House developer.

This is the site plan review for a new restaurant located along the east side of Lascassas Pike north of East Northfield Boulevard. Under normal circumstances, this site plan would qualify for administrative review, based on its size. However, it is located in the Emerald Place PUD, and all site plans in the Emerald Place PUD are required to be approved by the Planning Commission. Staff recommends that any approval of this site plan be made subject to all staff comments.



Staff Comments:

- 1) Please provide the required frontage trees along Lascassas Pike.
- 2) Please provide the dimension of the perimeter planting yard along the southwestern side of the property at its most narrow point.
- 3) Foundation plantings are required on the front and two sides of a building with a 3' planting bed. Please add the required plantings and bed space.
- 4) Please demonstrate on the landscape plan how the site will be irrigated.
- 5) Please locate and identify mechanical equipment, trash containers, dumpster, loading/storage areas, and any other above ground structures on landscape plans and screen with required evergreen plant material.
- 6) Please revise the plant materials schedule on the landscape plan to utilize the City of Murfreesboro Standard Tree Specifications. Specifications can be found at <http://www.murfreesborotn.gov/index.aspx?NID=276>
- 7) Show freestanding wall sign on Site/utility and Landscaping Plans.
- 8) Any sign in easements must get easement holder & BZA approval.
- 9) Engineering point of contact for this project is Jay Bradley 615-893-6441 or jbradley@murfreesborotn.gov. Planning point of contact is Matthew Blomeley at (615)-893-6441 or mblomeley@murfreesborotn.gov.
- 10) This development is required to comply with stormwater quality requirements due to being part of a larger plan of development.
- 11) Provide a detail for the pervious concrete showing the depth of all materials used.
- 12) A Land Disturbance Permit will be required. A separate Land Disturbance Permit application shall be made with the City Engineer's office for review and approval prior to a building permit.
- 13) This site is not required to comply with stormwater quality requirements since the site is less than an acre however the site would be eligible for a reduced stormwater fee with the use of low impact design elements.
- 14) The setbacks listed in the setback table correspond with the setbacks on the original subdivision plat. However, it does not appear that any setbacks were specified for this portion of the PUD. These lots will default to the CH setbacks. Correct the setback table, the typical setback diagram, and the MBSLs accordingly. Also include the side setback footnote for the CH zone.
- 15) Revise the lot numbers per the comments for the final plat.
- 16) Provide a sidewalk along the main shared drive and connectivity from this sidewalk to the internal sidewalk network on the Waffle House site.
- 17) The location map incorrectly depicts the location of the subject property.
- 18) Show and label the location of the HVAC equipment and provide required landscape screening around this equipment.

- 19) Provide a photometric lighting plan and any other information needed to demonstrate compliance with the lighting standards contained in Section 18 of the Zoning Ordinance.
- 20) The architectural rendering demonstrates a general intent regarding the building architecture and materials but does not provide sufficient detail. Provide architectural elevations for all four sides of the building.
- 21) Provide separate site and utility plan sheets.
- 22) Label the locations of the doors on the building.
- 23) Provide sidewalk in front of all of the parking spaces that are adjacent to the building.
- 24) The FEMA FIRM note indicates that the property is located in Zone X. However, a review of the City GIS maps indicates that a significant amount of the property is located in the floodplain. Please review the FEMA FIRM maps and revise the FIRM note on the plans as needed.
- 25) Show and label the floodplain boundary on the plans.

Standard Staff Comments:

- 1) This site plan is affected by the City's Major Thoroughfare Plan, as East Main Street is planned to be improved to a 3-lane cross-section.
- 2) Per the engineer's certification on this plan, the property lies in Zone X, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro. However, according to City GIS, the subject property is partially located within Zone AE.
- 3) The Planning Commission does not approve signage; a separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Amelia Kerr in the Building and Codes Department.
- 4) For proposed flagpole(s), the flagpole(s) must be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for flagpole(s) are established in the Sign Ordinance.
- 5) Any Ground sign or freestanding wall sign (monument style) within a public utility or drainage easement must receive permission from the easement holder for the sign location and BZA approval for a Variance for a sign within a Public Utility or Drainage Easement.
- 6) All site and building signage must be permitted and installed prior to Certificate of Occupancy. Proposed site signage to be installed shall be shown on Utility and Site plans. Proposed building signage shall be shown on elevation drawings.
- 7) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.
- 8) Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining

on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.

Water and Sewer; Fire & Rescue, Building & Codes, & MED Staff Comments:

- 1) Proposed Electric has not been approved by MED. Preliminary construction plans must be submitted to MED in digital AutoCAD and pdf format for the Electric design. Please email to jnguyen@medtn.com.
- 2) Show existing Electric.
- 3) Show approved MED conduit design and approved MED transformer pad location.
- 4) Provide an Electric easement for Electric not in public right of way (ROW)
Overhead – 40ft. 20ft either side of nearest power pole
Down Guys – 5ft x 30ft
Underground – 15ft x total underground trench length
- 5) Proposed transformers must maintain a minimum of 25ft separation from building doors and windows. Proposed transformers must have a 5ft clearance on the back and sides and a 12ft clearance in the front from any other structure. No landscaping is permitted within 5ft from the front of the transformer.
- 6) Show proposed meter base location. Provide MED with electric one-line diagram and panel schedules for metering requirements prior to construction. An external disconnect may be required.
- 7) All fire hydrants must be located 4ft from nearest electric facility.
- 8) Submit a copy of the final Photometric plan to MED. Proposed light poles must be located 10ft horizontally from all electric lines.
- 9) Submit a copy of the final Landscaping/Planting plan to MED. All canopy trees must be located 15ft horizontally from all overhead electric lines and 5ft horizontally from all underground electric lines.
- 10) Submit construction details of the Signage to MED regarding its proximity to electric lines. Signage must be located 10ft horizontally from all electric lines.
- 11) Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
- 12) A CUDRC Developer's Packet; which includes an overview of the construction process and required submittals, can be found online at cudrc.com.
- 13) A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study.
- 14) The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial. A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to subdivisions@cudrc.com.
- 15) Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to subdivisions@cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.

- 16) All main water line taps are to be made by CUDRC.
- 17) Submit a completed CUDRC "Meter Application and Fixture Count Submittal Form" along with plumbing plans to subdivisions@ cudrc.com. The form can be found at <http://www.cudrc.com/docs/METER-APPLICATION-FIXTURE-UNIT-FORM.aspx>
- 18) All backflow preventers are to be located outside and in an aboveground hotbox.
- 19) Owner(s) must submit a notary signed CUDRC Landscaping Agreement to CUDRC if landscaping is within a CUDRC Easement.
- 20) Show proposed location of meter(s) and backflow(s) on plans.
- 21) Building permits are not to be issued until fees are paid and grease interceptor is approved.
- 22) Any future tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
- 23) All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
- 24) Submit calculations for grease interceptor sizing approval by MWSD. Minimum required size is 1000 gallons and must meet MWSD specifications.
- 25) The FOG applications must be completed and submitted to MWSD.
- 26) The owner/developer must sign a Landscaping within a City Easement Agreement with MWSD.
- 27) The owner/developer must sign a Sign within a City Easement Agreement with MWSD.
- 28) The maximum allowed sewer service line length to serve each individual building must be less than or equal to a total of 150 feet.
- 29) All canopy trees must be located 10' minimum from all public water/sewer main(s).
- 30) Submit construction details of the signage to MWSD regarding its proximity to the water/sewer main(s).
- 31) On-site private cleanouts must use the details found at the following link: <http://www.murfreesborotn.gov/DocumentCenter/View/279>
- 32) Submit a copy of the final Site Lighting Plan to MWSD.
- 33) Submit a copy of the final Landscaping/Planting Plan to MWSD.
- 34) Submit a copy of the final Grading & Drainage Plan to MWSD.
- 35) A maximum of 2 – 6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2 – 6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
- 36) All new sanitary sewer taps, connections, and manhole adjustments are to be per MWSD specifications and be made under MWSD supervision by a MU licensed utility contractor.

LEGEND

- ⊕ Power Pole
- ⊕ Corner Pole
- ⊕ Power Pole with Light
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- ⊕ Situation Fence Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas)
- ⊕ Rip-Rap (6" min. dia., 1" thick per DOT Specifications Item No. 709-05)
- Existing Telephone & Electric Line
- Existing Underground Electric Line
- ⊕ Turf Reinforcement Matting
- ⊕ Proposed Wall Mount Light
- ⊕ Proposed Double Light Pole
- ⊕ Proposed Single Light Pole
- ⊕ Proposed Gas Meter Location
- ⊕ Proposed Underground Electric Service Location

STANDARD NOTES

1. IN ACCORDANCE WITH TCA SECTION 7-59-310(5)(1), COMPETITIVE CABLE AND VIDEO SERVICES ACT, IN CASES OF NEW CONSTRUCTION OF PROPERTY DEVELOPMENT WHERE UTILITIES ARE TO BE PLACED UNDERGROUND, THE DEVELOPER OR PROPERTY OWNER SHALL OBTAIN ALL PROVIDERS OF CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDERS' INSTALLATION OF CONDUIT, PEDESTALS OR VAULTS, AND MATERIALS, REFERRED TO AS "EQUIPMENT", TO BE PROVIDED AT EACH SUCH PROVIDER'S EXPENSE.

2. ALL SIGNAGE, INCLUDING FLAGS AND FLAGPOLES, IS SUBJECT TO INDEPENDENT REVIEW BY THE BUILDING AND CODES DEPARTMENT. ALL SIGNAGE MUST CONFORM TO THEIR REQUIREMENTS AND REQUIRE SEPARATE SIGN PERMITS.

3. A LAND DISTURBANCE PERMIT MAY BE REQUIRED. DETERMINATION WHETHER A LAND DISTURBANCE PERMIT IS REQUIRED SHALL BE MADE BY THE OFFICE OF THE CITY ENGINEER FOR REVIEW AND UPON APPROVAL FOR ISSUANCE OF A LAND DISTURBANCE PERMIT.

4. FOR ALL DEVELOPMENTS OF MORE THAN ONE ACRE, A STATE OF TENNESSEE CONSTRUCTION GENERAL PERMIT IS REQUIRED. EVIDENCE OF THIS PERMIT MUST BE PROVIDED TO THE OFFICE OF THE CITY ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT.

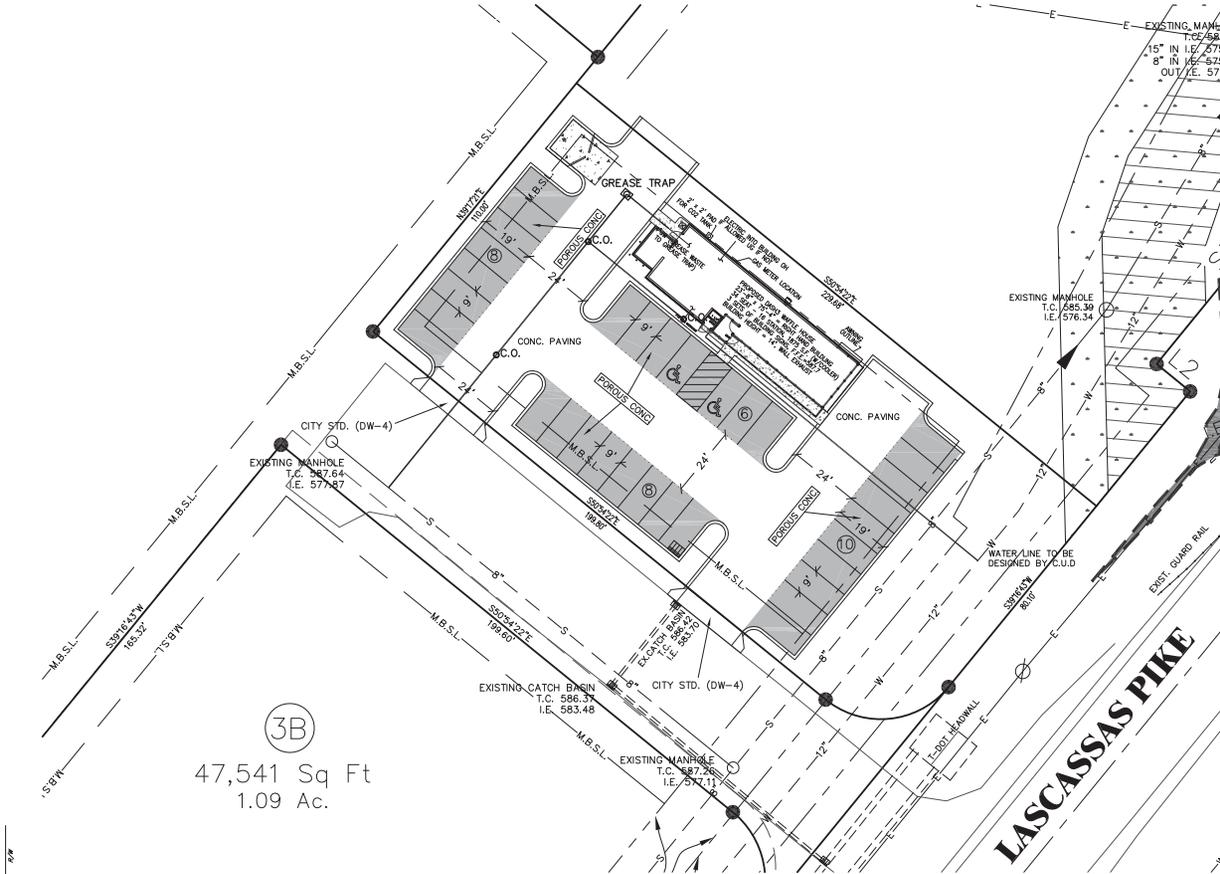
5. CONTRACTOR TO COORDINATE WITH THE TRAFFIC ENGINEER IN THE CITY TRANSPORTATION DEPARTMENT PRIOR TO COMMENCEMENT OF WORK IN THIS AREA TO AVOID DAMAGE TO TRAFFIC SIGNAL DEVICES.

6. A TPO PERMIT MAY BE REQUIRED. EVIDENCE OF TPO APPROVAL IS REQUIRED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.

SITE DATA

LOT SIZE: 25,074 Sq Ft = 0.572 Acres
 PROPOSED BUILDING SIZE: 1,875 Sq Ft
 PROPOSED USE: Restaurant (34 Seats)
 PARKING REQUIRED: 1,875 Sq Ft/100=19 or 34 Seats/2=17
 PARKING PROVIDED: 32 Spaces plus 2 Handicap

OPEN SPACE RATIO: OPEN SPACE / FLOOR AREA = 27,813 Sq Ft / 1,729 Sq Ft = 16.08
 FLOOR AREA RATIO: FLOOR AREA / GROSS LAND AREA = 1,729 Sq Ft / 29,542 Sq Ft = 5.85%



3B
 47,541 Sq Ft
 1.09 Ac.

1. IN TENNESSEE, IT IS A REQUIREMENT FOR THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS AT LEAST 14 DAYS BEFORE ANY EXCAVATION. THE CITY OF MURFREESBORO HAS A CITY-OWNED UTILITY SYSTEM. THE CITY ENGINEER SHALL BE NOTIFIED BY CALLING TOLL FREE 1-800-201-1171.
2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE RECORD DRAWINGS AND FIELD SURVEY. THE CITY ENGINEER SHALL BE NOTIFIED BY CALLING TOLL FREE 1-800-201-1171.
3. UTILITIES MAY BE SUBJECT TO ADDITIONAL EXCAVATION AND/OR RESTRICTIONS, BY RECORD OF PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
4. THE UNDERGROUND UTILITY OWNERS SHALL BE NOTIFIED BY THE CITY ENGINEER PRIOR TO THE COMMENCEMENT OF EXCAVATION. THE CITY ENGINEER SHALL BE NOTIFIED BY CALLING TOLL FREE 1-800-201-1171.
5. CONTRACTOR FOR SEWER WORK MUST BE APPROVED BY THE MURFREESBORO WATER AND SEWER DEPARTMENT.
6. EVIDENCE OF A LAND DISTURBANCE PERMIT, WHICH INCLUDES AN EROSION PREVENTION PLAN, MUST BE PROVIDED TO THE CITY'S ENVIRONMENTAL ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT. AN EROSION PREVENTION PLAN SHALL BE PROVIDED TO THE CITY'S ENVIRONMENTAL ENGINEER PRIOR TO ANY PERMIT ISSUANCE.
7. PROPOSED LOT LAYOUT TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY'S ENVIRONMENTAL ENGINEER PRIOR TO ANY PERMIT ISSUANCE.
8. NO STORAGE IS APPROVED WITH THIS SITE PLAN.
9. UPON COMPLETION OF THE LANDSCAPE INSTALLATION, A THREE (3) YEAR LANDSCAPE MAINTENANCE BOND WILL BE REQUIRED. THE BOND SHOULD BE OBTAINED BY THE NAME OF THE PROPERTY OWNER OF A LEASE HOLDER AND SHALL BE IN FULL PAYMENT OF THE BOND PRIOR TO THE COMMENCEMENT OF OCCUPANCY. THE BOND SHOULD BE OBTAINED BY THE NAME OF THE PROPERTY OWNER OF A LEASE HOLDER AND SHALL BE IN FULL PAYMENT OF THE BOND PRIOR TO THE COMMENCEMENT OF OCCUPANCY.
10. THE APPLICANT WISHES TO RETAIN ANY FLAGPOLES, THEY MUST BE SHOWN ON THE SITE PLAN WITH THE HEIGHT, DIMENSIONS, AND SIZE OF FLAG CLEARLY LABELED. ADDITIONAL, A SEPARATE PERMIT FOR FLAGPOLES IS REQUIRED THROUGH THE BUILDING AND CODES DEPARTMENT.
11. PARKING LOT STRIPES MUST BE WHITE AND IN ACCORDANCE WITH MUTCD.
12. CONTACT DANNY LOSE WITH THE STREET DEPARTMENT.
13. CONTACT FOR SIGN APPROVALS, SHOULD CHECK WITH THE MURFREESBORO WATER AND SEWER DEPARTMENT FOR CONVICTION FEES, WHICH MAY BE SUBSTANTIAL.
14. ALL LIGHT FIXTURES FOR NON-RESIDENTIAL DEVELOPMENTS WITH STRUCTURES WITH HEIGHT EXCEEDING THE LIGHTING FIXTURES SHALL NOT BE USED FOR POLES OF SIXTEEN FEET OR OVER. WHITE LIGHT IS REQUIRED.
15. A COMPLETE LIGHTING PLAN AND SCHEDULE IS REQUIRED TO BE SUBMITTED TO THE PLANNING DEPARTMENT AT THE TIME OF THE BUILDING PERMIT APPLICATION.
16. FOR THE CITY OF MURFREESBORO, CONSTRUCTION PLANS FOR IMPROVEMENTS TO THE ROW MUST BE APPROVED BY THE CITY ENGINEER.
17. FOR THE CITY OF MURFREESBORO, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF MURFREESBORO TO AVOID DAMAGE TO TRAFFIC SIGNAL DEVICES.
18. FOR THE CITY OF MURFREESBORO, A COPY OF THE RECORDED JOINT LANDSCAPE AGREEMENT MUST BE PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
19. FOR THE CITY OF MURFREESBORO, PRIOR TO A BUILDING PERMIT, PROVIDE A STORMWATER MANAGEMENT RECORD SHEET TO THE CITY ENGINEER.
20. FOR THE CITY OF MURFREESBORO, PRIOR TO A BUILDING PERMIT, PROVIDE A STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN TO THE ENGINEERING DEPARTMENT AND APPROVED PRIOR TO CONSTRUCTION.
21. FOR THE CITY OF MURFREESBORO, PRIOR TO THE ISSUANCE OF BUILDING PERMITS, THE DEVELOPER WILL NEED TO PROVIDE PLANNING STAFF WITH EVIDENCE THAT THE PLAN APPROVES THE PLAN (SITE GRADING, STORMWATER, LANDSCAPING).
22. FOR THE CITY OF MURFREESBORO, THE DEVELOPER WILL NEED TO PROVIDE A SURVEYOR'S CERTIFICATE OF OCCUPANCY TO THE CITY ENGINEER.
23. FOR THE CITY OF MURFREESBORO, PRIOR TO A BUILDING PERMIT, PROVIDE A STORMWATER MANAGEMENT RECORD SHEET TO THE CITY ENGINEER.
24. FOR THE CITY OF MURFREESBORO, PRIOR TO A CERTIFICATE OF OCCUPANCY, SUBMIT AN INDUSTRY CERTIFICATION OF STORMWATER QUALITY CONTROLS.
25. FOR THE CITY OF MURFREESBORO, PRIOR TO A CERTIFICATE OF OCCUPANCY, SUBMIT A RECORD OF OCCUPANCY, STORMWATER FACILITIES OPERATION AND MAINTENANCE AGREEMENT.
26. SEWERLINES AND THEIR CONNECTION TO EXISTING FACILITIES MUST BE ADA COMPLIANT.

- Murfreesboro Water and Sewer Notes:**
1. Complete specifications for the water line, "Water Line Specifications and Drawing" March, 2015 Ed. are on file at the Murfreesboro Water & Sewer Department Engineering Area and can also be found online at <http://www.murfreesboro.gov/index.cfm?id=286>.
 2. Water construction must be in accordance with all MWD specifications and drawings.
 3. Concerning water line construction, restraints such as rods or kickers shall be installed if any change in direction where fittings are required, at all dead-ends, and at any location as directed by the Water & Sewer Department.
 4. Contractor must have a State of Tennessee license, Municipal Utility (MU) designation, to perform work.
 5. All main the water taps will be made by the Murfreesboro Water & Sewer Department.
 6. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (MFL) to be set at or above the top of existing elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner must install a backwater valve per the plumbing code and vacate and record a release of indemnification against the City of Murfreesboro with respect to the sanitary sewer connection. The holder and/or homeowner shall be responsible for the backwater valve.
 7. The sanitary sewer main and/or manholes must be tested before and after construction. Should the sewer not be tested prior to construction any defects found after construction will be the responsibility of the contractor to repair at his or her expense.

SHEET NO.	DESCRIPTION
1	EXISTING CONDITIONS
2	SITE PLAN
3	GRADING & DRAINAGE PLAN
4	LANDSCAPE PLAN
5	LANDSCAPE DETAILS
6	SITE DETAILS



1 Lot = 0.572 Acre

- LEGEND FOR MONUMENTS**
- ⊕ IRON PIN SET
 - ⊕ IRON PIN
 - ⊕ RAILROAD SPIKE
 - ⊕ SURVEY POINT
 - ⊕ NAIL
 - ⊕ CONC. MARKER PIN

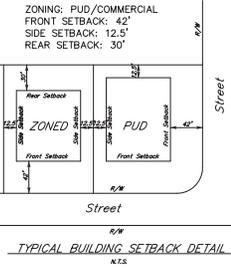
DEVELOPER: Waffle House, Inc.
 Attn: KEN WILLIAMS
 ADDRESS: 5908 Financial Drive
 Norcross, GA 30071

OWNER: INVESTMENT PARTNERS LLC
 ADDRESS: PO BOX 609
 MAMMILLE, TN 37111

Tax Map 81, Parcel 54

FLOOD MAP PANEL: 47149C0163H ZONE: X
 FLOOD MAP PANEL: 47149C0280H ZONE: X
 FLOOD MAP DATED: JANUARY 05, 2007

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.



Contractor to coordinate with the City of Murfreesboro Transportation Department prior to commencement of any work in the public right-of-way in the area to avoid damage to traffic signal devices. Contact Ram Batochandran, City Traffic Engineer, at (615)893-6441.

ELECTRIC
 Murfreesboro Electric Department
 205 North Walnut Street
 Murfreesboro, TN 37130
 Contact: Jerry Ornu
 Phone: 615-684-0427
 Fax: 615-904-9118

WATER & SANITARY SEWER
 Murfreesboro Water & Sewer Department
 220 NW Broad Street
 Murfreesboro, TN 37130
 Contact: Victoria Smith
 Phone: 615-848-3200
 Fax: 615-948-3206



SITE PLAN for WAFFLE HOUSE

PROJECT NAME: **WAFFLE HOUSE**

Location: **Lascassas Pike**

Rutherford County, TN

SHEET TITLE: **SITE & UTILITY PLAN**

SCALE: 1"=20'

SHEET NO: **2**

DATE: FEB. 2016

SHEET NO: **2**

DATE: FEB. 2016

WAFFLE HOUSE, INC.

APPROVALS

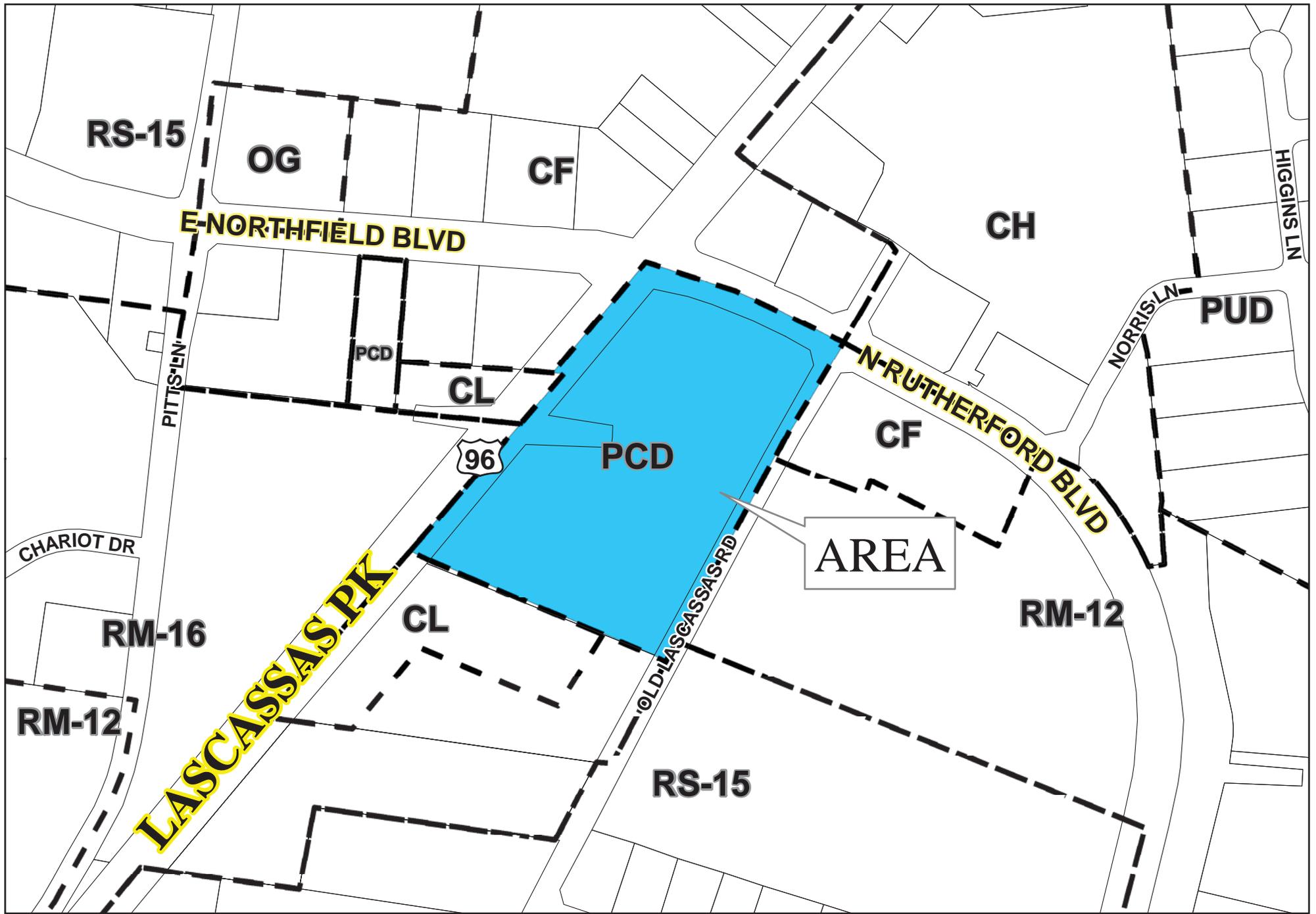
SIGNATURE	DATE

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

- 7.a. Zoning application [2016-413] for approximately 9.5 acres located along Lascassas Pike and North Rutherford Boulevard to be rezoned from PCD & CF, George Huddleston applicant.**

The subject property is located along the east side of Lascassas Pike, south of North Rutherford Boulevard and west of Old Lascassas Road. The properties to the south are zoned CL (Local Commercial District) and RM-16 (Multi-family residential district). The properties to the east are zoned CR (Fringe Commercial District) and RM-12. The properties to the west are zoned CL and RM-16. The properties to the north are zoned CH (Commercial Highway District). The property was rezoned from CF, CL and RM-16 to PCD (Planned Commercial District- file 2003-450) in 2004 to allow a grocery and retail shop. Exhibits of the PCD are included with the exhibits. The property has not developed as proposed in the PCD, so the applicants now wish to rezone the property to CF. Development has changed around this site since the PCD was approved. In 2007 a Kroger was constructed to the north. The outparcels have continued to develop since that time. The applicants do not have a specific development plan for the property.

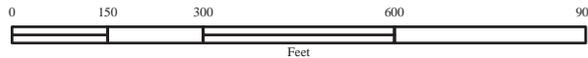
The Planning Commission will need to discuss this annexation plan of services and petition and schedule it for a public hearing.



**Rezoning Request for Property Along Lascassas Pike from
PCD to CF**



Path: G:\planning\rezon\rutherfordpcd_cf.mxd



GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

Proposed Site Plan

The site plan demonstrates several features important to the development and the shopper. For a successful shopping experience, today's retail facility must be convenient, accessible and visible to the public. Bound by three major streets (Old Lascassas, New Lascassas (Highway 96) and Rutherford / Northfield Boulevard, the new center will be highly accessible to its patrons. The anchor building and adjacent shops are accessible via Old Lascassas Pike and Highway 96 while the drugstore and independent retail shops can be reached by the main entrance from Rutherford / Northfield Boulevard. Ample parking separates the three different entities and provides visitors convenience to their destinations. The parking lot is well lit by metal halide fixtures atop 35 foot poles, providing safety and security for the public, but the arrangement and design of the lighting will comply with the requirements for limiting light migration to adjacent properties.

Once parked, the shopper will approach his or her destination from the well-landscaped parking areas, to the concrete walkways in front of the buildings. The major entrances are accented by special shapes and colors in the façade for quick identification from a distance. The façade presents the opportunity for internally illuminated signs, within guidelines, to be placed on the buildings to identify retailers. A modern retail facility is a large building almost by definition, but the scale of that building can be minimized by breaking the façade both horizontally and vertically using design elements. By utilizing rectangular and triangular shaped accents, insensitivity to human scale exhibited by traditional, older centers is avoided.

NORTHFIELD BLVD.

RUTHERFORD BLVD.

96 HWY (LASCASSAS PIKE)

DRUGSTORE
14,479SF

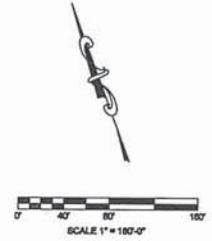
SHOPS
8,000 SF

SHOPS
8,500SF

SUPERMARKET
48,000 SF

EXPANSION
AREA
10,000 SF

EXISTING
CHURCH



LASCASSAS CENTRE

MURFREESBORO, TENNESSEE



Proposed Architectural Design

The grocery anchor entrance faces north, toward Rutherford / Northfield Boulevard. The adjacent shops face east. Their architectural elements lend themselves to a scale more appropriate to pedestrians than other large retail facilities. The grocery store's entrance and the shops' entrances accent the facades and create architectural interest through layering, roofing, and finishes. Layering is achieved through bringing the tall brick element in front further out from its counterparts. The stone wings on either side of the tower anchor the main entrance to the rest of the façade.

The drugstore and other shops building use the similar elements in their facades. The drugstore has an entry piece that is in conjunction with the rhythm of its adjoining façade, much like that of the grocery store. The main entrance is the feature element of the Rutherford / Northfield Boulevard and Highway 96 facades. The other sides share the rhythm common to the rear of grocery store. Similarly, the 8,000 square foot free standing building utilizes the elements common to the shops adjacent to the grocery store. The layering, rooflines, and finishes enhance the quality of the building, just like that of the 9,000 square foot shops. Parking surrounds the drugstore and shops building, bringing convenience to the tenants and their patrons.

Using a rhythm of pilasters, the facades are further enhanced by extending the same finishes from the entries to wrap the entire building. Exterior lighting is added to the facades to bring safety and security to the site. The rear elevation includes downspouts which further break the façade while adding functionality to the building.

LASCASSAS CENTRE SHOPPING CENTER
POTENTIAL USES

USES PERMITTED ³	ZONING DISTRICTS																										
	RS 15	RS 12	RS 10	RS 8	RS 4	R D	RM 12	RM 16	RM 22	RZ	R MO	OG R ²	OG ²	CL ²	CF ^{2,1} 4	PCD	CH ²	CBD 2	HI ²	LI ²	RS- 8 ²	CM- R ²	CM ²	CU	P	FW	
DWELLINGS																											
Single-Family detached																											
Single-Family attached																											
Two-Family																											
Three-Family																											
Four-Family																											
Multiple-Family																											
OTHER HOUSING																											
Accessory Apartment																											
Accessory Dwelling Unit																											
Assisted-Care Living Facility ¹⁵																											
Bed-and-Breakfast Homestay																											
Bed-and-Breakfast Inn																											
Boarding House ¹⁵																											
Emergency Shelter																											
Family Crisis Shelter																											
Family Violence Shelter																											
Fraternity/Sorority																											
Group Shelter																											
Class I Home for the Aged ¹⁵																											
Class II Home for the Aged ¹⁵																											
Class III Home for the Aged ¹⁵																											
Hotel																											
Mission ¹⁰																											
Mobile Homes																											
Motel																											
Rooming House																											
Student Dormitory																											
Transitional Home																											
INSTITUTIONS																											
Adult Day Care Home																											
Airport, Heliport																											
Cemetery, Mausoleum																											

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article (appendix).

LASCASSAS CENTRE SHOPPING CENTER
POTENTIAL USES

USES PERMITTED ³	ZONING DISTRICTS																									
	RS 15	RS 12	RS 10	RS 8	RS 4	R D	RM 12	RM 16	RM 22	RZ	R MO	OG R ²	OG ²	CL ²	CF ^{2,1} ₄	PCD	CH ²	CBD ²	HI ²	LI ²	RS-8 ²	CM-R ²	CM ²	CU	P	FW
Adults-Only Motion Picture Theater																										
Amusements, Commercial Indoor																	X									
Amusements, Commercial Outdoor excluding Motorized																										
Amusements, Commercial Outdoor Motorized except Carnivals																										
Animal Grooming Facility																	X									
Antique Mall																	X									
Antique Shop <3,000 sq. ft.																	X									
Apothecaries (pharmaceuticals only)																	X									
Art or Photo Studio or Gallery																	X									
Automotive Repair ¹²																										
Bakery, Retail																	X									
Bank, Branch Office																	X									
Bank, Drive-Up Electronic Teller																	X									
Bank, Main Office																	X									
Barber or Beauty Shop																	X									
Beer, Packaged																	X									
Boat Rental, Sales, or Repair																										
Book or Card Shop																	X									
Business School																	X									
Business and Communication Service																	X									
Campground, Travel-Trailer Park																										
Carnivals																										
Catering Establishment																	X									
Clothing Store																	X									
Convenience Sales and Service, maximum 5,000 sq. ft. floor area																	X									
Delicatessen																	X									
Department or Discount Store																	X									
Doughnut Shop																	X									
Drive-In Theater																										
Dry Cleaning																	X									
Dry Cleaning Pick-Up Station																	X									
Financial Service																	X									

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article (appendix).

LASCASSAS CENTRE SHOPPING CENTER POTENTIAL USES

USES PERMITTED ³	ZONING DISTRICTS																									
	RS 15	RS 12	RS 10	RS 8	RS 4	R D	RM 12	RM 16	RM 22	RZ	R MO	OG R ²	OG ²	CL ²	CF ^{2,1} 4	PCD	CH ²	CBD ²	HI ²	LI ²	RS- 8 ²	CM- R ²	CM ²	CU	P	FW
Fireworks Public Display																										
Fireworks Retailer																										
Fireworks Seasonal Retailer																	X									
Flower or Plant Store																X										
Funeral Home																										
Garage, Parking																										
Garden and Lawn Supplies																										
Gas--Liquified Petroleum, Bottled and Bulk																X										
Gas Station																X										
General Service and Repair Shop																X										
Glass--Auto, Plate, and Window																										
Glass--Stained and Leaded																										
Greenhouse or Nursery																X										
Group Assembly, <250 persons																X										
Group Assembly, >250 persons																X										
Health Club																X										
Ice Cream Shop																X										
Ice Retail																X										
Interior Decorator																X										
Iron Work																X										
Janitorial Service																X										
Karate, Instruction																X										
Kennels																X										
Keys, Locksmith																X										
Laboratories, Medical																X										
Laboratories, Testing																X										
Laundries, Self-Service																X										
Lawn, Tree, and Garden Service																X										
Liquor Store																X										
Livestock, Auction																										
Lumber, Building Material																										
Manufactured Home Sales																										

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article (appendix).

LASCASSAS CENTRE SHOPPING CENTER POTENTIAL USES

USES PERMITTED ³	ZONING DISTRICTS																									
	RS 15	RS 12	RS 10	RS 8	RS 4	R D	RM 12	RM 16	RM 22	RZ	R MO	OG R ²	OG ²	CL ²	CF ^{2,1} ₄	PCD	CH ²	CBD ²	HI ²	LI ²	RS-8 ²	CM-R ²	CM ²	CU	P	FW
Massage Parlor																										
Mobile Home Sales																										
Motor Vehicle Sales																										
Motor Vehicle Service ¹²																	X									
Music or Dancing Academy																	X									
Offices																	X									
Optical Dispensaries																	X									
Pawn Shop																										
Personal Service Establishment																	X									
Pet Shops																	X									
Pharmacies																	X									
Photo Finishing																	X									
Photo Finishing Pick-Up Station																	X									
Radio, TV, or Recording Studio																										
Radio and Television Transmission Towers																	S									
Rap Parlor																										
Reducing and Weight Control Service																	X									
Restaurant and Carry-Out Restaurant																	X									
Restaurant, Drive-In																	X									
Retail Shop, other than enumerated elsewhere																	X									
Salvage and Surplus Merchandise																										
Sauna																	X									
Sheet Metal Shop																										
Specialty Shop																	X									
Tavern																										
Taxidermists																	X									
Telephone or Telegraph Facility																	X									
Towing ¹²																	X									
Veterinarian's Office																	X									
Veterinary Clinic																	X									
Veterinary Hospital																	X									
Vehicle Sales																										

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article (appendix).

LASCASSAS CENTRE SHOPPING CENTER POTENTIAL USES

USES PERMITTED ³	ZONING DISTRICTS																											
	RS 15	RS 12	RS 10	RS 8	RS 4	R D	RM 12	RM 16	RM 22	RZ	R MO	OG R ²	OG ²	CL ²	CF ^{2,1} ⁴	PCD	CH ²	CBD ²	HI ²	LI ²	RS-8 ²	CM-R ²	CM ²	CU	P	FW		
Vehicle Wash																X												
Video Rental																X												
Warehousing, Transporting																X												
Wholesaling																X												
Wrecker Service ¹²																												
Wrecker Service Storage Yard ¹²																												
INDUSTRIAL																												
Manufacture, Storage, Distribution of:																												
Abrasive Products																												
Animal or Poultry Slaughter, Stockyards, Rendering																												
Asbestos Products																												
Automobile Dismantlers and Recyclers ⁷																												
Automobile Manufacture																												
Automobile Parts and Components Manufacture																												
Automobile Seats Manufacture																												
Bakery Goods																	X											
Boat Manufacture																												
Bottling Works																												
Brewery																												
Candy																	X											
Canned Goods																												
Chemicals																												
Composting Facility																												
Contractor's Storage, Indoor																	X											
Contractor's Yard or Storage, Outdoor																	X											
Cosmetics																	X											
Custom Wood Products																												
Electrical or Electronic Equipment, Appliances, and Instruments																												
Explosives																	X											
Fabricated Metal Products and Machinery																												

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article (appendix).

LASCASSAS CENTRE SHOPPING CENTER
POTENTIAL USES

USES PERMITTED ³	ZONING DISTRICTS																										
	RS 15	RS 12	RS 10	RS 8	RS 4	R D	RM 12	RM 16	RM 22	RZ	R MO	OG R ²	OG ²	CL ²	CF ^{2,1} 4	PCD	CH ²	CBD ²	HI ²	LI ²	RS-8 ²	CM-R ²	CM ²	CU	P	FW	
Fertilizer																											
Fireworks																											
Food and Beverage Products except animal slaughter, stockyards, rendering, and brewery																											
Furniture and Fixtures																											
Jewelry																	X										
Leather and Leather Products except tanning and finishing																											
Leather and Leather Products, Tanning and Finishing																											
Lumber and Wood Products																											
Metal or Rubber Stamps																											
Mobile Home Construction																											
Musical Instruments																											
Novelties																											
Office/Art Supplies																											
Paints																											
Paper Mills																											
Paper Products excluding paper and pulp mills																											
Petroleum, Liquefied Petroleum Gas and Coal Products except refining																											
Petroleum and Coal Products Refining																											
Pharmaceuticals																											
Photographic Film Manufacture																											
Pottery, Figurines, and Ceramic Products																											
Primary Metal Distribution and Storage																											
Primary Metal Manufacturing																											
Printing and Publishing																											
Pulp Mills																											
Radioactive Materials																											
Rubber and Plastic Products except rubber or plastic manufacture																											

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article (appendix).

LASCASSAS CENTRE SHOPPING CENTER
POTENTIAL USES

USES PERMITTED ³	ZONING DISTRICTS																									
	RS 15	RS 12	RS 10	RS 8	RS 4	R D	RM 12	RM 16	RM 22	RZ	R MO	OG R ²	OG ²	CL ²	CF ^{2,1} 4	PCD	CH ²	CBD 2	HI ²	LI ²	RS- 8 ²	CM- R ²	CM ²	CU	P	FW
Rubber and Plastic Products, Rubber and Plastic Manufacture																										
Saw Mills																										
Scrap Processing Yard																										
Scrap Metal Processors																										
Scrap Metal Distribution and Storage																										
Secondary Material Dealers																										
Silverware and Cutlery																										
Small Moulded Metal Products																										
Soap																										
Sporting Goods																										
Stone, Clay, Glass, and Concrete Products																										
Textile, Apparel Products, Cotton--Factoring, Grading																										
Textile, Apparel Products, Cotton Gin																										
Tire Manufacture																										
Tobacco Products																										
Toiletries																										
Toys																										
Transportation Equipment																										
TRANSPORTATION AND PUBLIC UTILITIES																										
Freight, Service Facility																										
Bus Terminal or Service Facility																										
Garbage or Refuse Collection Service																										
Refuse Processing, Treatment, and Storage																										
Gas, Electric, Water, Sewerage Production and/or Treatment Facility																										
Landfill																										
Post Office or Postal Facility																										
Railroad Switching Yard, Terminal, Piggyback Yard																	X									
Telephone Service Center																										X

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article (appendix).

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

MARCH 16, 2016

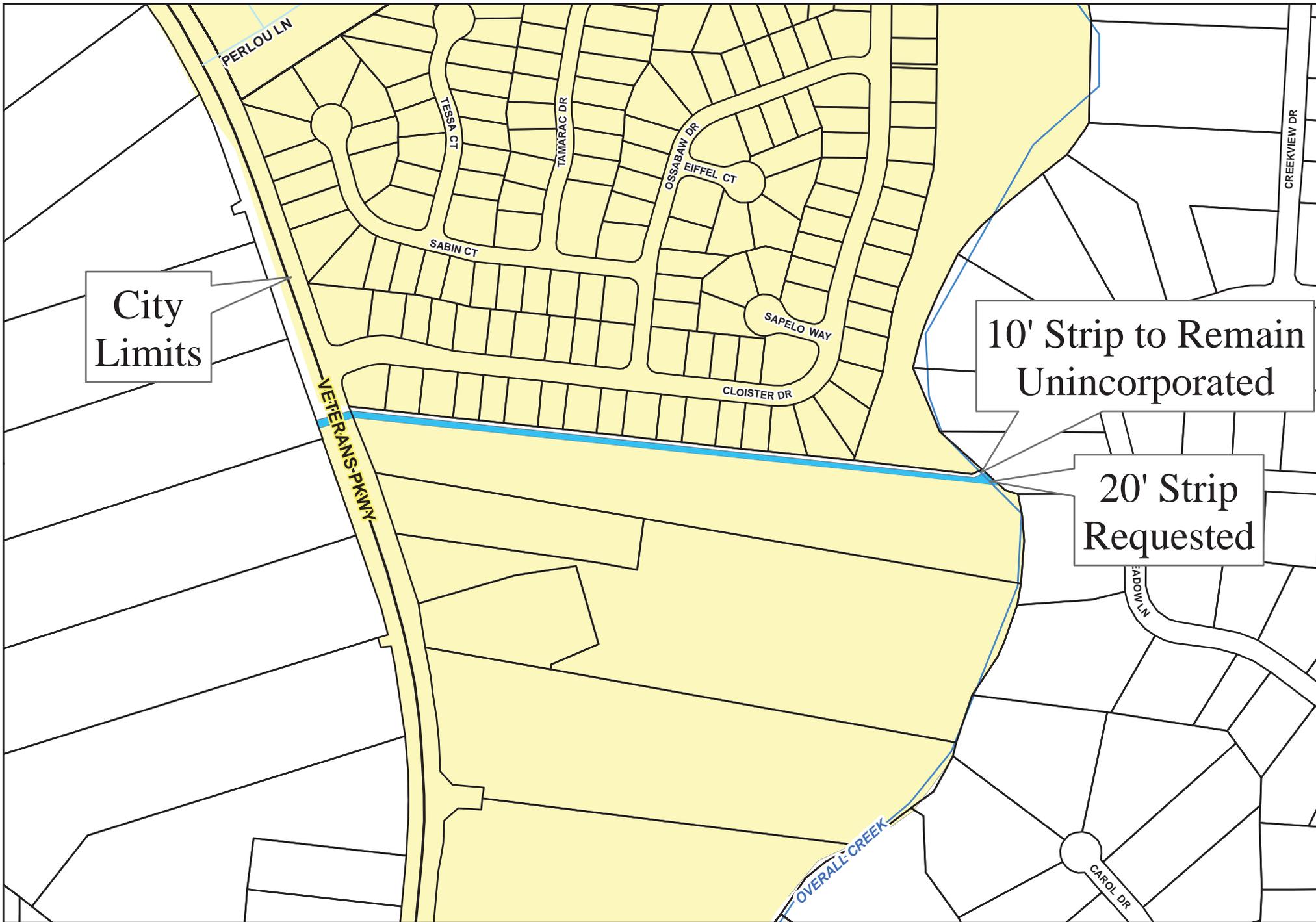
7.b. Annexation Plan of Services and annexation petition [2016-507] for approximately 0.59 acres located at 4546 Veterans Parkway, Mary Reed applicant.

The subject property is located along the east side of Veterans Parkway about 1,600 feet north of Franklin Road. It is directly to the south of The Cloister subdivision. The entire parcel consists of approximately seven (7) acres. It is developed with a single-family residence and is addressed as 4546 Veterans Parkway. The rear portion of the property contains the floodway and the floodplain of Overall Creek. The majority of the parcel was annexed into the City limits in 2013. A 30' strip along the northern property line was not annexed, however. Annexing the entire property would have created an "island" of unincorporated County to the east of the subject property surrounded by the City limits. The applicant has filed a petition with the City to annex a 20' strip of the aforementioned 30' strip along the northern property line. This would leave the very northernmost 10' of the parcel in the unincorporated County so as not to create the aforementioned "island."

Upon annexation in 2013, the majority of the property was zoned RM-16 (Multi-Family Residential District). However, he now desires to have the entire property (within the exception of the northernmost 10' strip) zoned CF (Commercial Fringe). A companion zoning request has also been filed and it is the next item on the agenda. If the portion of the property that is already in the City limits is zoned CF without annexing the requested area, then it is likely that proposed buildings on the property would be located partially in the City's jurisdiction and partially in the County's jurisdiction. Annexing the requested area will allow any proposed development on the subject property -- with the exception of the required buffer yard along the northern property line -- to be located in one jurisdiction.

The subject property is contiguous with the existing City Limits to the south, it is within the City's urban growth boundary, and a petition for its annexation has been submitted by its owner. The adjacent 20' of Veterans Parkway right-of-way is also included in the annexation study. Staff is in the process of preparing an annexation plan of services. It will be ready for the Planning Commission's review prior to the public hearing.

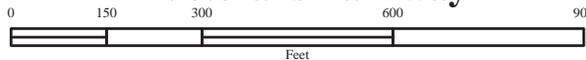
The Planning Commission will need to discuss this annexation plan of services and petition and schedule it for a public hearing.



Path: G:\planning\annex\VeteransPkw03_2016.mxd



Annexation Request for Property Along Veterans Parkway



GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Mary F. Reed

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Mary F Reed Status: Title Owner Date: 03.01.2016

1634 Wexford Drive, Murfreesboro, TN 37129
Mailing Address (if not address of property to be annexed)

2.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: Yes

Power of Attorney applies and is attached: Yes No

ANNEX 20' of 30'
NEXT to The Cloister

THE CLOISTER

4546

FORREST ACRES
LOT 1
7.6 acres

TAX MAP 93
PARCEL 25
RB 478, PG 1541
DB 126, PG 579

TAX MAP 93, PARCEL 26
DB 207, PG 256

TAX MAP 93
PARCEL 27.01
DB 556, PG 630

TAX MAP 93
PARCEL 27.02
DB 626, PG 240

FORREST ACRES
LOT 2
7.1 acres
DB 128, PG 538

Y-KNOWN AS BEESLEY RD.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

7.c. Zoning Request [2016-412] for approximately 0.55 acres located along Veterans Parkway to be zoned CF simultaneous with annexation and approximately 6.5 acres to be rezoned from RM-16 to CF, Tom Reed applicant.

The subject property is located along the east side of Veterans Parkway about 1,600 feet north of Franklin Road. It is directly to the south of The Cloister subdivision. The entire parcel consists of approximately seven (7) acres. It is developed with a single-family residence and is addressed as 4546 Veterans Parkway. The rear portion of the property contains the floodway and the floodplain of Overall Creek. The majority of the parcel was annexed into the City limits in 2013 and zoned RM-16 (Multi-Family Residential District) simultaneous with annexation. A 30' strip along the northern property line was not annexed, however. Annexing the entire property would have created an "island" of unincorporated County to the east of the subject property surrounded by the City limits. The applicant has filed a petition with the City to annex a 20' strip of the aforementioned 30' strip along the northern property line. This would leave the very northernmost 10' of the parcel in the unincorporated County so as not to create the aforementioned "island." This annexation petition and plan of services was the previous item on the agenda.

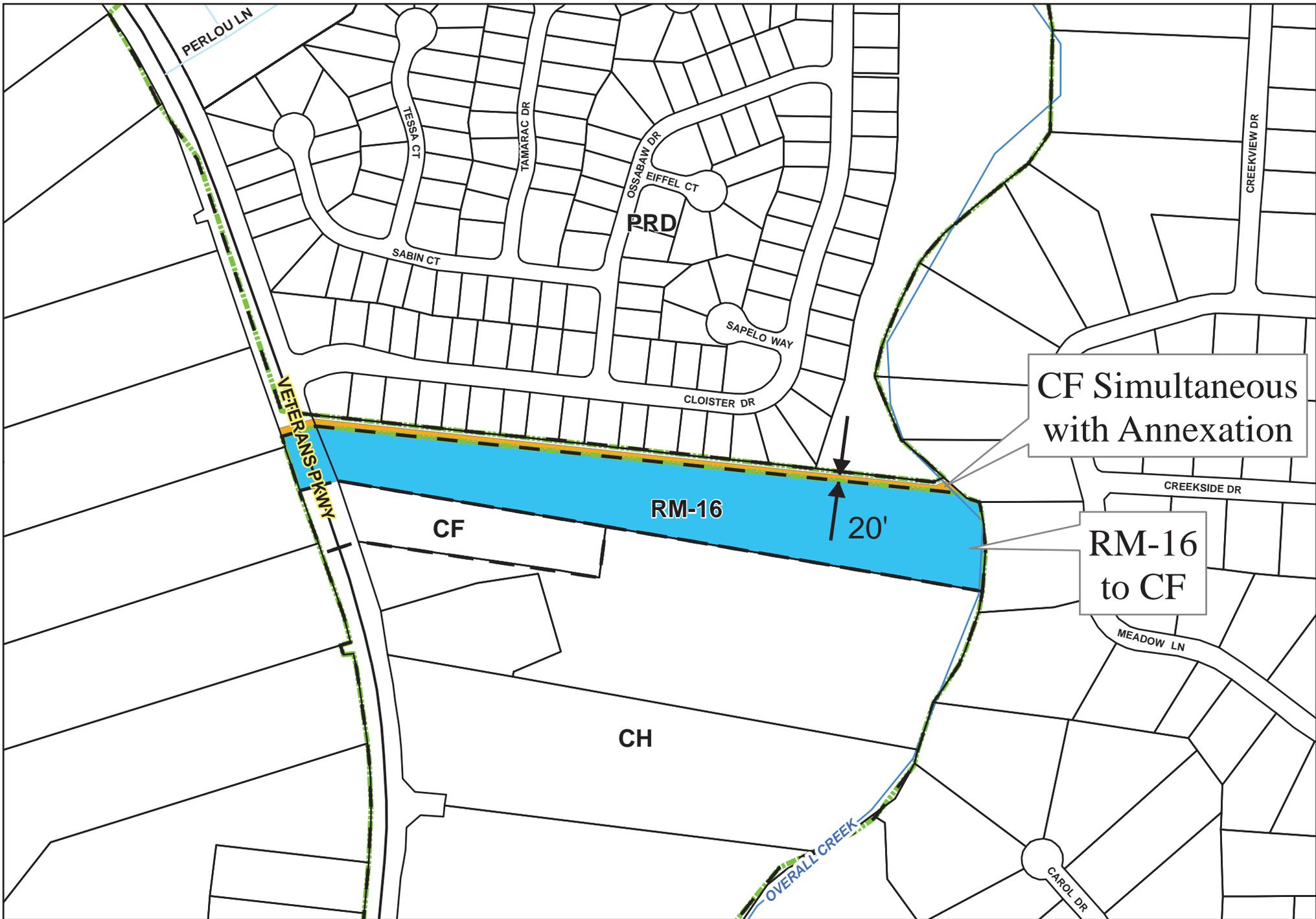
The applicant has also requested to rezone the portion of the property that was annexed in 2013 (approximately 6.5 acres) from RM-16 to CF (Commercial Fringe) and to zone the 20' strip (0.55 acres) CF simultaneous with annexation. In 2015, the three parcels directly to the south of the subject property were requested for rezoning from RM-16 to CH. CH zoning was approved for two of the three parcels. After discussion by the City Council, the parcel directly adjacent to the subject property was zoned CF, instead of CH, in order to provide a transition from the CH zoning to The Cloister single-family residential subdivision to the north. The applicant also owns the CF-zoned property to the south and he would like to extend the CF zoning north to the subject property for future commercial development on these two parcels.

As stated earlier, the parcels to the south are zoned CF and CH. Further to the south of the two subject parcels is also zoned CH and is being developed with a Kroger grocery store. To the north of the subject property is The Cloister single-family residential subdivision, which is zoned PRD (Planned Residential District). The subject property is bordered by Overall Creek and its floodway to the east. Further to the east across Overall Creek are the Franklin Road Estates and Meadow Lane single-family residential subdivisions, both of which are located in the unincorporated County. To the west, across Veterans Parkway, are several large parcels in the unincorporated County developed with single-family dwellings.

The future land use map contained in the *General Development Plan for the Blackman Community* recommends "Medium Density Residential" uses for the subject parcel. It

defines medium-density residential as “planned areas of single-family homes and attached or zero-lot-line units” with a density of “4.0 to 8.0 units per acre.” This zoning request is not consistent with this recommendation. However, the plan also recommends “strong support for nodal commercial development patterns centered on major street intersections.” In fact, the future land use map of the plan recommends that the intersection of Veterans Parkway and Franklin Road, just to the south of the subject property, develop as a “local” commercial node. The Planning Commission needs to determine whether or not the zoning of the subject property to CF is an appropriate extension of this commercial node and an appropriate deviation from the recommendation of the plan’s future land use map.

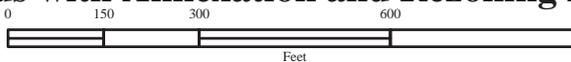
The Planning Commission will need to discuss this zoning request and schedule it for a public hearing.



Path: G:\planning\rezon\VeteransPkwy03_2016z.mxd

Zoning Request for Property Along Veterans Parkway

CF Simultaneous with Annexation and Rezoning from RM-16 to CF



GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov





Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

REZONING APPLICATION FORM
\$600.00 per application

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Mary F. Reed

Address: 1634 Wexford Drive Murfreesboro, TN 37129
City/State/Zip:

Phone: 615.663.3343 **E-mail address:** tlreedjr@gmail.com

PROPERTY OWNER: Mary F. Reed

Street Address or property description: 4546 Veterans Parkway

and/or Tax map #: 93 **Group:** _____ **Parcel (s):** 25

Existing zoning classification: RM-16

Proposed zoning classification: CF **Acreage:** 7.6 acres

Contact name & phone number for publication and notifications to the public (if different from the applicant): Tom Reed **Phone** 615.663.3343

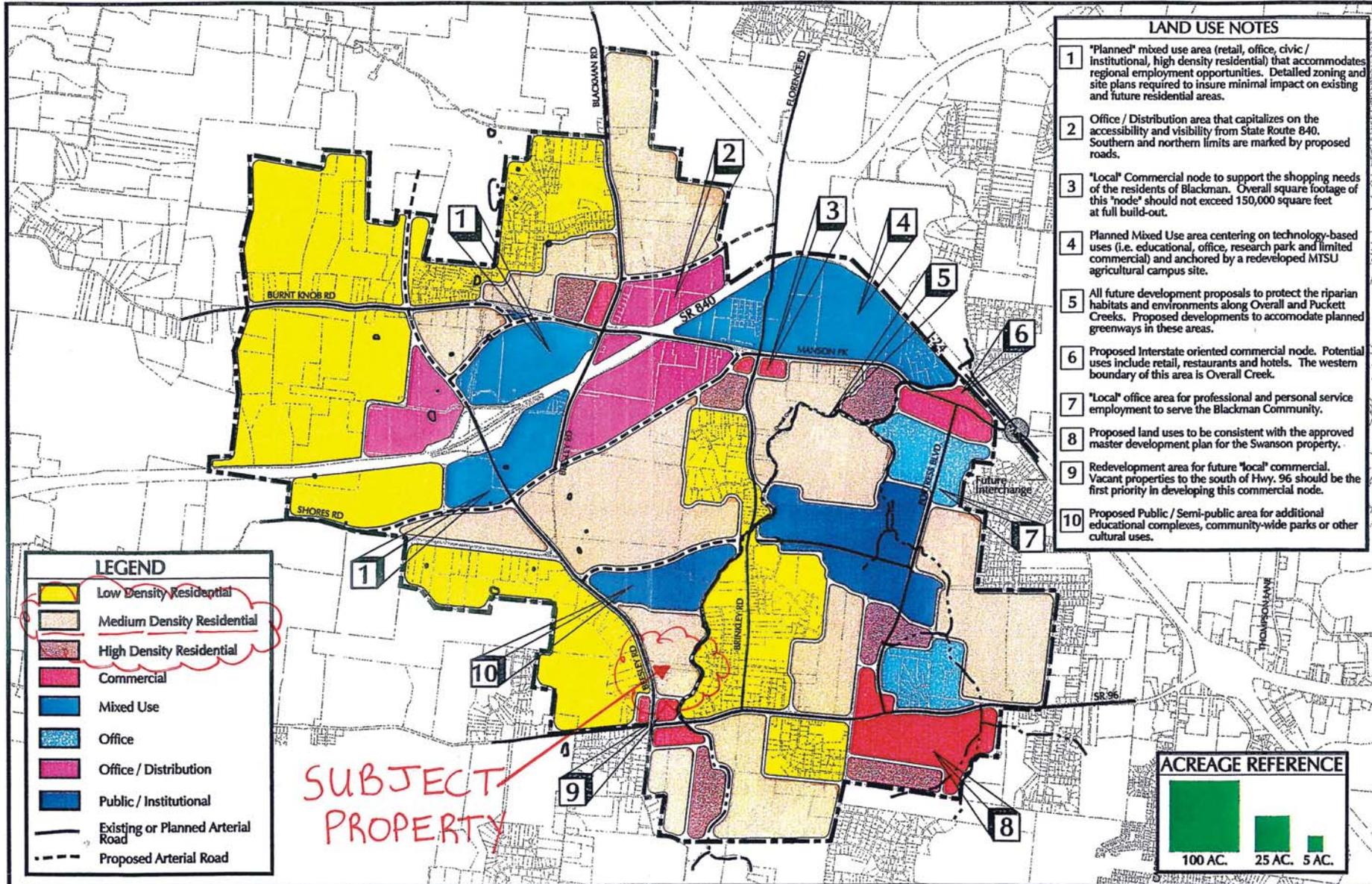
E-mail: tlreedjr@gmail.com

APPLICANT'S SIGNATURE (required): *Mary F. Reed* *Atty in Fact*
DATE: 02.24.2016

*******For Office Use Only*******

Date received: _____ **MPC YR.:** _____ **MPC #:** 2016-507
2016-412

Amount paid: \$ 600.00 **Receipt #:** 922590



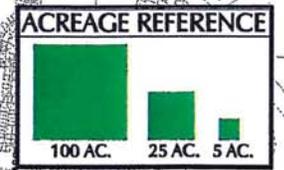
LAND USE NOTES

- 1 "Planned" mixed use area (retail, office, civic / institutional, high density residential) that accommodates regional employment opportunities. Detailed zoning and site plans required to insure minimal impact on existing and future residential areas.
- 2 Office / Distribution area that capitalizes on the accessibility and visibility from State Route 840. Southern and northern limits are marked by proposed roads.
- 3 "Local" Commercial node to support the shopping needs of the residents of Blackman. Overall square footage of this "node" should not exceed 150,000 square feet at full build-out.
- 4 Planned Mixed Use area centering on technology-based uses (i.e. educational, office, research park and limited commercial) and anchored by a redeveloped MTSU agricultural campus site.
- 5 All future development proposals to protect the riparian habitats and environments along Overall and Puckett Creeks. Proposed developments to accommodate planned greenways in these areas.
- 6 Proposed Interstate oriented commercial node. Potential uses include retail, restaurants and hotels. The western boundary of this area is Overall Creek.
- 7 "Local" office area for professional and personal service employment to serve the Blackman Community.
- 8 Proposed land uses to be consistent with the approved master development plan for the Swanson property.
- 9 Redevelopment area for future "local" commercial. Vacant properties to the south of Hwy. 96 should be the first priority in developing this commercial node.
- 10 Proposed Public / Semi-public area for additional educational complexes, community-wide parks or other cultural uses.

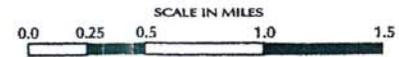
LEGEND

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial
- Mixed Use
- Office
- Office / Distribution
- Public / Institutional
- Existing or Planned Arterial Road
- Proposed Arterial Road

SUBJECT PROPERTY



BLACKMAN COMMUNITY



BWSC BARKER WARDENBERG BLANKENHORN & CLARKSON, INC.
 ARCHITECTS PLANNERS LANDSCAPE ARCHITECTS AND INTERIORS

RPM Associates
 TRANSPORTATION ENGINEERS

FUTURE LAND USE MAP

BLACKMAN COMMUNITY LAND USE PLAN

EXHIBIT VIII | PAGE 3-8

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

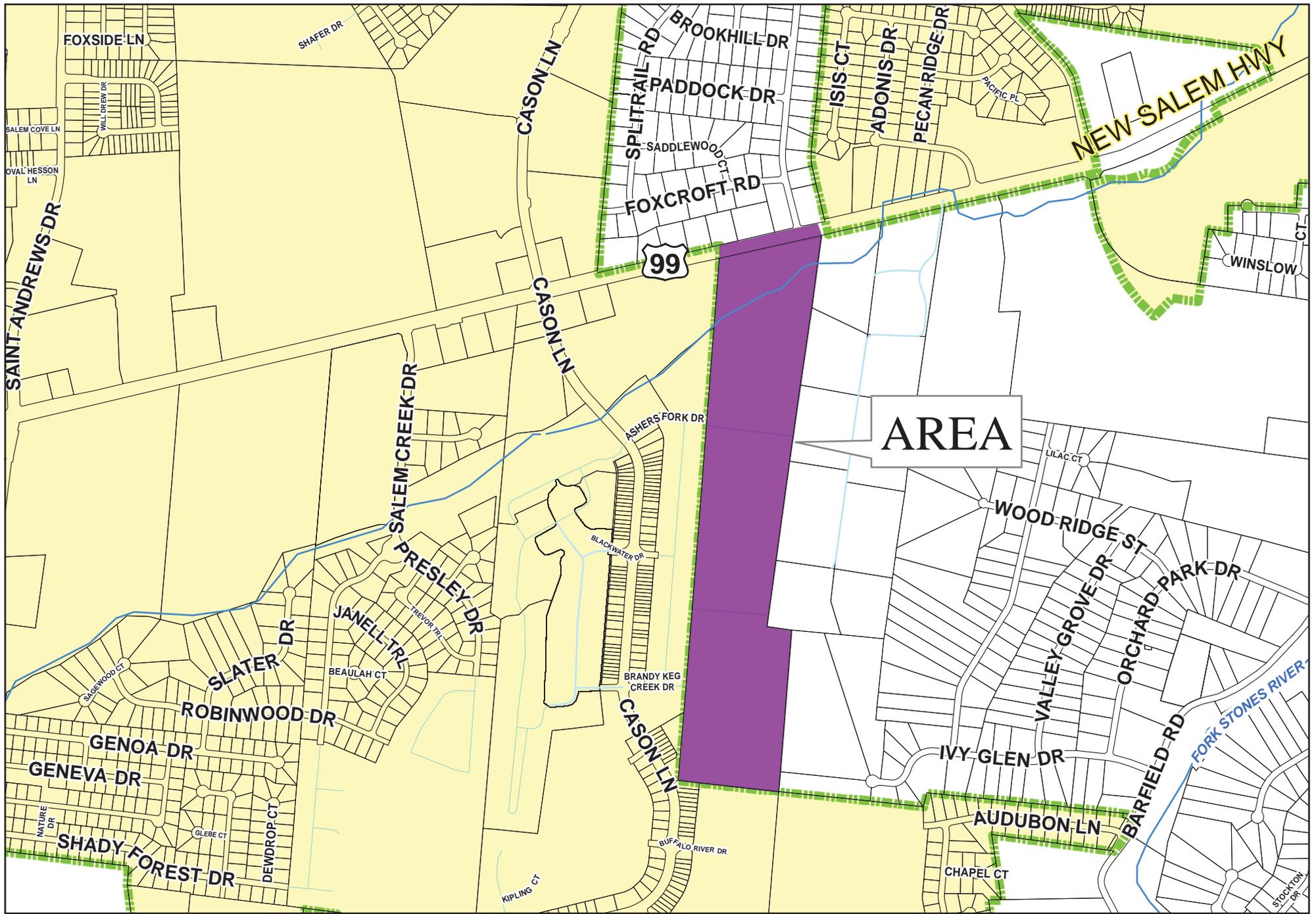
MARCH 16, 2016

7.d. Annexation Plan of Services and annexation petition [2016-506] for approximately 76 acres located at along New Salem Highway, William & Caroline Waite applicant.

The subject property is located along the south side of New Salem Highway just east of Cason Lane. It consists of approximately 74 acres and is currently undeveloped, with the exception of one single-family dwelling. Spence Creek, as well as its floodway and floodplain, are located at the north end of the property. The owners have submitted a petition to have the property annexed into the City limits. The next item on the agenda is a companion zoning request for the property. The applicants have requested CF (Commercial Fringe), RM-12 (Multi-Family Residential District), and RZ (Residential Zero-Lot Line) zoning simultaneous with annexation.

The subject property is contiguous with the existing City Limits to the south and to the west, it is within the City's urban growth boundary, and the owner has petitioned the City for annexation. Approximately 870 linear feet of New Salem Highway right-of-way, totaling approximately two (2) acres, is also included in the annexation study. There will be a gap left in the City limits along New Salem Highway, so that the Stonebrook, Brookhill, and Campbell Brown subdivisions to the north, which are located in the unincorporated County, will still remain contiguous with other areas of the unincorporated County. Staff is in the process of preparing an annexation plan of services. It will be ready for the Planning Commission's review prior to the public hearing.

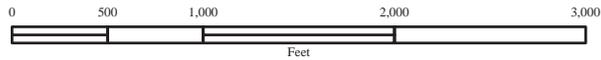
The Planning Commission will need to discuss this annexation plan of services and petition and schedule it for a public hearing.



Annexation Request for Property Along New Salem Hwy.



Path: G:\planning\annex\hwy99_waitproperty.mxd



GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

February 25, 2016

Mr. Gary Whitaker
Interim Planning Director
City of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37130

Re: Annexation and Rezoning Request

Described as Tax Map #114 and Parcel 01400, consisting of 74+/- ac. located at 2329 New Salem Road in Murfreesboro, Tennessee.

Dear Mr. Whitaker:

On behalf of our client, the Waite Family Partnership, we hereby request the annexation and rezoning of the property located at Tax Map 114, Parcel 01400, consisting of 74+/- acres, currently zoned RM in the county, to the new zoning of 26.07 acres to CF and 23.05 acres to RM-12, and 25.02 acres to RZ as depicted in the exhibit provided. Thank you for considering our request.

Sincerely,



Clyde Rountree, RLA

HUDDLESTON-STEELE ENGINEERING, INC.

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. WILLIAM A WAITE
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: William A. Waite Status: Owner Date: 2-29-16

Mailing Address (if not address of property to be annexed)

2. CAROLINE A. WAITE
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Caroline A. Waite Status: Owner Date: 2-29-16

23
Mailing Address (if not address of property to be annexed)

3.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

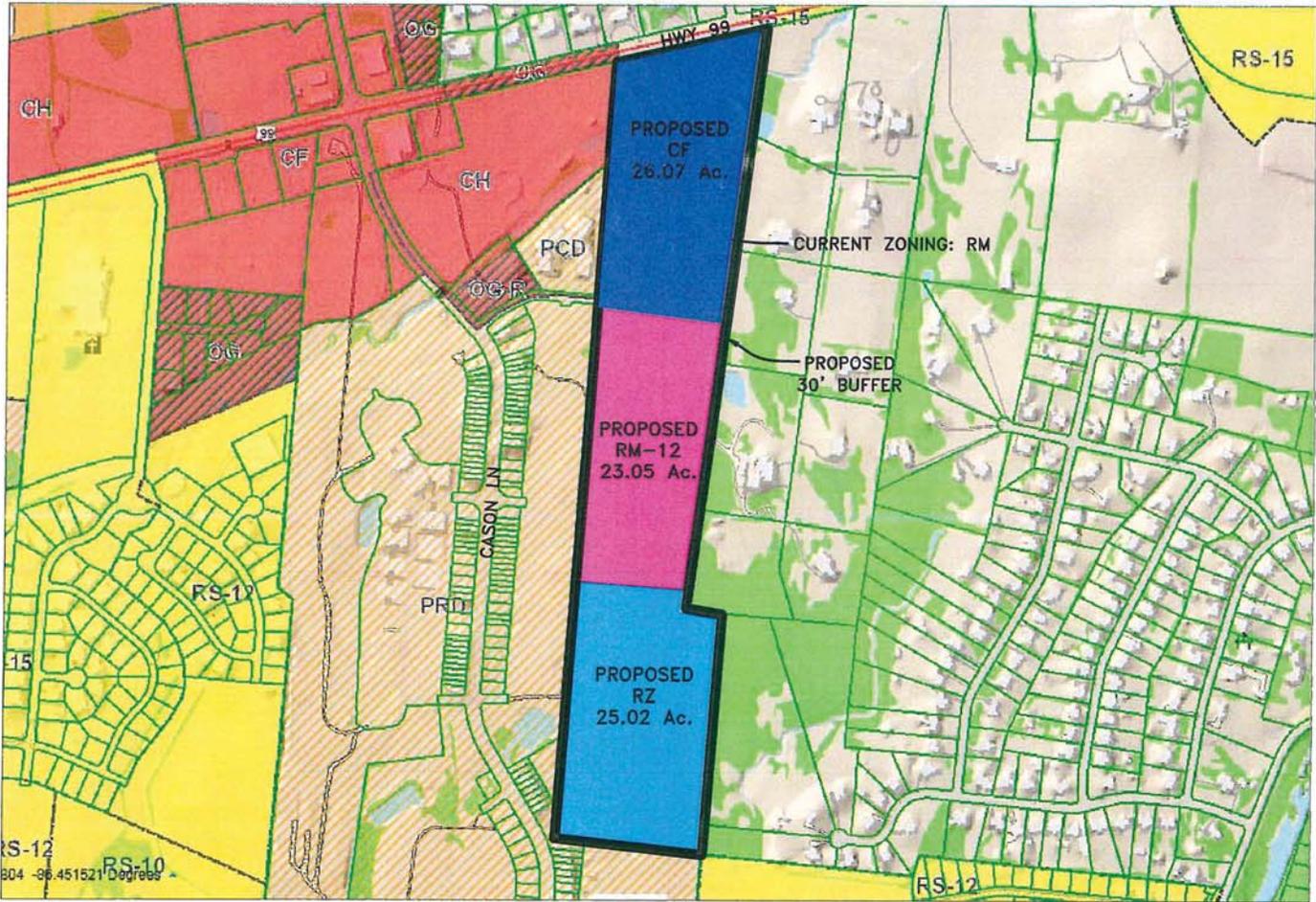
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

Waite Rezoning Exhibit



HS HUDDLESTON-STEEL
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE : (615)893 - 4084. FAX: (615)893 - 0080

\\CAG035\land Projects 2004\WILLIAM WAITE\eng\WILLIAM WAITE.dwg, Layout1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

- 7.e. Zoning application [2016-415] for approximately 74 acres located along New Salem Highway to be zoned CF (approx. 26.1 acres), RM-12 (approx. 23.1 acres) and RZ (approx. 25 acres) simultaneous with annexation, William & Caroline Waite applicant.**

The subject property is located along the south side of New Salem Highway just east of Cason Lane. It consists of approximately 74 acres and is currently undeveloped, with the exception of one single-family dwelling. Spence Creek, as well as its floodway and floodplain, are located at the north end of the property. The property owners have submitted a petition to have the property annexed into the City limits. The annexation and plan of services was the previous item on the agenda. The applicants have also requested zoning classifications of CF (Commercial Fringe), RM-12 (Multi-Family Residential District), and RZ (Residential Zero-Lot Line) simultaneous with annexation.

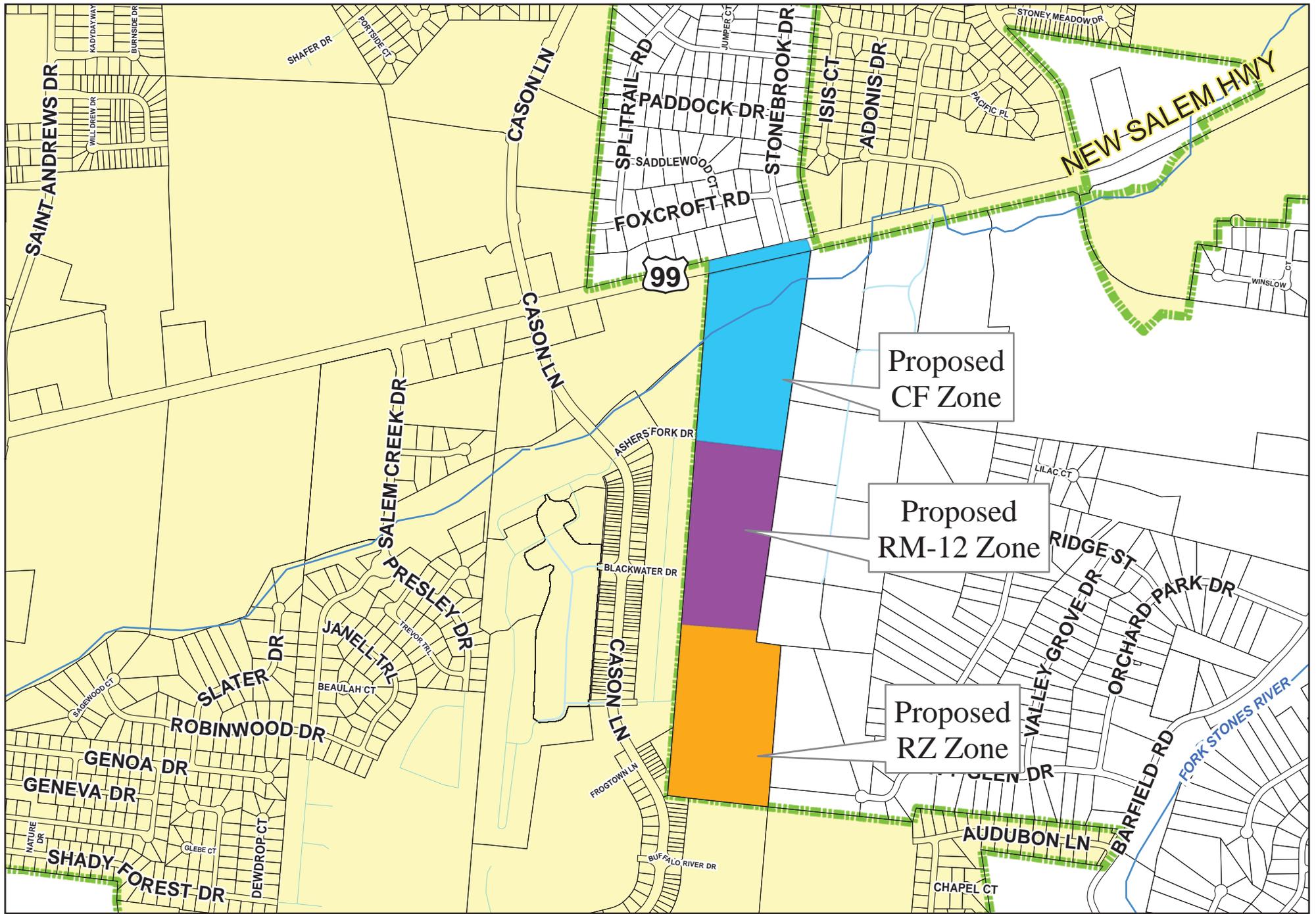
The area proposed for CF zoning, which totals 26.07 acres is at the very north end of the parcel adjacent to New Salem Highway. The actual developable CF acreage on the subject property will be less, however, because of the floodway of Spence Creek. South of the proposed CF zoning is the area proposed for RM-12 zoning, which totals 23.05 acres. At twelve units per acre, this 23.05 acres could yield approximately 276 multi-family dwelling units, with the potential of additional units being considered as a density bonus if certain amenities are provided. At the southern end of the parcel is the area proposed for RZ zoning, which totals 25.02 acres. The RZ zone permits both single-family residential attached and single-family residential detached development.

To the west of the subject property, along New Salem Highway, is CH (Commercial Highway) zoning. The Planning Commission will be considering a master plan for the future development of this tract at its March 16th meeting. Also to the west is property zoned PCD (Planned Commercial District) and OG-R (General Office District – Residential), developed with an assisted care living facility. Also to the west is the Three Rivers PRD (Planned Residential District), which is developing with single-family attached and detached homes on minimum lot sizes of approximately 3,000-4,000 square-feet to 8,400 square-feet. Further to the west is the Stonebridge at Three Rivers PRD, which is developing with an active adult condominium community. Directly to the south of the subject property is property that is zoned PRD for the development of the proposed Gardens at Three Rivers, which is an age-targeted community with single-family zero-lot line attached homes. To the east of the subject property is a single-family residential development with estate lots on Spence Creek Lane in the unincorporated County. To the northeast of the subject property, across New Salem Highway, is the Olympic Springs Subdivision, which is zoned RS-15 (Single-Family Residential District) and RS-12. Directly to the north of the subject property, also across New Salem

Highway, are the Stonebrook, Brookhill, and Campbell Brown subdivisions, all of which are located in the unincorporated County.

The future land use map for the *Salem Pike Land Use Plan* recommends that the northern portion of the subject property develop as “Mixed Use Limited Planned Development,” which is defined as “all medium and high-density residential; institutional; offices with a maximum 30% floor area ratio; and general farming.” The map recommends that the balance of the property develop as “Medium-density residential,” which is defined as “all single-family and two-family residential uses that involve a density of at least three units per acre but less than eight units per acre; institutional; convenience scale commercial uses on a selective and limited basis; and general farming.” The text of the plan recommends the clustering of commercial uses at “major thoroughfare intersections.” The proposed CF zoning would extend the existing commercial node at the intersection of New Salem Highway and Cason Lane eastward. The text of the plan also recommends “a pedestrian scale in residential areas involving the ability to walk...” to “...convenience commercial services.” While portions of the request are consistent with the Salem Pike Land Use Plan and its future land use map, other portions of the request deviate somewhat from its recommendations. The Planning Commission will need to determine whether or not the proposed deviations are appropriate.

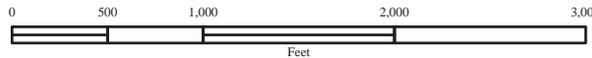
The Planning Commission will need to discuss this zoning request and schedule it for a public hearing.



**Zoning Request for Property Along New Salem Hwy.
CF, RM-12 and RZ Simultaneous with Annexation**



Path: G:\planning\rezon\hwy99_waitepropertyz.mxd



GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

February 25, 2016

Mr. Gary Whitaker
Interim Planning Director
City of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37130

Re: Annexation and Rezoning Request

Described as Tax Map #114 and Parcel 01400, consisting of 74+/- ac. located at 2329 New Salem Road in Murfreesboro, Tennessee.

Dear Mr. Whitaker:

On behalf of our client, the Waite Family Partnership, we hereby request the annexation and rezoning of the property located at Tax Map 114, Parcel 01400, consisting of 74+/- acres, currently zoned RM in the county, to the new zoning of 26.07 acres to CF and 23.05 acres to RM-12, and 25.02 acres to RZ as depicted in the exhibit provided. Thank you for considering our request.

Sincerely,



Clyde Rountree, RLA

HUDDLESTON-STEELE ENGINEERING, INC.



Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

REZONING APPLICATION FORM
\$600.00 per application

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: WILLIAM A. WAITE & CAROLINE WAITE

Address: 2329 SALEM ROAD City/State/Zip: MURFREESBORO, TN 37128

Phone: 615.896.0633 E-mail address:

PROPERTY OWNER: SAME AS ABOVE

Street Address or property description:

and/or Tax map #: 114 Group: Parcel (s): 01400

Existing zoning classification: RM

Proposed zoning classification: 26.07 AC CF Acreage: 74 AC +/-
23.05 AC RM-12
25.02 AC RZ

Contact name & phone number for publication and notifications to the public (if different from the applicant): CLYDE ROUNTREE 615.509.5930

E-mail: rountree.associates@yahoo.com

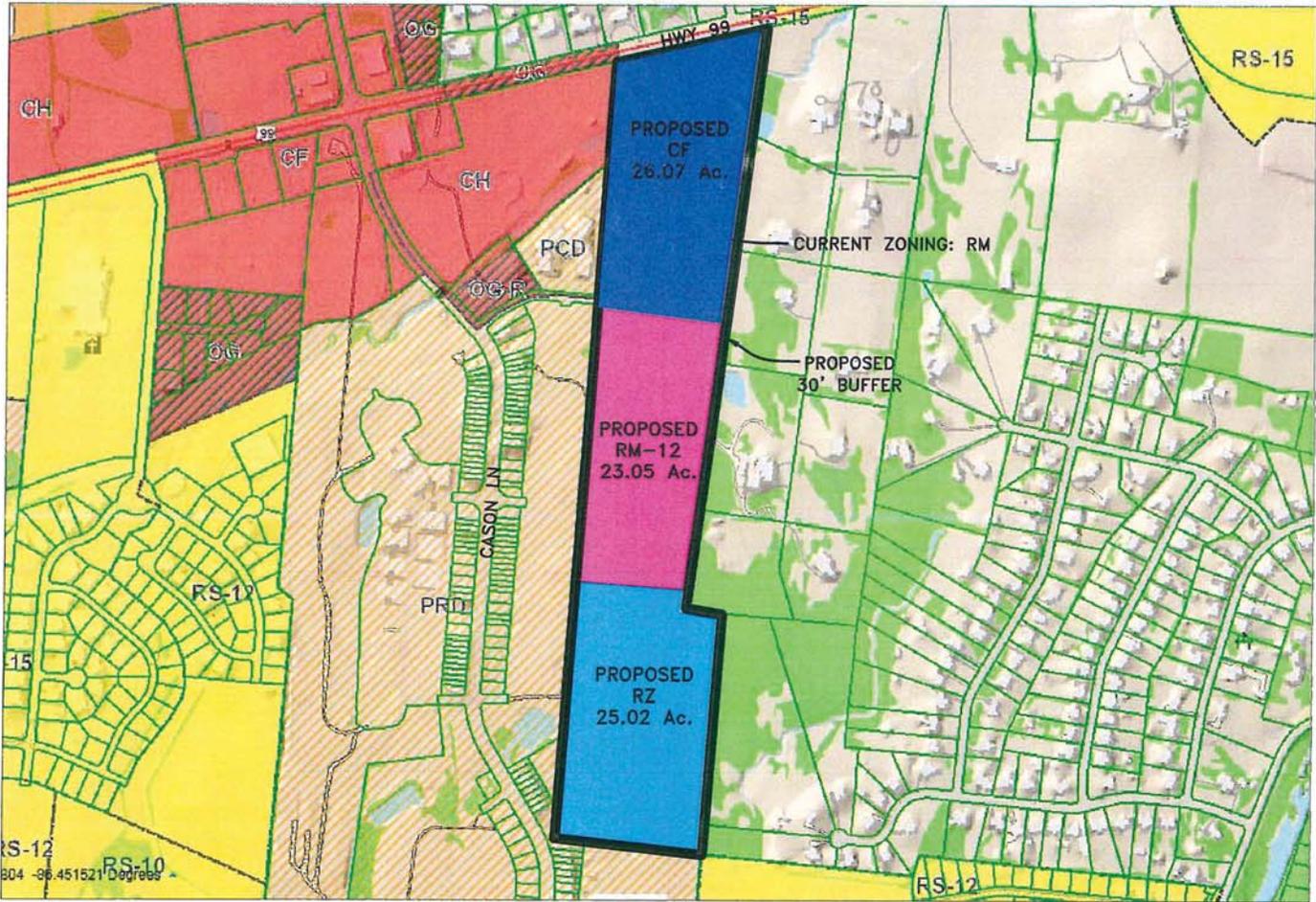
APPLICANT'S SIGNATURE (required): [Signatures]
DATE: 2-24-16

*****For Office Use Only*****

Date received: MPC YR.: MPC #: 2016-415

Amount paid: \$600.00 Receipt #: 922593 2016-506

Waite Rezoning Exhibit



HS HUDDLESTON-STEEL
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE : (615)893 - 4084. FAX: (615)893 - 0080

\\CAG035\land Projects 2004\WILLIAM WAITE\eng\WILLIAM WAITE.dwg, Layout1

FUTURE LAND USE MAP

Salem Pike Study Area

Murfreesboro, Tennessee

LEGEND

- High Density Residential
 - Medium Density Residential
 - Low Density Residential
 - Community Commercial Planned Development
 - Interstate Commercial Node
 - Neighborhood Commercial Node-Village Overlay
 - Neighborhood Commercial Node
 - Convenience Commercial Node
 - Industrial
 - Potential School Site
 - Institutional (Cultural/Worship)
 - Potential Park Site
 - Greenway
 - Mixed Use Limited Planned Development
 - Scenic Corridor Overlay
 - Major Thoroughfares
 - Major Thoroughfare Improvements
- Scale in Miles
- 0 0.5 1.0
- north

Low-Density Residential
Single-family and two-family residential with density of less than 3 units per acre; General Farming; Institutional (Mostly existing/platted residential)

Medium Density Residential
Single-family, two-family & retirement residential with density of more than 3 units but less than 8 units per acre; General Farming; Institutional; Convenience-scale commercial on a selective & limited basis

Convenience Commercial
Convenience-scale commercial uses that serve an adjoining and limited residential market. Maximum sq. ft. of 10,000 for one building.

Industrial Light-intensity industrial
associated with clustered/ park setting; Community-scale commercial.

Interstate Commercial Node
Community-scale commercial uses that benefit from regional thoroughfare access.

High-density Residential (Optional village Overlay)
Single-family, 2-family, 3-family, 4-family, multi-family, retirement & mfg. housing residential with density of 8 or more units per acre; General farming; Institutional; Convenience-scale commercial on selective & limited basis; With optional Village Overlay, a total density increase up to 25%, convenience-scale commercial within residential on selective & limited basis & master plan reflecting pedestrian orientation & inclusion/connection with cultural, educational & recreational amenities

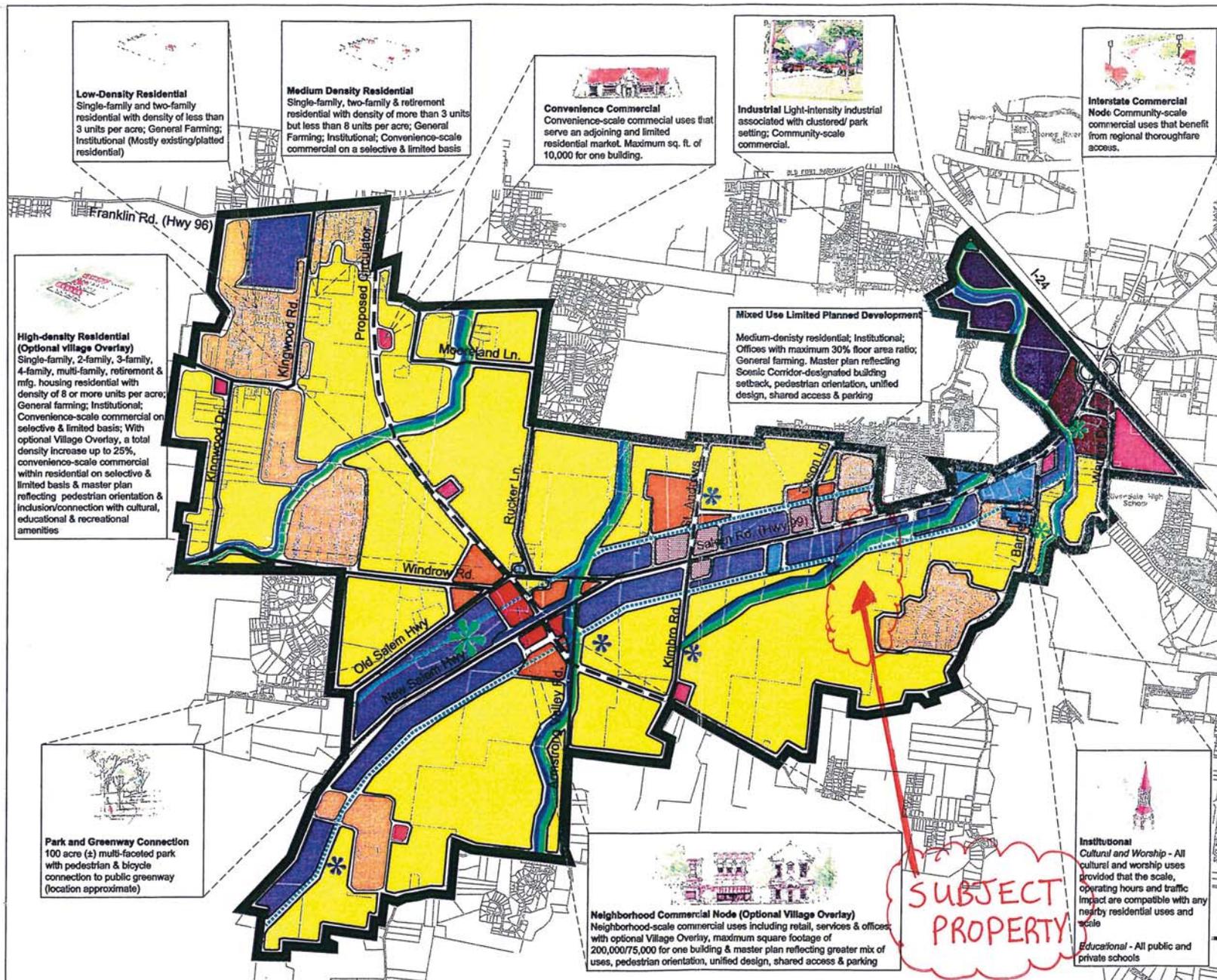
Mixed Use Limited Planned Development
Medium-density residential; Institutional; Offices with maximum 30% floor area ratio; General farming. Master plan reflecting Scenic Corridor-designated building setback, pedestrian orientation, unified design, shared access & parking

Neighborhood Commercial Node (Optional Village Overlay)
Neighborhood-scale commercial uses including retail, services & offices with optional Village Overlay, maximum square footage of 200,000/75,000 for one building & master plan reflecting greater mix of uses, pedestrian orientation, unified design, shared access & parking

Institutional Cultural and Worship - All cultural and worship uses provided that the scale, operating hours and traffic impact are compatible with any nearby residential uses and scale

Educational - All public and private schools

SUBJECT PROPERTY



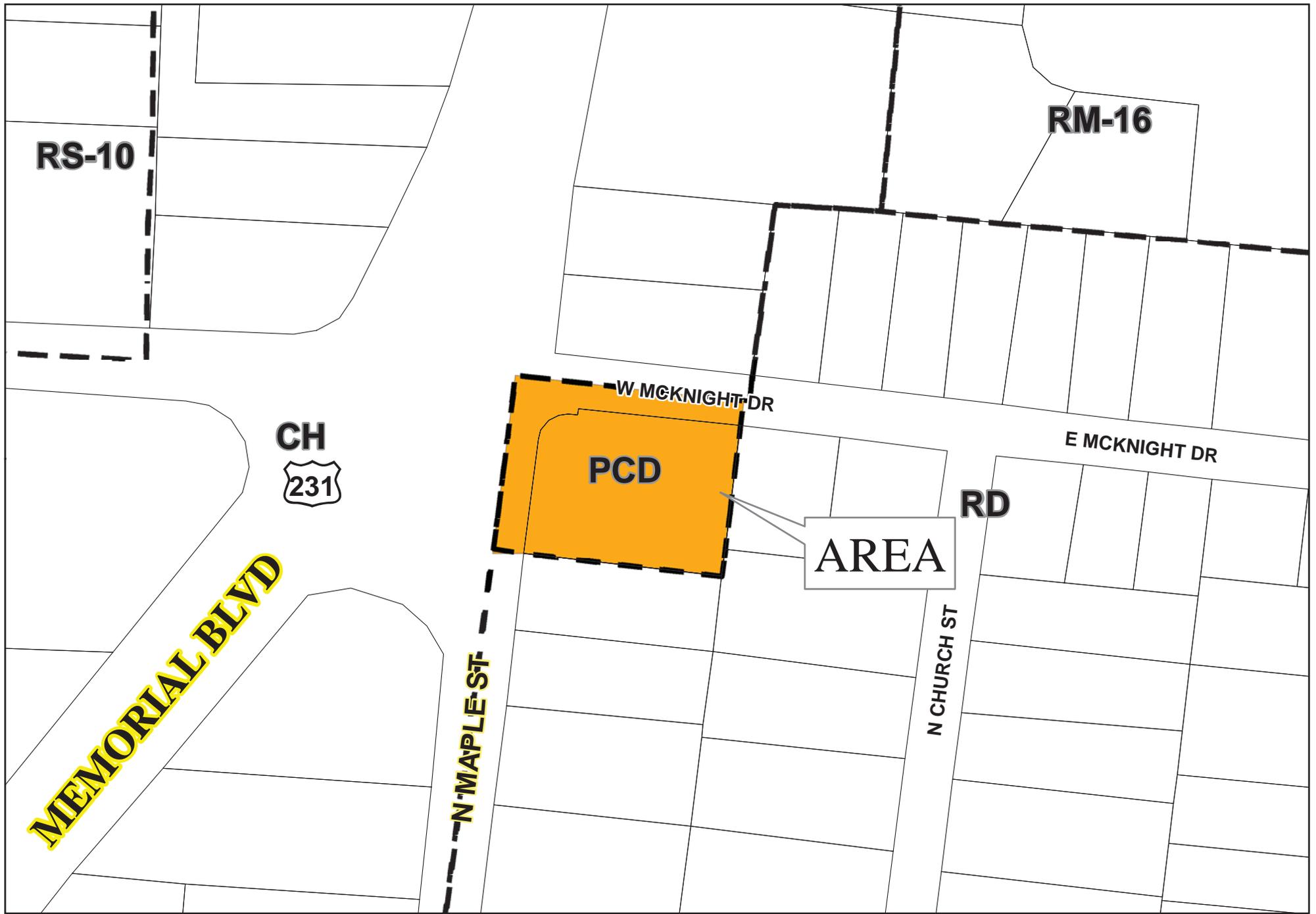
**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 16, 2016**

- 7.f. Zoning application [2016-416] for approximately 0.43 acre located at 1216 North Maple Street to be rezoned from PCD to CF, Nancy E. Brown applicant.**

The subject property is located at the southeast corner of North Maple Street and West McKnight Drive. It is developed with a single-family residence and an addition that was constructed a number of years ago for use as a dance studio. Prior to 2003, the subject property was zoned RD (Residential Duplex) and only contained the single-family dwelling. In 2003, it was rezoned from RD to PCD (Planned Commercial District) in order to allow the dance studio. The PCD zoning is limited to the use of the property for a single-family residence and a dance studio. The dance studio is still in operation at this time but will be closing in June. The owner plans on putting the property on the market around that time and believes that the property will be more marketable if it is not restricted to the limited uses that are permitted with the current PCD zoning. Her request is to rezone the property from its current PCD zoning to CF (Commercial Fringe), which would allow additional commercial uses.

Directly in front of the subject property is the intersection of Memorial Boulevard, West McKnight Drive, and North Maple Street. The uses in front of the subject property along Memorial Boulevard are zoned CH (Commercial Highway). To the southwest of the subject property across North Maple Street is the Blue Coast Burrito restaurant as well as a barber shop and a sign company. To the north of the subject property across West McKnight Drive is also zoned CH and is developed with a real estate office and a Christian Science reading room and bookstore. The subject property is bordered on its east and south sides by single-family residences that are zoned RD. It is bordered on its southeast corner by a duplex that is also zoned RD.

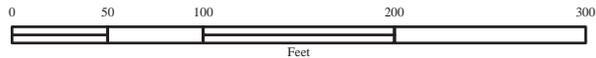
The Planning Commission will need to discuss this rezoning request and schedule it for a public hearing.



Rezoning Request for Property Along North Maple St from
PCD to CF



Path: G:\planning\rezon\mcknightpcd_cf.mxd



GIS Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov



Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

REZONING APPLICATION FORM
\$600.00 per application

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Nancy E. Brown

Address: 1216 N. Maple St City/State/Zip: Murfreesboro TN 37130

Phone: 615-886-0736 E-mail address: letsdance0974@yahoo.com

PROPERTY OWNER: Nancy E Brown

Street Address or property description: 1216 N Maple St

and/or Tax map #: 91C Group: M Parcel (s): 001.00 + 001.00 - 001

Existing zoning classification: Planned Commercial Development

Proposed zoning classification: Commercial Fringe Acreage: 0.43 ac

Contact name & phone number for publication and notifications to the public (if different from the applicant): Nancy E Brown Phone 615-886-0736

E-mail: letsdance0974@yahoo.com

APPLICANT'S SIGNATURE (required): Nancy E. Brown

DATE: 3/1/16

*****For Office Use Only*****

Date received: _____ MPC YR.: _____ MPC #: 2016-716

Amount paid: \$600.00 Receipt #: 922594

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

7:00 p.m.

City Hall

MEMBERS PRESENT

Doug Young, Vice Chairman
Kathy Jones
Tom Clark
Eddie Smotherman
Kirt Wade
Ken Halliburton

STAFF PRESENT

Gary Whitaker, Planning Director
Matthew Blomeley, Principal Planner
Margaret Ann Green, Principal Planner
Joe Ornelas, Planner
Robert Lewis, Planner
Carolyn Jaco, Recording Assistant
David Ives, City Attorney
Ram Balachandran, Traffic Engineer
Sam Huddleston, Environmental Engineer

Vice Chairman Doug Young called the meeting to order after determining there was a quorum.

Public Hearings

Annexation Plan of Services and annexation petition [2015-503] for approximately 3.7 acres located along NW Broad Street, Ron Buck applicant. Mr. Matthew Blomeley began by describing the subject property of a 3.67-acre portion of a 9.05-acre parcel located along the east side of Northwest Broad Street, just south of Florence Road. The Wallace Trailer business is located directly to the south, while the Northstar Industrial Park borders the subject property on its east and north sides. The front 5.38 acres was annexed into the City limits in 1994, but the rear 3.67 acres has remained in the unincorporated County ever since. For years, the entire property was used for an auto salvage business. There are two existing structures on the subject property, the main one of which dates back to 1950. The auto salvage business closed at this location several years ago and the property has remained vacant ever since.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

In November, it was purchased by the applicant. He has petitioned the City for the annexation of the rear portion of the property, so that any future development on the property will all be in one jurisdiction. The front portion of the property that is already inside the City limits is zoned L-I (Light Industrial), while the rear portion of the property is zoned Light Industrial in the unincorporated County. Because the rear portion of the property is already zoned Light Industrial in the County, it will be given an interim L-I zoning classification should it be annexed into the City. The applicant has not submitted a companion zoning request simultaneous with annexation, as he is satisfied with the L-I zoning classification.

The subject property is contiguous with the existing City limits to the east, west, and north. It is within the City's urban growth boundary. In addition, the property owner has petitioned the City for the annexation. Staff has prepared a plan of services for the Planning Commission's consideration. It does not appear that there will be any problems in providing services to the subject property. No right-of-way is included in the annexation study.

Vice Chairman Young opened the public hearing. No one came forward to speak for or against the annexation request; therefore, Vice Chairman Young closed the public hearing.

Mr. Ken Halliburton made a motion to approve the annexation request and plan of services, seconded by Mr. Kirt Wade. The motion carried by unanimous vote in favor.

PRD Amendment [2016-405] for approximately 25.6 acres to amend the Cedar Retreat PRD, Donald Henley Construction applicant. Mr. Matthew Blomeley began by describing the subject property located along the west side of Florence Road approximately one half mile north of I-24. It was annexed in 2006 and zoned PRD simultaneous with annexation. The surrounding land uses are primarily residential in nature. The Youngstown single-family residential subdivision, which is in the unincorporated County, is located directly to the north, while the Thistle Downs single-family residential subdivision zoned RS-10, RZ, and PUD is located directly

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

to the south. Also, bordering the property along Florence Road on its north and south sides are two single family residential parcels. Directly across the street to the east is the Adams Run single family residential subdivision, which is zoned RS-12, as well as a Murfreesboro fire hall. There is also some commercially-zoned property further to the south along Florence Road, just north of I-24.

The existing Cedar Retreat PRD, which was approved in 2006, has never been developed and the property has remained vacant. The approved plan consists of a total of 123 dwelling units, including 77 single-family detached units with lot widths of between 40' and 60' and 46 single-family attached units. Thirty-six (36) of the single-family detached lots were to be accessed via a rear alley. The plan requires minimum square footages of 1,200 for the single-family attached product and 1,400 for the single-family detached product. The current applicant recently purchased the property and does not wish to develop it under the current PRD zoning plan. He has submitted a request to amend the PRD zoning with a completely new plan.

The proposed PRD amendment reduces the density from 123 to 57. In addition, instead of both single-family detached and single-family attached products, only single-family detached units are proposed. The lot size is also increasing to a minimum of 12,000 square-feet. All alleys have been eliminated from the plan. The minimum house size has also increased to 1,900 square-feet. The proposed exterior building materials for the houses will be brick, stone, and cement-board siding. Vinyl will only be allowed in the trim, soffit, dormers, and gables. Both front-entry and side-entry garages are proposed. The front setback is proposed to be 25', but all garages will be set back at least 35' from the front property line, ensuring room for at least four (4) off-street parking spaces per dwelling unit. Sidewalks will be provided on both sides of all streets, and there will be common open space provided at the front of the subdivision along Florence Road. It should be noted that the PRD zoning also includes a portion of excess Florence Road right-of-way that was abandoned by the City Council in 2015.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

Mr. Rob Molchan was in attendance to represent the applicant. He came forward and made known the applicant would be modeling this subdivision after Southern Meadows. Continuing, Mr. Molchan began providing the details for this development from the applicant's program book. The applicant would be including nine percent of open space that would provide detention and recreation space for walking.

Vice Chairman Doug Young opened the public hearing. No one came forward to speak for or against the rezoning request; therefore, Vice Chair Young closed the public hearing.

Ms. Kathy Jones and Vice Chairman Young complimented the applicant for this being a great looking development.

Ms. Kathy Jones made a motion to approve the rezoning request, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.

Rezoning application [2016-401] for approximately 11 acres located along Manson Pike to be rezoned from RS-15 to Maddington Parke PRD, David Alcorn applicant. Ms. Kathy Jones announced she would abstain from all discussion and vote with this rezoning request.

Mr. Matthew Blomeley began by describing the subject property located along the south side of Manson Pike, just east of State Route 840. It is currently developed with one (1) single-family residence. It was annexed by the City in early 2015 without a companion zoning request. As a result, it came into the City with an interim zoning classification of RS-15 (Single-family Residential District 15). It has since been purchased by Alcorn Properties, LLC, who has requested rezoning from the interim RS-15 zoning to PRD (Planned Residential District).

The subject property is bordered on its east and south sides by several single-family residential subdivisions zoned RS-12, including Oakton, Princeton Oaks, and Blackman Meadows. The property to the north across Manson Pike is in the unincorporated County and is developed with

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

single-family residential uses and a church. There is also a church on the property directly to the west. Further to the west, on the other west side of the church, is a vacant tract that has passed second reading before the City Council for rezoning to CH (Commercial Highway) and CF (Commercial Fringe).

The proposed PRD is for a new residential development called Maddington Parke, which would consist of 88 dwelling units to be sold under a horizontal property regime. All streets would be private. A two-story townhome style of construction is proposed, with units ranging from 1,500 square-feet to 2,100 square-feet. Each unit will have its own garage and a driveway, allowing for 2-4 cars to park at each home site. There will also be 84 guest parking spaces provided throughout the development. The development will exceed minimum multi-family residential parking requirements. Per the Planning Commission's direction at the January 20 work session, the plan has been revised to commit to the use of a compactor to handle solid waste.

Front elevations will consist of brick, stone, and cement board siding for exterior materials. In addition, after the discussion at the January 20 work session, the applicant has revised the plans to flip the buildings adjacent to Manson Pike so that the fronts of these two buildings are oriented to face Manson Pike. Side elevations adjacent to internal streets and the perimeter property boundary will consist of brick on the first floor and heavy-gauge vinyl siding or cement board siding on the second floor. Rear elevations adjacent to the perimeter property boundary have been upgraded, per the Planning Commission's direction at the January 20 work session, and will consist of a mixture of brick, stone, cement board siding, and heavy-gauge vinyl siding. The side and rear elevations facing the sides and rears of other internal buildings will consist primarily of heavy-gauge vinyl siding.

The future land use map contained in the General Development Plan for the Blackman Community recommends that the subject property develop as "Office/Distribution." It defines "Office/Distribution" as "office and distribution flex space in a well-planned setting" with

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

permitted uses of “office showroom, distribution facilities, and ancillary retail.” As a caveat, however, the plan stated that the designation of this property as “Office/Distribution” largely hinged on accessibility to the Veterans Parkway interchange. The future land use map showed a planned arterial road running from Veterans Parkway to Manson Pike parallel to State Route 840. This arterial road was never constructed and, with the development of the single-family subdivisions in this area, such a road improvement seems very unlikely. Without this roadway, it may be argued that the “Office/Distribution” recommendation is no longer applicable. With respect to the proposed PRD at hand, it might also be argued that such a multi-family use would be an appropriate transition from the single-family residential zoning to the east to the commercial zoning to the west.

Mr. Eddie Smotherman inquired, what was the building behind the church, in which Mr. Rob Molchan made known that it was a pavilion.

Mr. Rob Molchan was in attendance to represent the applicant. Mr. Molchan came forward to begin a power point presentation in which he provided details from the applicant’s program book. Included with the program book the applicant will be committed to the following:

- All garages would be for vehicle use only and the development would be managed by the Home Owners Association.
- They are committing to a Type C landscape buffer around fifty percent of their property line adjacent to Oakton and Blackman Meadows.
- They are committing to keep as much as possible of the existing trees along the property line for additional landscaping.
- This development would occur in four phases.

Vice Chairman Young wanted additional information regarding mailboxes. Mr. Molchan explained they were still working with the post office to see if the boxes could be placed at each

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

front entry door. If that does not work they propose a kiosk in the common open space with the pavilion area.

Mr. Kirt Wade wanted to know what type buffer would be placed between their property line and the existing church. Mr. Molchan answered currently there was an existing row of scrub brush, hack berries etc. in place. There would not be a Type C buffer at this location.

Vice Chairman Young opened the public hearing.

1. **Mr. Tom Stevens 1743 John Lee Lane** – opposes this rezoning request. He does not want his view being two story buildings.
2. **Ms. Virginia Griffith 1620 John Lee Lane** – opposes this rezoning request. Where would the trash compactor be located? She requested for more information to be provided.
3. **Ms. Ann Strode 1735 John Lee Lane** – opposes this rezoning request. She does not want her view being two story buildings.
4. **Mr. John Edmonds 1612 John Lee Lane** – opposes this rezoning request. He does not want his view being two story buildings. The landscaping during the winter time will not provide proper screening. Also, he has concerns regarding the smell coming from the trash compactor.
5. **Ms. Alexis Denton 4217 Princeton Oaks Lane**- opposes this rezoning request. She stated the Blackman area as a whole has been disservice.
6. **Mr. Leslie Smith – 3949 Hallmark Drive**- opposes this rezoning request. He feels this rezoning request is an incompatible land use.
7. **Mr. John Moorehead 4321 Pender Court** – opposes this rezoning request. He agrees with all of his neighbors comments.
8. **Ms. Linda Lerchenfeld 1628 John Lee Lane** – opposes this rezoning request. She has concerns with the development being placed right on the street.
9. **Ms. Ashley Edmonds 1612 John Lee Lane** – opposes this rezoning request.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

Vice Chairman Young closed the public hearing.

Mr. Eddie Smotherman commented these were not low income homes. Can we prevent a home being rented? Mr. Blomeley began by addressing the concerns being the following:

- The trash compactor would be located along the far west side of the property, adjacent to the church property
- They propose selling the units under the Horizontal Property Regime development.
- The Home Owners Association could prevent renting in the subdivision, but not be enforced by the City of Murfreesboro
- What has been provided and shown in the PRD planned book is required to be adhered to. If approved, the only way to deviate from the PRD would be to come back before the Planning Commission to request amendments
- The seven unit buildings would have different elevations and materials

Mr. Sam Huddleston came forward making known the City has Manson Pike on the Major Thoroughfare Plan from Fortress Boulevard to Veterans Parkway. It has been proposed as a five lane curb and gutter road section. With this development the City anticipates the developer will make improvements to their part of Manson Pike. The applicant has allocated a left turn lane with this plan.

Vice Chairman Young made known it has been fifteen years since the Blackman Land Use Plan Study had been created. It was during this time that Blackman area would have a commercial interchange with commercial node to provide services to the area residents. This has been planned for years.

Mr. Ken Halliburton wanted to know if the rear setbacks for this PRD and Oakton subdivision lots 30-36 is different if it were zoned RS-12. Mr. Blomeley explained that Oakton is zoned RS-

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

12 and their rear setback is 25 feet. What is being proposed with this PRD would have a minimum rear setback of 20 feet from the perimeter property line.

Mr. Eddie Smotherman wanted to know whom this development was geared towards. Mr. Rob Molchan stated the homes would be a minimum of \$200,000.00. The community would be managed and maintained by a Home Owners Association. Mr. Smotherman wanted to know if the City is involved with homes being rental, in which Mr. David Ives explained the City is not involved with homes being rented.

Mr. Ken Halliburton made a motion to approve the rezoning request subject to the guarantee's which have been provided within the applicant's program book. Mr. Eddie Smotherman commented on how the developers have listened to the area neighbors and have addressed their concerns, and seconded the motion. The motion passed with one abstention from Ms. Kathy Jones.

PUD amendment [2016-404] for approximately 26 acres in the Marymont Springs Mansion Estates PUD, Bob Parks and David Alcorn applicants. Ms. Kathy Jones announced she would be abstaining from all discussion and vote.

Ms. Margaret Ann Green began by describing the subject property being a portion of the developing Marymont Springs PUD known as the Mansion Estates located west of Rucker Lane. The request is to amend a 26 acre portion of the PUD known as the Mansion Estates. Originally the applicants provided the PUD amendment area as 46 acres; however they have refined the request down to 26 acres.

The existing PUD program book identifies the Mansion Estates to be a minimum of 65 feet wide with 35' front setbacks. In 2014 the PUD was amended to reduce the front setback to 30'. The applicants now wish to amend the Mansion Estates PUD portion to reduce the lot width from 65'

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

wide to 52' wide and similar to The Retreat at Marymount Springs section. The applicants also wish to reduce the front setbacks further from 30' to 25' to allow for larger back yards.

Also a part of the request is to “swap” a 0.14 acres portion of property proposed to be a single-family with a 0.2 acres portion of property proposed to be a part of the detention pond. The Marymount PUD program book amendment had been submitted with this request.

Mr. Clyde Roundtree, Mr. David Alcorn and Mr. Bob Parks, were in attendance to represent the applicant. Mr. Roundtree came forward explaining the primary goal is to reduce the lot width size and reduce the front setback. The reasons for this request is because of their product line and what is selling best in their market driven subdivision. The proposed changes would yield an increase slightly. The land swap would reprioritize the location of land due to irregularities' from the detention pond. Basically, it would be reprioritizing the location of the land for the rear lot lines. Continuing, Mr. Roundtree made known the Home Owners Association would remain the same. Ms. Green wanted to know what would be the increase of units, in which Mr. Roundtree made known it would increase four additional units.

Mr. David Alcorn came forward making known they were purchasing this property so they could continue this type product with their current development of Marymount Springs. These changes would be to increase the back yards. This allows distance from Rucker Lane to the back of these houses. There would be a berm between Rucker Lane and the back yards.

Vice Chairman Young opened the public hearing. No one came forward to speak for or against the rezoning request; therefore, Vice Chairman Young closed the public hearing.

Mr. Kart Wade made a motion to approve the rezoning request, seconded by Mr. Ken Halliburton. The motion passed with one abstention Ms. Kathy Jones.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

Rezoning Application [2016-402] for approximately 2.3 acres located at 3281 Siegel Road to be rezoned from RS-15 to Academy at Siegel PCD, Cornerstone Development applicant.

Mr. Eddie Smitherman announced that he would abstain from all discussion and vote.

Ms. Margaret Ann Green began by describing the subject property located west of Siegel Road and being part of a larger parcel. All of the surrounding properties are zoned RS-15 (Single Family Residential District). The subject property is also currently zoned RS-15 and is undeveloped. The applicant has a contract to purchase the property and has requested rezoning to PCD (Planned Commercial District) to construct a daycare center. The applicant believes the daycare center will be a good fit in this area as it is adjacent to Siegel schools and just south of a church. The applicant of this zoning change request has built two other daycare centers in Murfreesboro, the Academy at the Gateway, and the Academy Gateway, both of which are located in the GDO district. The applicant is opting to ask for a PCD zone as opposed to bulk zone to provide minimum design standards. The proposed PCD requires that any new structures be a single story structure with a hip, gables or pitched roof. The exterior materials allowed are brick, cement board siding, or cedar board siding. The Zoning Ordinance states that planned development applications compare the proposed PCD to an existing bulk zone, and in this case, the OG district is the most similar type of zoning they are asking the Planning Commission to approve. As such, they have gone through the list of permitted uses for the OG district to determine which may be a good fit for this site. The proposed PCD would also allow the following uses:

- | | |
|---|---|
| 1. BED & BREAKFAST FACILITY | 16. ART OR PHOTO STUDIO OR GALLERY |
| 2. BED & BREAKFAST HOMESTAY | 17. BARBER OR BEAUTY SHOP |
| 3. ADULT DAY CARE CENTER | 18. BOOK OR CARD SHOP |
| 4. CHURCH | 19. CATERING ESTABLISHMENT |
| 5. DAY CARE CENTER | 20. PROFESSIONAL OFFICE |
| 6. MENTAL HEALTH FACILITY (<i>REMOVED PER APPLICANT</i>) | |
| 7. NURSING HOME | 21. FLOWER OR PLANT STORE |

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

8. NURSERY SCHOOL

9. PARK

10. PHILANTHROPIC INSTITUTION

11. PUBLIC BUILDING

12. RECREATION FIELD

13. SENIOR CITIZENS CENTER

14. SCHOOL

15. FARM LABOR AND MANAGEMENT SERVICES

22. HEALTH CLUB

23. INTERIOR DECORATOR

24. OFFICES

25. REDUCING & WEIGHT CONTROL SERVICE

26. POST OFFICE OR POSTAL FACILITY

The Planning Commission may recommend adding to the list of permitted uses or the removal of particular uses. The planned development zoning also allows for exceptions from the Zoning Ordinance or Subdivision Regulations. The applicants have not identified any exceptions to these standards. The Academy at Siegel PCD program book has been included with the rezoning request.

Mr. Matt Taylor, Mr. Harry Minjee and Mr. John Harney were in attendance to represent the applicant. Mr. Taylor came forward to begin a power point presentation outlining the details from the applicant's program book being the following:

- Propose one story building, 16,000 square feet.
- Retain over 20 percent green area that will include pervious areas.
- Buffer will be provided along the north, south and west of their property. Along the entire length along the north side of this property the applicant will provide a solid PVC fence.
- Parking has been broken up in different small groups in the back and sides of the building that will include the buffer so that it will blend with the area.
- Front planting yard along Siegel Road.
- Front entrance drive will align with the entrance drive to Siegel High School.
- Dumpsters would be placed away from the existing residences and properly screened with walls, gate and landscaping.
- HVAC units will be screened from the right of way.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

- Monument sign will be placed along Siegel Road matching the proposed structure with landscaping.
- Proposed building materials and design will be consistent to their existing structures within the GDO.

Continuing, Mr. Taylor stated the applicant intends to build a daycare. Also, the applicant has planned for the future if for any reason the daycare should ever leave the area. With this rezoning request the applicant has provided a list of possible uses for this site that would have a low impact for the area. They have removed mental health facility from their possible use list after receiving a telephone call from a concerned neighbor.

Vice Chairman Young opened the public hearing.

1. **Mr. Chris Conklin 3107 Park Hill Road** – requested this rezoning request be denied.
2. **Ms. Susan Reed 3123 Park Hill Road** – opposes this rezoning request. She has concerns with ongoing flooding within this area. Would she need to obtain flood insurance because of this new development? How deep would the retention pond be?
3. **Ms. Nancy Hopper came forward speaking for her 75 year old father Mr. Gerald Hopper 3331 Siegel Road** - she explained her father has been in the hospital ever since he had met with the developers. Her family would like more clarification with the rezoning in case they ever decide to sell their property. They want to make certain they would have the same opportunities. Ms. Hopper made known they oppose this rezoning request.

Vice Chairman Young closed the public hearing.

Mr. Sam Huddleston came forward to address the flood concerns with the following details:

- Flood insurance is a risk management tool that is available for any property owner to purchase.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

- Flood insurance is a private agreement between a lender and a buyer. Some mortgage companies require coverage to protect their interest.
- Development or no development should have no barring on any neighbors as a requirement to obtain flood insurance.
- The City refers to this area as a regional basin known as Hooper Bottom. The City established a management plan that requires all area properties to drain in the basin. It is managed like a 100 year flood plain; however, FEMA does not recognize it as a 100 year flood plain.
- The applicant and design team are aware of this property being part of the Hooper Bottom basin study area. They are aware that additional City requirements must be met with their development.
- Improvements to this property will help contain water on the property and in the neighborhood.

Mr. Gary Whitaker, commented that staff feels this daycare is an appropriate use for this location. The applicant has provided a list of uses that can be scrutinized by the Planning Commission whether or not the list is appropriate. This will be the third daycare the applicant has constructed in our City. Mr. Matt Taylor, explained the applicant had constructed over twelve facilities in middle Tennessee. There is a market study that is prepared which identifies areas that are underserved and our City needs this type of facility.

Mr. Taylor explained for this property there would be a pond, but, the intent is there would not be holding water in the pond because of the small children being at this facility. Their intention is for the pond to be a dry detention and for alternative storm water solutions they would include bio retention, permeable pavers and underground detention.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

Mr. Sam Huddleston explained the applicant's traffic access and circulation for this site includes a free flow right turn lane on Siegel Road into the site. This will allow large service trucks to properly maneuver and circulate around the site. Also, there will be a one way drop off/pick up canopy.

Mr. Gary Whitaker commented that all property owners have the same opportunities to rezone their property just as this applicant has done. Ms. Kathy Jones stated how the Planning Commissioners do not know the offers or any detail negotiations being made to property owners when they are placing their property up for sale. The Planning Commissioners do not use that type of information whenever decisions are being considered for rezoning properties. Continuing, Ms. Jones commented how this was a perfect place for this type of facility beside a school. This is a good use the applicant has provided that includes additional uses if it were not a daycare. Last, the concerns regarding drainage has been addressed and understood.

Ms. Kathy Jones made a motion to approve the rezoning request, seconded by Mr. Ken Halliburton. The motion passed with one abstention from Mr. Eddie Smotherman.

Annexation Plan of Services and annexation petition [2015-509] for approximately 16.5 acres located along West Thompson Lane, Jordan Family General Partnership and Mr.

John Massey applicants. Ms. Margaret Ann Green began by describing the subject property consists of portions of two parcels located north of West Thompson Lane. In 1986 the City annexed a portion of 560 North Thompson Lane and in 1987 the City annexed a portion of the property located at 444 W Thompson Lane. Will Jordan representing the Jordan Family General Partnership, has petitioned the City of Murfreesboro to annex the property located at 560 West Thompson Lane. John Massey, the owner of the second parcel located at 444 West Thompson Lane, has also petitioned the City of Murfreesboro annex his property. The total study area for the area requesting annexation is approximately 16.5 acres. Blue Sky construction has a contract to purchase these properties and has submitted a PRD (Planned Residential District) zoning

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

application which is the subject of the next public hearing. The properties are bordered on the north and west with single-family developments. The Siegel school complex is to the south and MTSU's property is to the east, adjacent to the parcel located at 424 West Thompson Lane.

A portion of these properties requesting annexation is already located within City limits; therefore, the requested area is contiguous to existing City Limits. It is within the City's urban growth boundary and, the owner has petitioned the City for its annexation. Staff has prepared a plan of services that has been provided to the Planning Commission to consider. It does not appear that there will be any complications in providing city services to the subject property. No right-of-way is included in the annexation study since it is already in the city limits.

Vice Chairman Young opened the public hearing. No one came forward to speak for or against the annexation request, therefore, Vice Chairman Young closed the public hearing.

Mr. Ken Halliburton made a motion to approve the two annexation requests and plan of services, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.

Zoning application [2015-431] for approximately 16.5 acres located along West Thompson Lane to be zoned as General's Landing PRD simultaneous with annexation and for approximately 16.5 acres to be rezoned from RS-15 to General's Landing PRD, Blue Sky Construction applicant. Ms. Margaret Ann Green began by describing the subject property located north of West Thompson Lane, just north of its intersection with Siegel Road. The subject properties consist of portions of two parcels. The properties to the east are zoned CU (College and University District). The properties to the west and south are zoned RS-15 (Single-Family Residential District). The Siegel school complex is located along the southern side of West Thompson Lane. A portion of both parcels is currently located in Murfreesboro City limits and the remainder is in the unincorporated area of Rutherford County. A petition for annexation has

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

been submitted to include the entire two parcels within Murfreesboro's municipal boundary. The portion of property currently located in the City is zoned RS-15 and the applicants are requesting it be rezoned from RS-15 to PRD (Planned Residential District). The request is also to zone the 16.5 acres to PRD simultaneous with annexation.

The General's Landing PRD program book has been included with the agenda materials. The maximum number of units proposed is 178 on 33 acres for a density of 5.3 dwelling units per acre. If the properties were zoned RS-15, approximately 89 single-family dwelling units would be permitted. The development consist of two different dwelling types: single family detached and multi-family residential.

As proposed, the plans shows 31 detached single-family homes on the western side contiguous with the Northboro Court single-family subdivision. This PRD is compatible to the RS-8 district, as the minimum lot size is 9,000 square feet. The applicant is requesting a 30' front setback; however staff recommends the front setback be 35' to allow 4 cars to be parked in the driveway. The Zoning Ordinance requires single-family, detached homes to have 4 parking spaces per dwelling unit and that number may not include garage spaces. The proposed homes will be a minimum of 2,400 square feet with a 2-car garage with carriage style doors. The exterior material is brick, stone, EIFS or cement fiber board.

The multi-family portion of the development consists of townhouse style multi-family dwellings very similar to the General's Retreat development on Compton Road. As proposed there are 91 townhomes with garage space and 56 townhomes without. These units have a minimum 1,600 square feet and will be brick, stone or cement fiber board. The units with garages will have carriage style doors. The applicant has not asked for an exception to the parking standards for multi-family portion of this development. The applicants have asked for an exception to the setback requirements to allow the garages to be 25' from the property line and the face of the house to be 30' from the property line. This could result in the "snout" house look where the

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

garage projects in front of the house. The applicant is requesting an except to the standard that would require a Type C buffer between the multi-family development and adjacent single family zone to allow the creation of a Type A buffer. No buffer is required between single-family detached dwelling units.

The applicants held a neighborhood meeting at Siegel Elementary on January 27, 2016, which was well attended. During the meeting the applicant's design team provided a presentation to explain the rezoning request.

Mr. Clyde Rountree and Mr. Brian Burns were in attendance to represent the applicant. Mr. Rountree came forward to begin a power point presentation from the applicant's program book making known the following:

- 178 residential homes
- Conceptual site plan at this time
- 56 townhomes without garages that will have a common parking area in the center of the site plan
- The townhomes would be similar as General's Run which includes a diverse roofline and diverse façade with multiple materials
- This development would be managed by a Home Owners Association for architecture control and maintenance control
- All garages would have a carriage style door
- Flooding concerns have been addressed
- Have met with City staff to address Thompson Lane with their development and to address traffic concerns

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

Mr. Ken Halliburton wanted to know if the townhouses garage doors being viewed as back and forth instead of the garages all being viewed as standing out front. Mr. Rountree answered yes it gives it more character and diversity. Last, the common area will meet and exceed city standards.

Vice Chairman Young opened the public hearing.

1. **Mr. John David Floyd 3418 Northboro Court** – opposes this rezoning request. Mr. Floyd distributed packets to the Planning Commissioners with several photos showing ongoing water issues within their subdivision. He made known he is not against growth; however, their subdivision needs help with drainage. It has been brought to your attention, now how are you going to address drainage? We have a water problem, help.
2. **Mr. Roy Boyd 3410 Northboro Court** – opposes this rezoning request. He has no problem with development; however, Thompson Lane cannot handle additional traffic until Tennessee Department of Transportation widens this state route.
3. **Mr. Rob Mitchell 3340 Northboro Court** – requested this rezoning request be denied. He made known he had placed a detention pond on his property. There are serious issues with drainage and traffic in their area. He commented on there not being enough information to address these concerns.
4. **Ms. Debbie Griffis 3427 Northboro Court** – opposes this rezoning request. She has been a crossing guard at Siegel High School for the past 14 years. She made known how dangerous this area is with the heavy school traffic and flooding within this area. She requested for more information be provided before this request is approved.
5. **Mr. Eric Poole 3345 Northboro Court** – requested this rezoning request be denied. He made known flooding occurs with moderate to heavy rains. Also, data should be addressed regarding the flooding and traffic before this type development is approved.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

6. **Ms. Mary Smith 3431 Northboro Court** – opposing this rezoning request. She is a crossing guard at Siegel High School. This area has ongoing issues with flooding and traffic.
7. **Ms. Linda Dansby 3422 Northboro Court** – requested this rezoning request be denied until more information is provided regarding the density, traffic and a drainage study plan.
8. **Dr. Roland Untch 3442 Northboro Court** – requested this rezoning request be denied. He asked if development is approved that a Type C buffer be placed between their property and this development. Also, there is an existing fence along his backyard that should be retained.
9. **Mr. Mike Burger 3414 Northboro Court** – opposes this rezoning request. He feels this is too much density in this area.
10. **Mr. Steve Ayers** – requested this rezoning request be denied. He feel this is a golden opportunity to address collector roads, signals, drainage from a master plan. Be aware more high density is coming.
11. **Mr. Bill Huddleston with Huddleston-Steele Engineering** – came forward to address the following concerns being the following:
 - A traffic study has been prepared and an addendum traffic study has been prepared. The study shows that Thompson Lane will remain as a Level E, which means, this proposed development would not make the traffic any worse.
 - Drainage would be addressed and improved with this development. This development cannot impact the neighbors any more than what the neighbors have been impacted by. The city of Murfreesboro has very stringent rules in place to address drainage. This site would require detailed stormwater plans and study showing how they would not be impacting any neighbors.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

Mr. Ken Halliburton asked, how could this proposed development improve the joining neighbor's properties? Mr. Bill Huddleston made known they could not go onto the existing neighbor's properties; however, drainage could be improved for the joining property owners because it is an elevation issue from where the water is sitting. With this proposed development they can direct the water to a drainage pipe at Thompson Lane. Mr. Huddleston stated he would be willing to shoot elevations and meet with the neighbors to discuss what can be done. Last, Mr. Huddleston made known they would keep the existing fence that had been requested from a resident.

Vice Chairman Doug Young commented on the neighbors not being against growth. Their concerns have been about the drainage and traffic. The developer and design team should meet with the neighbors and show them what improvements can be made.

Vice Chairman Doug Young closed the public hearing. This has been a good discussion. This is how problems get solved. The City would like to see TDOT improve Thompson Lane and Cherry Lane. This would help the traffic, but, to date no funds have been allocated for any road improvements.

Mr. Sam Huddleston came forward stating it is obvious this is a long term drainage problem. The situation occurs from an undeveloped land pattern. The existing residents are on private property and there are no easements. The City cannot work on private property. The property being considered for rezoning had once been private property with no easements. Now, we have a developer with a plan that will address a need back that dates back from the mid-eighties. Our standards have changed and we expect more from a willing developer to make things right.

Mr. Gary Whitaker made known the developer has provided the following information per staff's requests:

- drainage plan
- traffic study

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

- traffic signal analysis which is not warranted at this time
- realigned the road from this development to Siegel High School

Ms. Kathy Jones stated she has concerns because there has not been any discussion regarding parking, density, dumpsters, buffer, mailboxes, setbacks, etc.

Vice Chairman Young wanted clarification on what the intentions were from Mr. Bill Huddleston.

Mr. Huddleston explained he would do the following:

- shoot elevations starting at the pipe at Thompson Lane up towards the entire length of the west property line
- show a profile of a ditch that would show what type of relief it would provide

Mr. Eddie Smotherman made a motion for a deferral, seconded by Mr. Tom Clark. The motion carried by unanimous vote in favor.

Zoning application [2016-403] for approximately 17.3 acres located at 3726 Manson Pike to be zoned as Springfield Apartments PRD & GDO-1 simultaneous with annexation, Hunter/McDowell Development applicant.

Ms. Margaret Ann Green began by describing the subject property that is of one parcel, which was the subject of an annexation petition and zoning change request to RM-16 (multi-family district) considered in 2015. The Planning Commission recommended approval of the annexation and the matter of zoning change was deferred indefinitely at the City Council public hearing. In response to the concerns of the City Council, the applicant is now making an application to zone the property PRD (Planned Residential District) and GDO-1. This tract is 17.9 acres and is located at 3726 Manson Pike. The area being studied for annexation and rezoning is 17.3 acres as a 10' strip of the requested area has been left out of the study area. The properties to the east and west are in the unincorporated area of Rutherford County. Interstate 24 borders the property along its northern property line. The properties to the south, across Manson Pike, are zoned RM-16 (Integra Creek Apartments) and

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

CL (Commercial Local District) and are located within the GDO-1 overlay district. A cemetery is located along the southeastern corner of this property and is a separate parcel.

The applicant, Hunter/McDowell, has a contract to purchase the property with intentions to develop it as a multi-family community. The applicants have requested that the land be zoned PRD (Planned Residential District) simultaneous with annexation. It is staff recommendation to also zone this property GDO-1 simultaneous with annexation. A PRD program book for the Springfield Apartments had been submitted with this rezoning request. The plan commits to preserving the existing house in its current form and to renovate the front porch and ceiling, to install new roof and perform maintenance to allow it to serve as a single-family home. The plan also states that a 100-foot strip will be maintained along the rear lot line to separate the development from I-24 and Military Cave.

The PRD allows a maximum of 270 dwelling units with a density just over 15 dwelling units per acre. The buildings are a mix of two and three stories which will consist of brick and cement fiber board. The dwellings will consist of one, two and three bedrooms units. The two-story “townhome” units are parallel along the eastern property line while the taller three-story buildings are pulled into the site.

The applicants have asked for three exceptions to the Zoning Ordinance. First, they would like a reduction in the amount of required, off-street parking spaces. The Zoning Ordinance would require 570 regular, off-street parking spaces and the proposed PRD would provide 520 spaces. A chart has been provided on page 15 of the program book with parking calculations. Secondly, the Zoning Ordinance does not allow access to one parking space through one other parking space in multi-family residential. The applicant is providing parking spaces in front of the garage doors and refers to these type spaces as “tandem” parking spaces. They would like to count 75% (51) of these “tandem” spaces toward the minimum required parking. Thirdly, they are requesting building 4 to be 28 feet from the southern property line.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

The subject property is also located within the General Development Plans for the Blackman Community; an excerpt had been included with the agenda materials. The community plan recommends that this parcel develop as “Planned Mixed Use area centering on technology-based uses (i.e. educational, office, research park and limited commercial) and anchored by a redeveloped MTSU agricultural campus site.” The proposed multi-family use is not consistent with the plan however the Planning Commission may view the use as an appropriate transitional use.

The applicants held a neighborhood meeting at Cason Lane Academy on January 21, 2016. The meeting had been well attended.

Mr. Clyde Rountree, Mr. Charles Haskett, Mr. Bill Hunter, Mr. Bernard Weinstein and Gerry Lane, were in attendance to represent the applicant. Mr. Rountree made known the developers would be preserving the historic home, cabins and the smokehouse, on this property.

Mr. Rountree began a power point presentation from the applicant’s program book by providing the following:

- There would be improvements made to the historic home by replacing the roof, soffit, repair the front porch and there would be minor changes to the house. The house is livable and is in good shape at its current state.
- The existing buffer would stay in tack, due to the mature, tall trees. There would be a few places that would need addition landscaping.
- Along the north portion of the property is the cave. The proposed buildings have been re-oriented to be away from the cave.
- Multifamily zoning is an appropriate transition zone for this property.
- The architecture character of the proposed buildings will be in character with the historic home.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

- The location of the proposed pool and clubhouse has been adjusted so they would not be viewed along Manson Pike.
- A buffer will be added for the existing cemetery to create a better divide from the pool area.
- The proposed buildings orientation have been shifted, reduced in size from six stories down to four stories, and they have created more gaps between the units.
- The proposed buildings beside the existing residents have been reduced to address the neighbor's concerns.
- The applicant for this development has requested front setbacks be reduced and the parking spaces be reduced.
- Rent for these units will be around \$1200.00 a month. They do not expect college students to rent at this location.
- The clubhouse has been revised so it will have more historical character with the existing home.
- They will develop with the GDO standards to include masonry material brick and hardy plank.

Mr. Doug Young opened the public hearing.

1. **Mr. Jason Richards** - came forward and distributed information regarding the National Speleological Society Fellow, Tennessee Cave Survey, Cave Cartographer and Explorer. He explained the cave system location and how it extends to other areas in Rutherford County. He requested for this proposed development provide protection to keep people from going into the cave by placing a fence within the wood line as a 100 foot barrier. Also, he suggested for the developer create a conservation easement on this property.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

2. **Mr. Joe Lozano 2102 Brockwood Lane** – requested the renters should have an entry access gate. Also, an eight foot chain link or vinyl fence be placed around the entire property. Also, he requested there should not be any blasting allowed during construction to protect the cave.
3. **Ms. Dawn Watts 3917 Hallmark Drive** – opposes this rezoning request. She has concerns with the cemetery being too close to a pool area. She does not want to view apartments. She does not feel safe with apartments being beside her residence.
4. **Ms. Tammy Cleek 3957 Hallmark Drive** – opposes this rezoning request. She has concerns with apartments being developed by their subdivision. This would be an abnormal scale development within this area.
5. **Mr. Leslie Smith 3949 Hallmark Drive** – opposes this rezoning request. This property will not support the density. He asked for their area be protected.
6. **Ms. Jean Cline 781 West Jefferson Pike** – made known she favors this rezoning request. She is employed with a real estate property management company. Everyone wants to live in Murfreesboro because there are great jobs, schools, retail, hospital, etc. The Fair Housing laws states everyone should have the same opportunity to live wherever they want to live. This development will compliment the area.
7. **Ms. Peggy Lewis 502 Beverly Randolph Drive** – opposes this rezoning request. She has concerns regarding preserving the historic home and property. She requested not to allow three story structures overrun the historic home.
8. **Ms. Lisa Touger 502 Beverly Randolph Drive** – opposes this rezoning request. She requested the cave and 200 old year home be protected. This property is part of Murfreesboro history, do not destroy it.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

9. Mr. Charles Haskett (applicant and design team) – made known they would provide the following:

- a significant buffer on this property
- committed to install a six foot wooden fence along the entire southeastern property line and cemetery
- they would be sensitive with blasting on this property
- committed to keeping and preserving the historic home
- They have reduced the PRD zoning from their original requests
- They have requested for three exemptions that have been listed in their pattern book

10. Ms. Heather (?) 326 Biltmore Circle – opposes this rezoning request. This is too much density for this property. If approved she requested this development provide an eight foot black fence around the property and cemetery for privacy.

Vice Chairman Young closed the public hearing.

Ms. Margaret Ann Green came forward to address the concerns that had been brought up as being the following:

- In the pattern book on page 28, the applicant has provided location and types of fencing being proposed.
- A proposed gate at the main entrance and a crash gate at Hallmark Drive, which both will include a yep mode.
- The pattern book that has been provided will become the commitment for the development on this property.
- The developer has committed to preserving the single family historic home on this property. The interior of the home has not been included.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

- The exceptions that have been made known in the applicant's program book would not require for the applicant to go before the Board of Zoning Appeal. If approved and the applicant wanted to change anything within their program book, they would be required to come back before the Planning Commission.

Continuing, Ms. Green commented how this property is anticipated on being developed, if not now, then, sometime in the future.

Ms. Kathy Jones wanted clarification on how the cemetery would be addressed. Ms. Green explained on page 28, in the program book, it is a separate lot of record. The applicant is not purchasing that particular lot with this development. Vice Chairman Young made known it had a different access from Manson Pike. There would not be access to the cemetery from this proposed development. Ms. Jones asked if for any reason the proposed wooden fence was damaged, would the applicant be required to replace the fence. Ms. Green stated it would be required the applicant perpetually maintain the fence and buffer. Mr. Ken Halliburton wanted clarification regarding the fencing for the cave area. Ms. Green made known there would not be a cave gate but there would be fencing along the wood line. Hopefully, this would discourage people going into the cave.

Mr. Eddie Smotherman commented since the very beginning of this rezoning request there has been deep concern towards the historic home and cave. The applicant has made known in their program book they would preserve the historic home. Also, the applicant has preserved area around the house. Continuing, Mr. Smotherman made known the applicant has made every effort to protect and respect the home and the caverns. There has been tremendous efforts made to improve their plan from their original plan with the tree line, cemetery, fence, pool, clubhouse etc. Murfreesboro continues to grow and we must prepare for the future. We must continue to provide more dense homes due to the state of Tennessee changing the annexation laws.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 3, 2016

Mr. Eddie Smotherman made a motion to approve the rezoning request as presented, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Staff Reports and Other Business

There being further business the meeting adjourned at 12:00 a.m.

Chairman

Secretary

GW:cj